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ADVERTISED
PLAN

KOOROORA, MT BULLER

PROPOSED HOTEL ADDITIONAL FLOOR

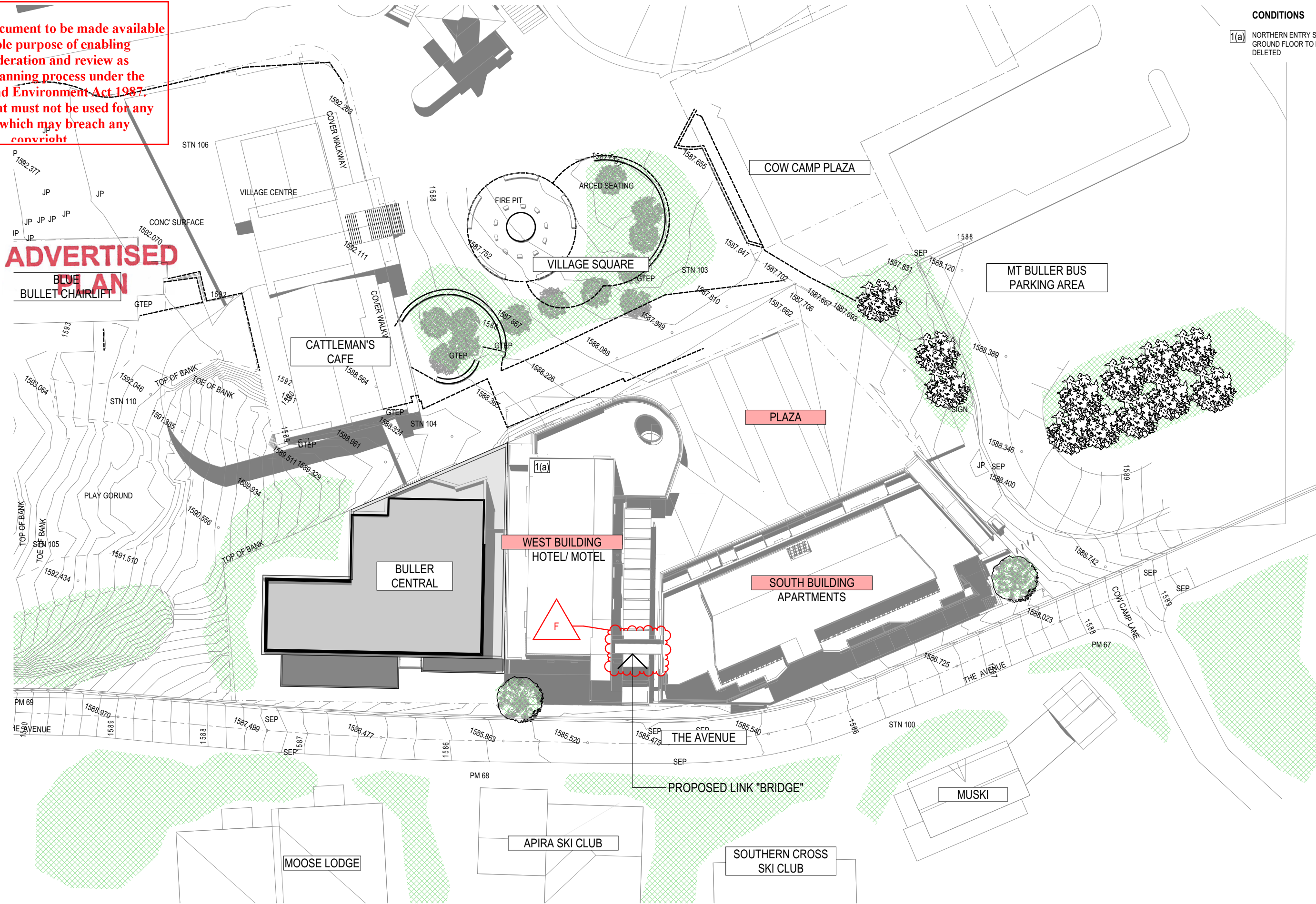
TOWN PLANNING APPLICATION



REV. ISSUE - 2/11/2020

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CONDITIONS
1(a) NORTHERN ENTRY STAIR FROM GROUND FLOOR TO LEVEL 1 DELETED



1 Site Plan 1:500



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ACN 105 462 922

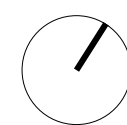
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21/1/2020

12:40 PM

PROJECT KOOROORA
MT BULLER,
DRAWING TITLE PROPOSED SITE PLAN

FOR DISCUSSION ONLY
2/11/2020



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		REV.	F (2/11/2020)

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ADVERTISED PLAN

CONCRETE APRON TO PERIMETER TO BE RECONSTRUCTED IN BRUSHED CONCRETE TO MATCH EDGE OF PLAZA LEVEL

NEW PLAZA TO BE FINISHED IN BRUSHED NATURAL CONCRETE FINISH TO GRADES INDICATED

KEYNOTES

- EXTERNAL STAIRS TO GF PODIUM LEVEL
- PROPOSED PLAZA TO BE ON GRADE WITH EXISTING VILLAGE SQUARE LEVELS AT BOUNDARY.
- LINE OF BALCONY / BUILDING OVER
- RESIDENTIAL ENTRY
- RETAIL ENTRY POINTS
- GLAZED ROOF OVER WALKWAY
- EXISTING TREE TO BE RETAINED
- THE AVENUE FOOTPATH BELOW
- EXTERNAL STAIR - FIRE ESCAPE FROM BASEMENT
- PEDESTRIAN ACCESS RAMPS
- PUBLIC PLAZA - NEW SELECT EXTERNAL STONE FINISH. ADJACENT FINISHES TO ALIGN.
- EXISTING SURFACE FINISH LEVELS TO SUIT NEW PLAZA WORKS TO COMPLY WITH RELEVANT AUTHORITY
- RAMP ACCESS FOR DELIVERIES

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- REDLINE AREA
ALCOHOL LICENSED AREA
STAGE 1 WORK
STRUCTURE & FITOUT
STAGE 2 WORK
BALANCE OF WORK

CONDITIONS

- 1(g) REFER TO NOD CONDITION 1(g)
1(m) REFER TO NOD CONDITION 1(m)
6 REFER TO NOD CONDITION 6
37 BUILDING TO BE IN COMPLIANCE WITH BUSHFIRE MANAGEMENT OVERLAY VC109
38 CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF BAL40 OR BAL29 AS REQUIRED BY THE CFA INCLUDING:
• THE EXTERNAL FABRIC OF THE BUILDING WILL BE NON-COMBUSTIBLE WITH NO WOODEN ELEMENTS, COMPRISING A MIX OF CONCRETE, STEEL, FIBRE CEMENT SHEET, STONE CLADDING, ALUMINIUM SLATS AND BATTENS;
• ALL GLAZING CONSISTS OF DOUBLE-GLAZED UNITS WITH THE OUTER GLASS BEING 6MM TOUGHENED GLASS;
• THE BUILDING WILL BE EQUIPPED WITH INTERNAL FIRE SPRINKLERS, OR UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY
41 CONSTRUCTION TO BE IN ACCORDANCE WITH GEOTECHNICAL ASSESSMENT PREPARED BY AS JAMES PTY LTD NOVEMBER 2015

GROUND FLOOR PLAN

1:250

STAGE 1



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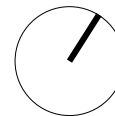
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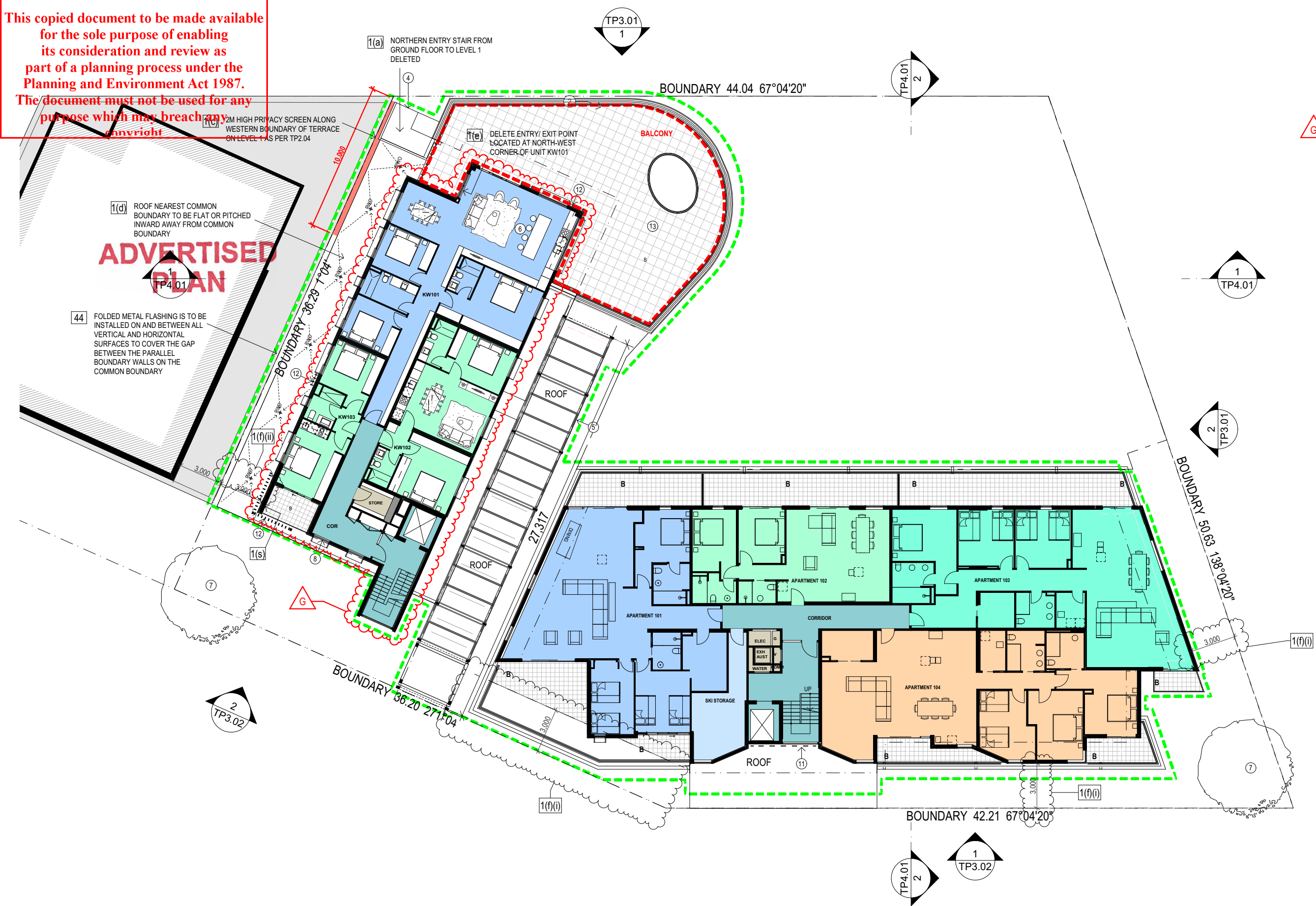
PROJECT
KOOROORA
MT BULLER,
DRAWING TITLE
GROUND FLOOR PLAN

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2/11/2020



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KEYNOTES

- 1 DELETED
- 2 BALCONY / TERRACE
- 3 DELETED
- 4 NORTHERN ENTRY/ EXIT STAIR DELETED
- 5 GLAZED ROOF OVER WALKWAY
- 6 UNIT KW101 WITH LINK TO OUTDOOR AREAS
- 7 EXISTING TREE BELOW
- 8 NEW BUILT FORM ALIGNS WITH SETBACK OF ADJACENT BULLER CENTRAL BUILT FORM
- 9 DELETED
- 10 DELETED
- 11 FEATURE SCREEN TO FACADE
- 12 VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
- 13 BALCONY & COMMON AREA SITTING ZONE
- 14 LINE OF BALCONY / BUILDING OVER
- 15 DELETED

B BALCONY TILED WITH HEAT TRACE

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

REDLINE AREA

1(m) ALCOHOL LICENSED AREA

STAGE 1 WORK

STRUCTURE & FITOUT

STAGE 2 WORK

BALANCE OF WORK

CONDITIONS

- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)
1(m) REFER TO NOD CONDITION 1(m)
1(s) REFER TO NOD CONDITION 1(s)

LEVEL 1 FLOOR PLAN

1:250



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PROJECT KOOROORA
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DRAWING TITLE LEVEL ONE FLOOR PLAN

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BULLER CENTRAL
ADVERTISED PLAN



- KEYNOTES**
- 1 VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
 - 2 FEATURE SCREEN TO FACADE
 - 3 PRIVACY SCREENS TO 1700 AFFL.
- B** BALCONY TILED WITH HEAT TRACE
- NOTE:**
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- CONDITIONS**
- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

LEVEL 2 FLOOR PLAN 1:250

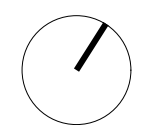


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PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **LEVEL TWO FLOOR PLAN**

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ADVERTISED PLAN

BULLER CENTRAL



- KEYNOTES**
- 1 VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
 - 2 FEATURE SCREEN TO FACADE
 - 3 PRIVACY SCREENS TO 1700 AFFL.
- B** BALCONY TILED WITH HEAT TRACE
- NOTE:**
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- CONDITIONS**
- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

LEVEL 3 FLOOR PLAN 1:250

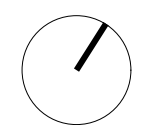


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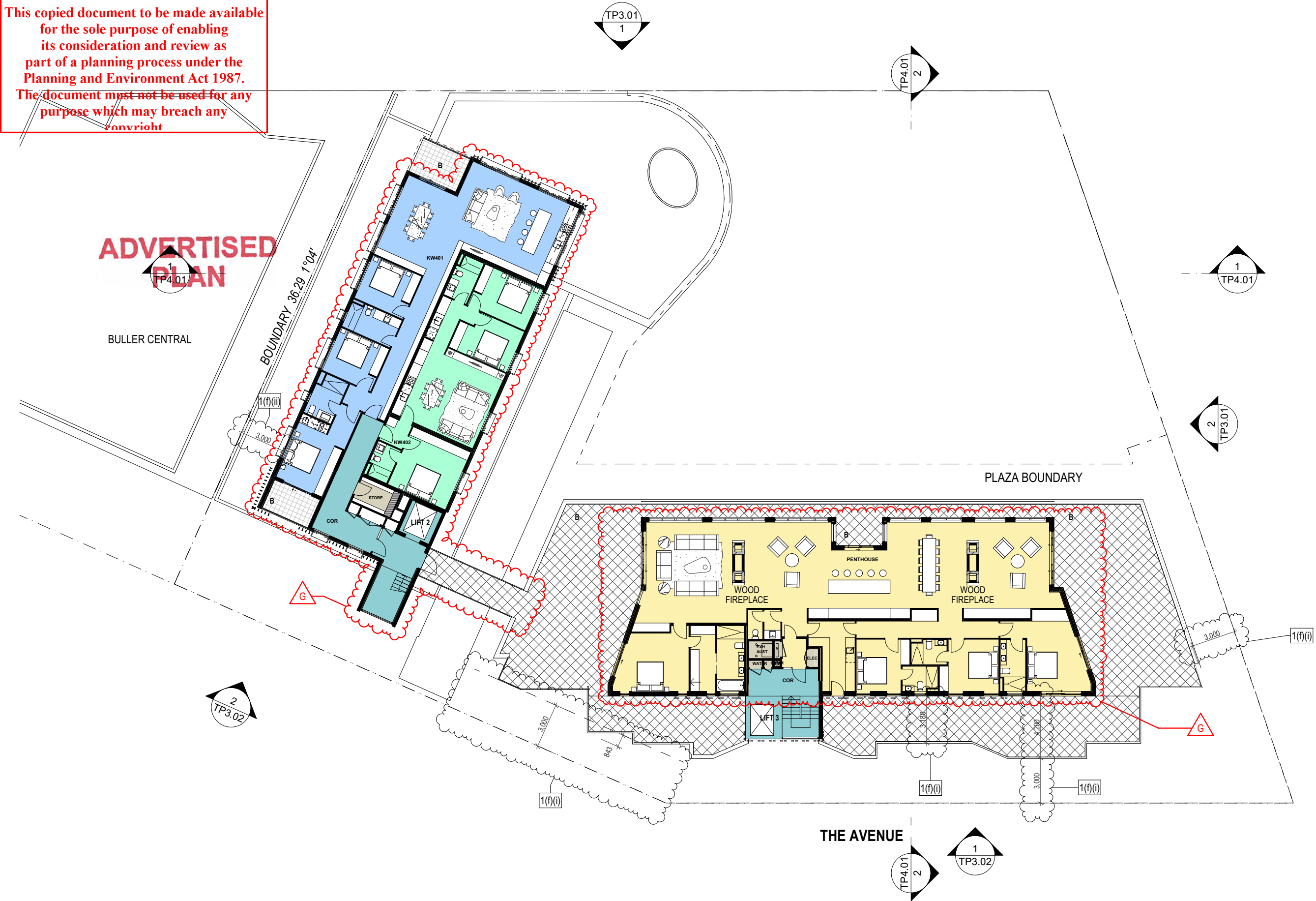
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- ## KEYNOTES
- ① SNOW RETENTION BEAM & ELECTRIC HEAT MATT
 - ② KITCHEN EXHAUST DISCHARGING TO EAST

NOTE:
ALL EXPOSED EXTERNAL TERRACE &
ROOFTOP AREAS TO HAVE HEAT TRACE
MEASURES TO REDUCE SNOW BUILD UP

CONDITIONS

- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

LEVEL 4 FLOOR PLAN - PENTHOUSE 1:250



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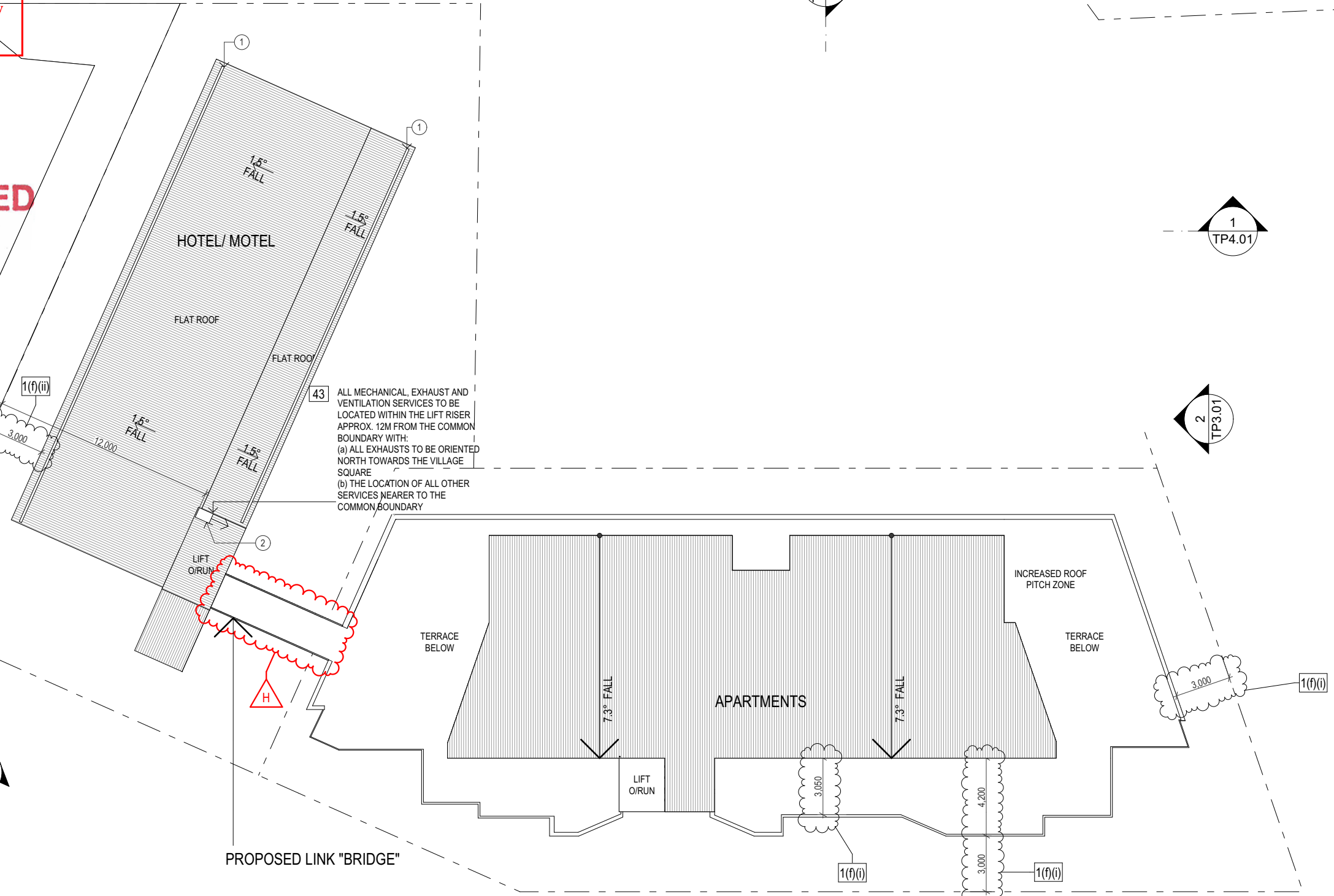


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ADVERTISED PLAN

BULLER CENTRAL



KEYNOTES

- 1 SNOW RETENTION BEAM & ELECTRIC HEAT MATT
- 2 KITCHEN EXHAUST DISCHARGING TO EAST

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

CONDITIONS

- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

ROOF PLAN 1:250



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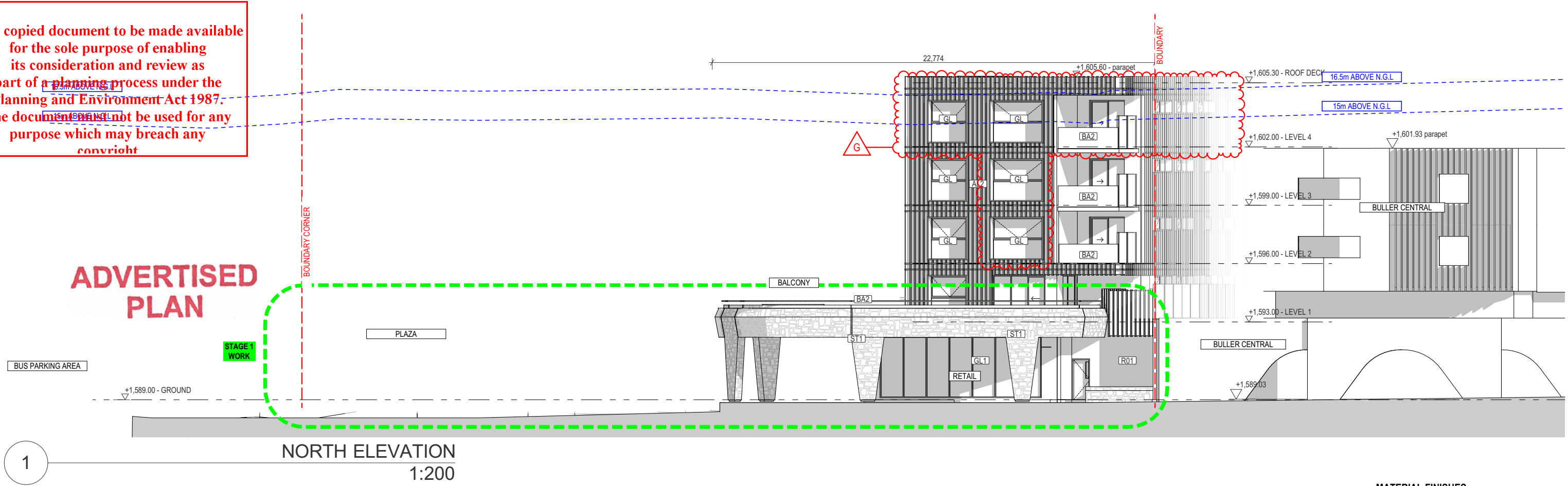
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DRAWING TITLE ROOF PLAN

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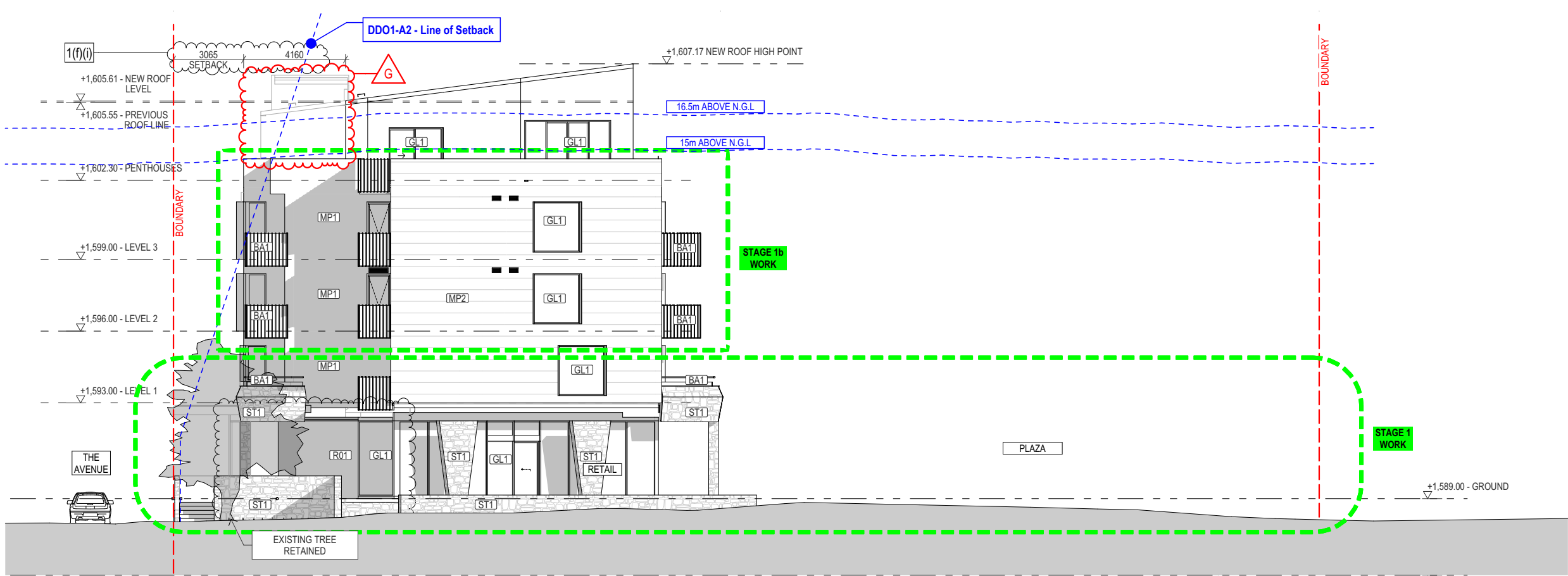


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1 NORTH ELEVATION 1:200



2 EAST ELEVATION 1:200

MATERIAL FINISHES

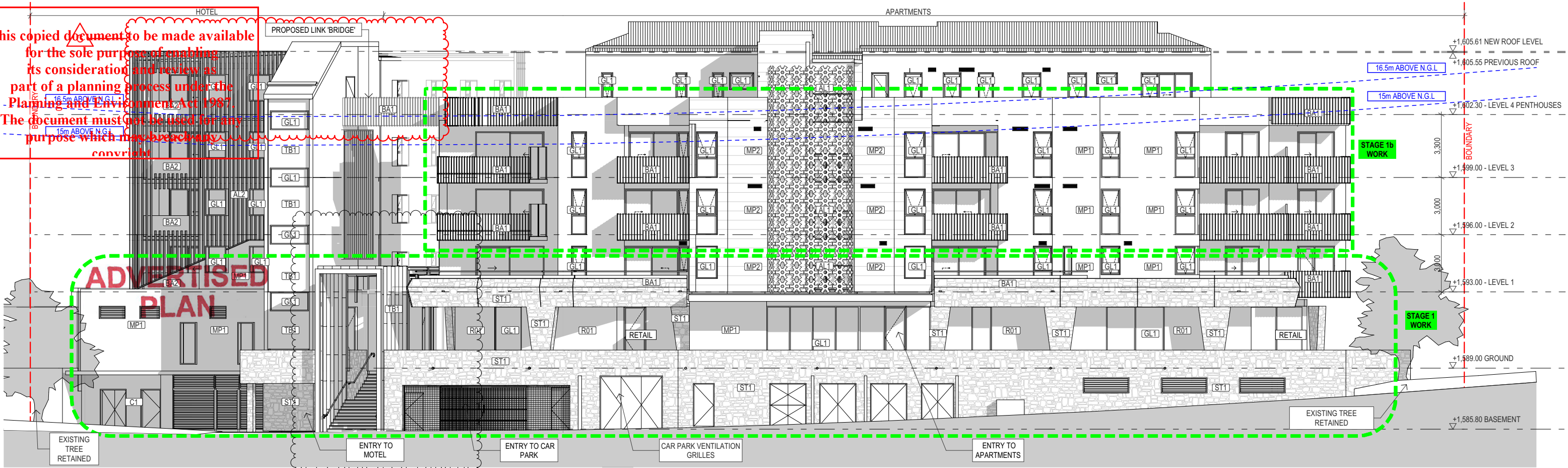
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- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ***NOT USED***
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH

- STAGE 1 WORK
 - STRUCTURE AND FITOUT
- STAGE 1b WORK
 - STRUCTURE ONLY
- STAGE 2 WORK
 - BALANCE OF WORK

CONDITIONS

1(f)(i) REFER TO NOD CONDITION 1(f)(i)

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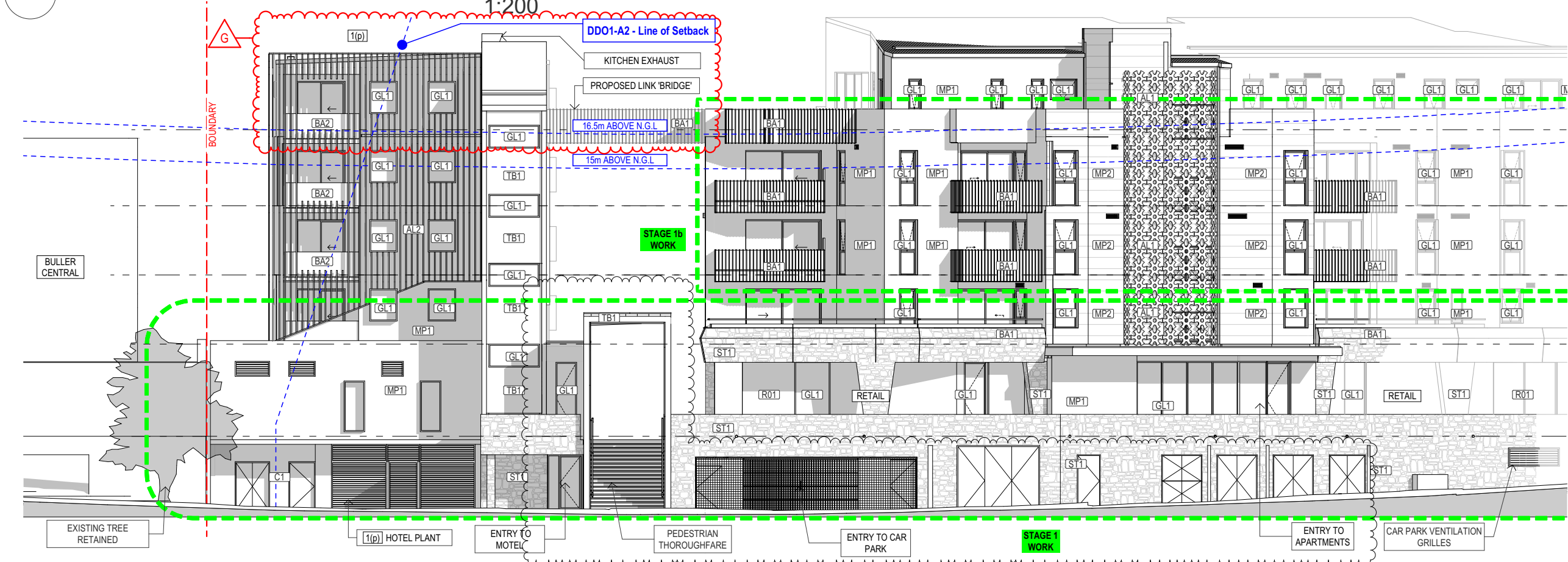


S/E ELEVATION (APARTMENTS)

1:200

1(g)

1



SOUTH ELEVATION (HOTEL)

1:200

1(g)

2

MATERIAL FINISHES

- AL1 ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ***NOT USED***
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH

- STAGE 1 WORK
 - STRUCTURE AND FITOUT
- STAGE 1b WORK
 - STRUCTURE ONLY
- STAGE 2 WORK
 - BALANCE OF WORK

CONDITIONS

- 1(g) REFER TO NOD CONDITION 1(g)
- 1(p) REFER TO NOD CONDITION 1(p)

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MATERIAL FINISHES



AL1

ALUMINIUM FEATURE PATTERN
PERFORATED SCREEN



AL2

ALUMINIUM VERTICAL BATTEN AND
BOARD CLADDING



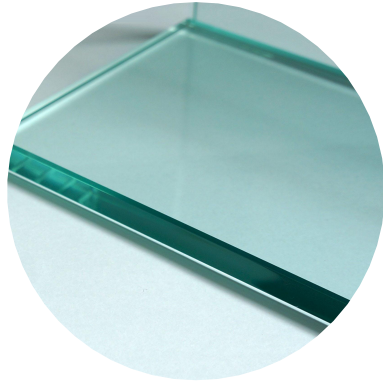
BA1

BALCONY RAIL - VERTICAL PAINTED
STEEL SLATS



BA2

BALCONY - GLASS



GL1

CLEAR GLAZING



ST1

NATURAL STONE - WARM GREY &
BROWN TONE
ECOSTONE - HOWQUA



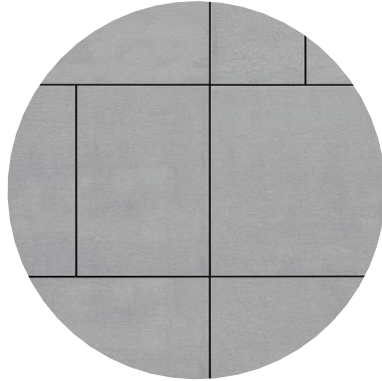
MP2

PREFINISHED METAL CLADDING -
ZINC HORIZONTAL



TB1

TIMBER LOOK METAL EXPRESSED
JOINT CLADDING SYSTEM (COVET
EVER ART WOOD PANEL OR
SIMILAR)



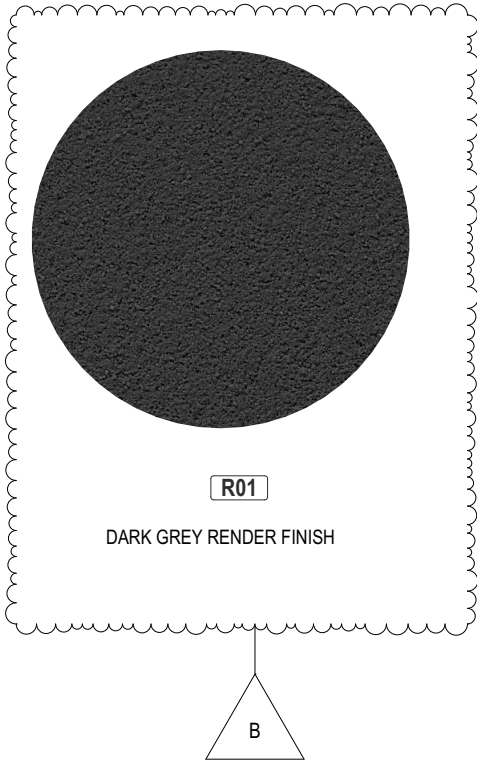
MP1

PREFINISHED METAL CLADDING -
LIGHT GREY TONE



C1

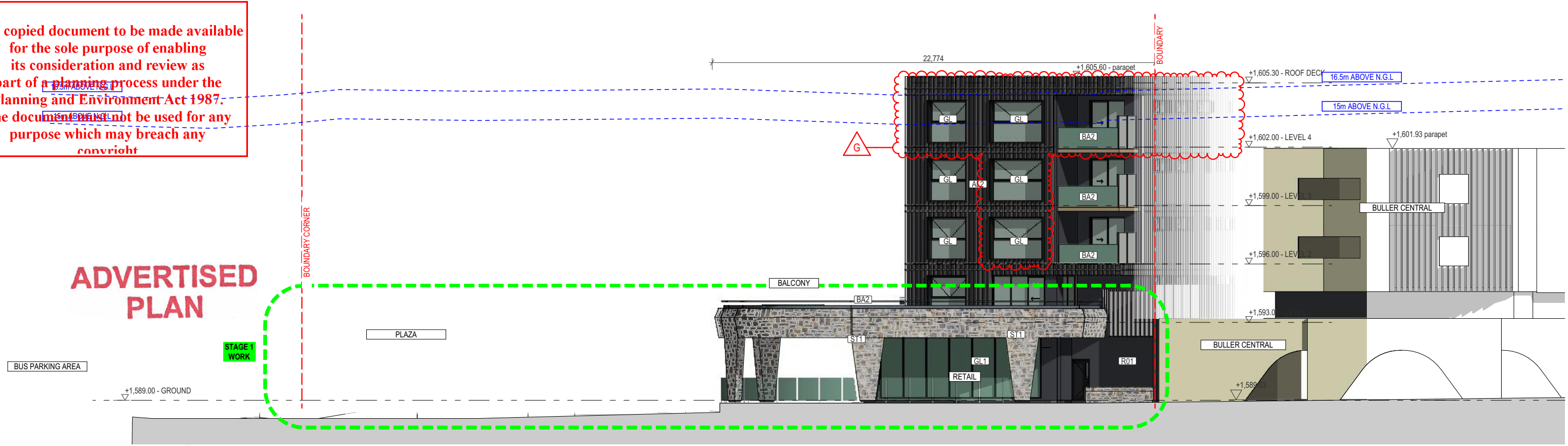
OFF FORM CONCRETE FINISH



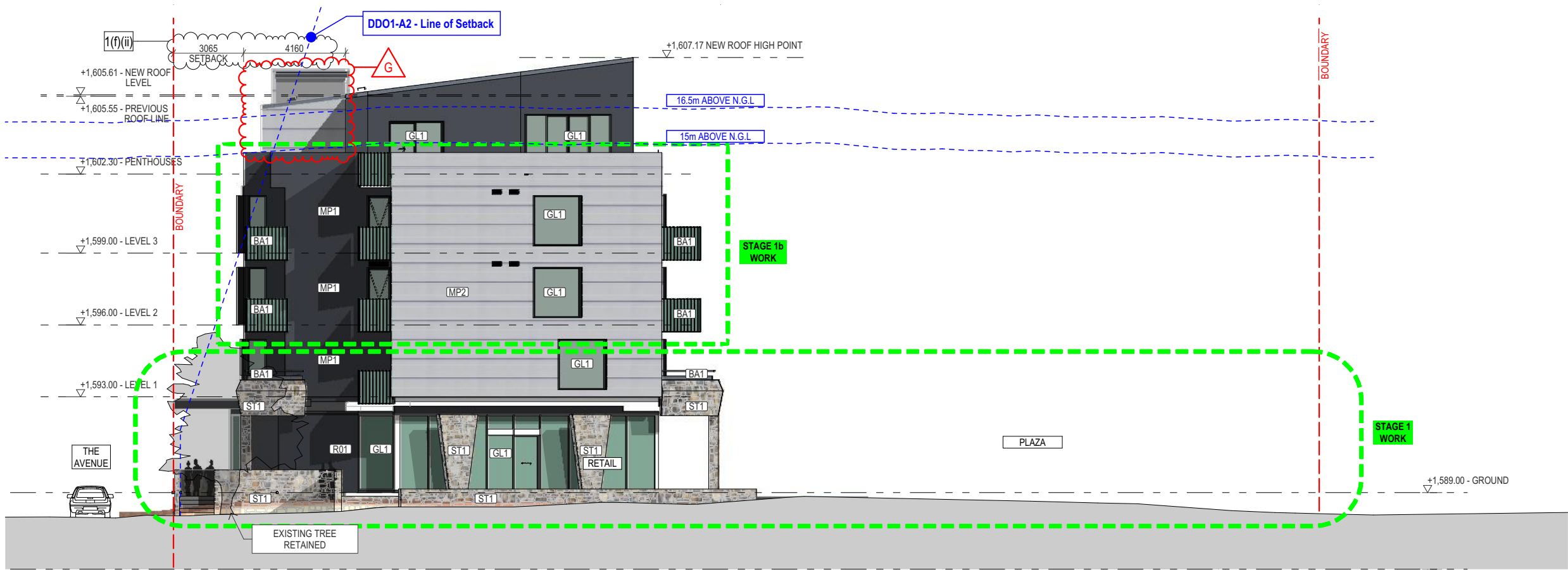
R01

DARK GREY RENDER FINISH

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1 NORTH ELEVATION 1:200



2 EAST ELEVATION 1:200

MATERIAL FINISHES

- AL1 ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ****NOT USED****
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH

- STAGE 1 WORK
- STRUCTURE AND FITOUT
- STAGE 1b WORK
- STRUCTURE ONLY
- STAGE 2 WORK
- BALANCE OF WORK

CONDITIONS
1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)



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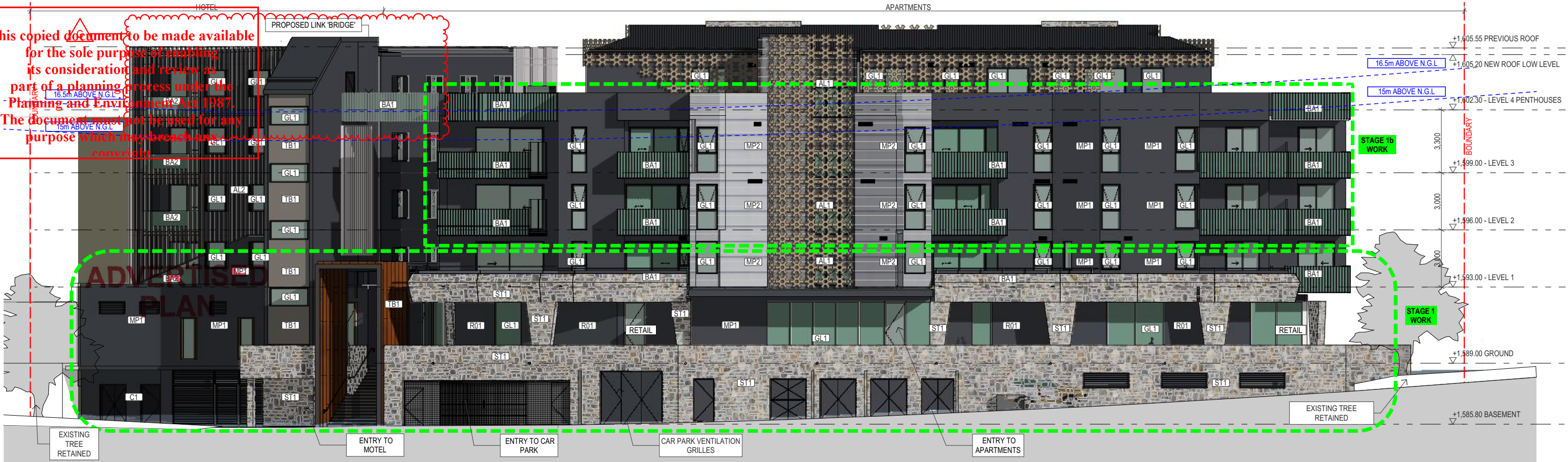
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PROJECT KOOROORA
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DRAWING TITLE COLOURED ELEVATIONS

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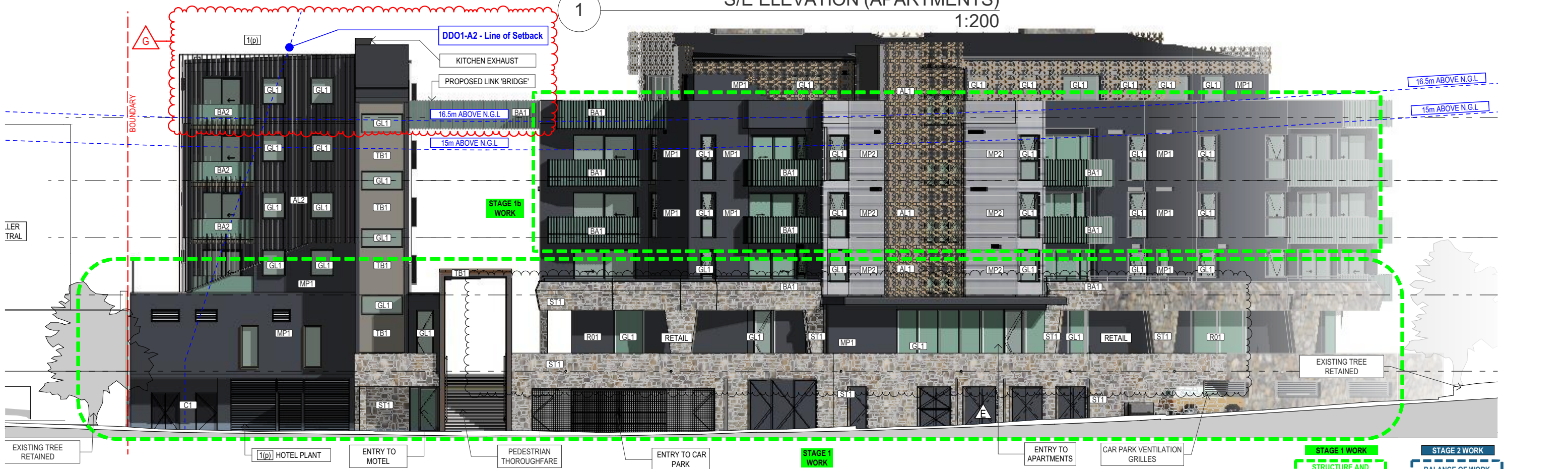
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S/E ELEVATION (APARTMENTS)

1:200

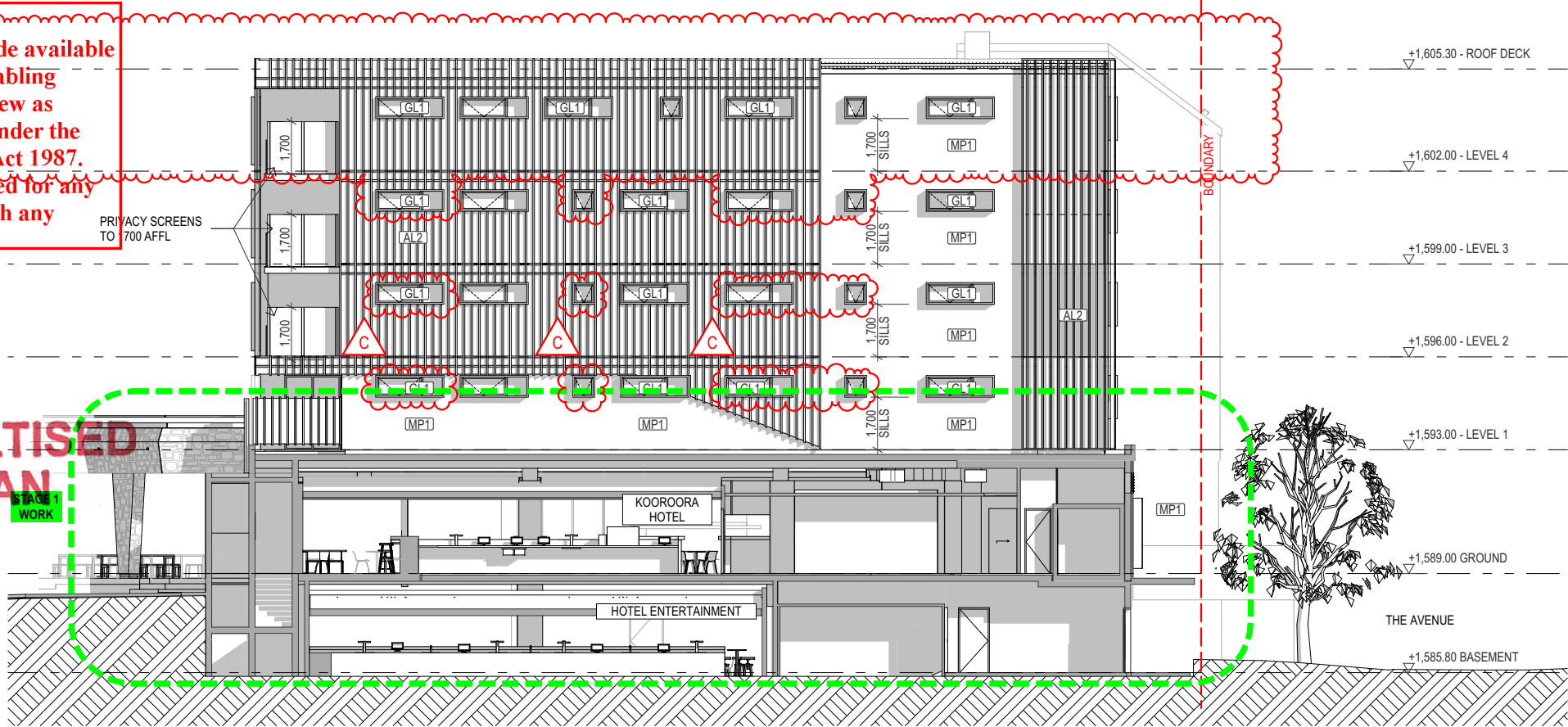


SOUTH ELEVATION (HOTEL)

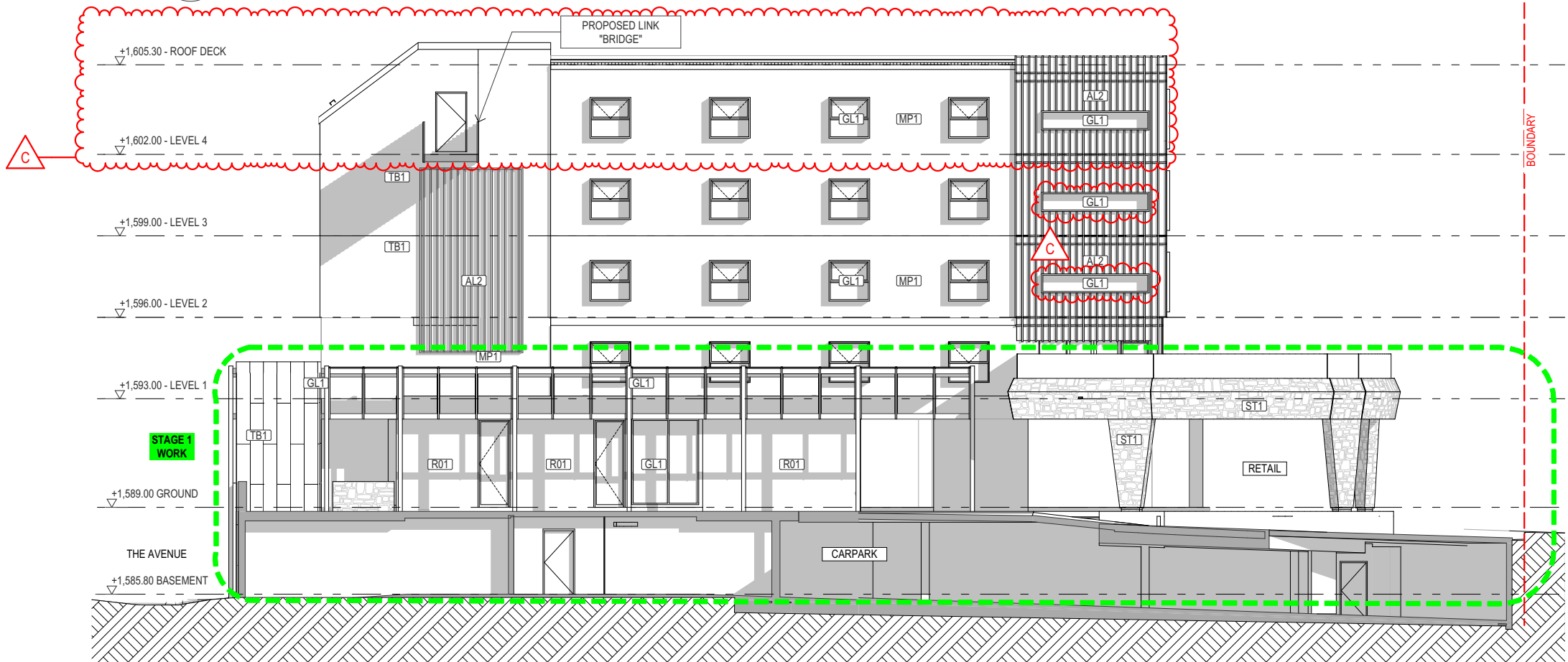
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ADVERTISED PLAN



1 WEST ELEVATION (HOTEL/ MOTEL) 1:200



2 EAST ELEVATION (HOTEL/ MOTEL) 1:200

MATERIAL FINISHES

- AL1 ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ****NOT USED****
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH

- STAGE 1 WORK
- STRUCTURE AND FITOUT
- STAGE 2 WORK
- BALANCE OF WORK

ADVERTISED PLAN



1:200



2

1:200

AL1	ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
AL2	ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
BA1	BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
BA2	BALCONY - GLASS
C1	OFF FORM CONCRETE FINISH
GL1	CLEAR GLAZING
GL2	****NOT USED****
MP1	PREFINISHED METAL CLADDING - LIGHT GREY TONE
MP2	PREFINISHED METAL CLADDING - ZINC HORIZONTAL
ST1	NATURAL STONE - WARM GREY & BROWN TONE
TB1	METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
R01	DARK GREY RENDER FINISH

STAGE 1 WORK

STRUCTURE AND FITOUT

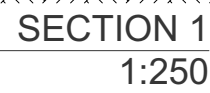
STAGE 1b WORK

STRUCTURE ONLY

STAGE 2 WORK

BALANCE OF WORK

1



ACTIVATING 'THE AVENUE'

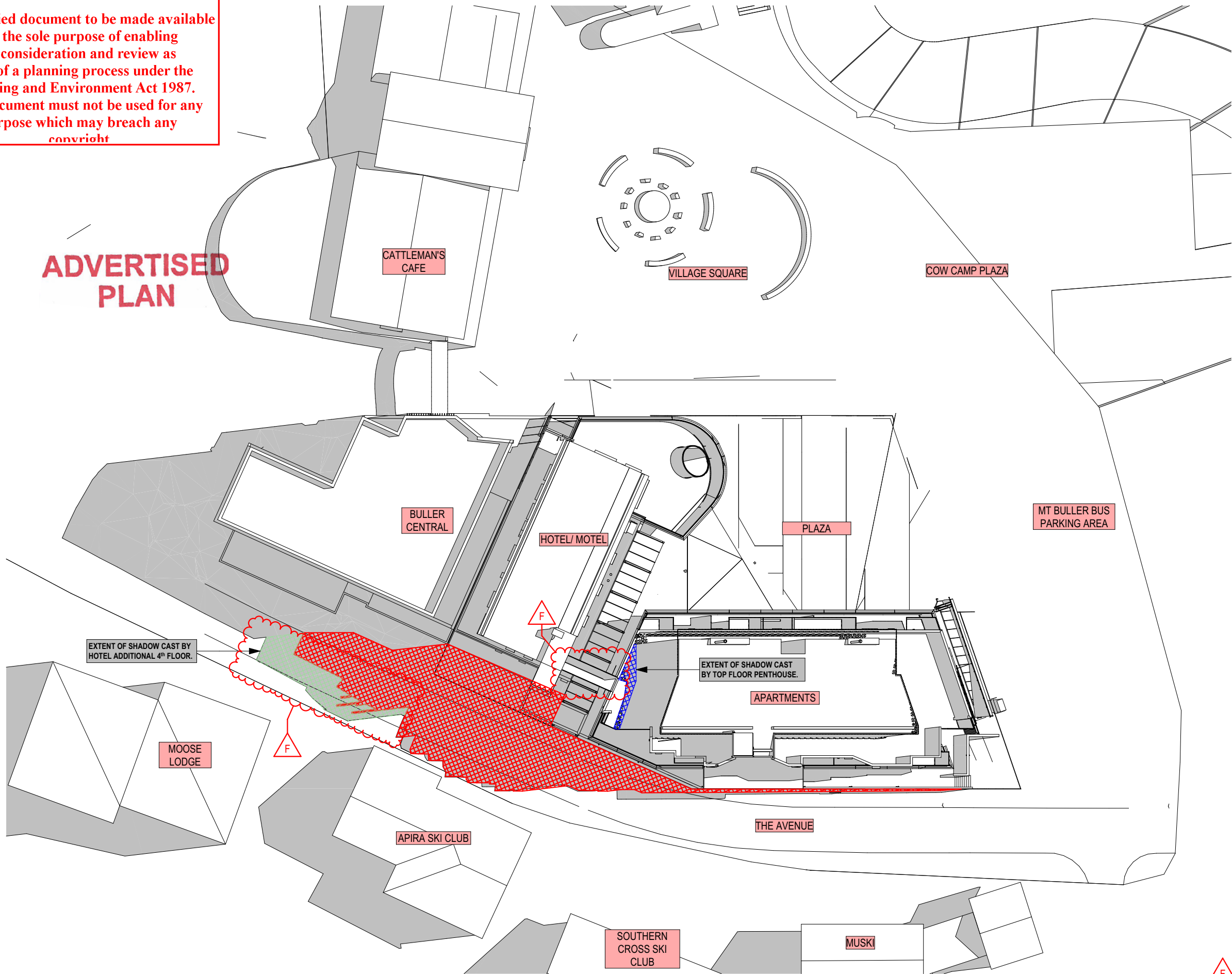
- Single vehicle entry point to secure basement eliminates the multiple vehicle on grade car parking situation that currently exists on the site
- Pedestrian entry into accommodation from The Avenue further promotes an active street front use.

12:41 PM

SCALE		DATE	JUNE 2018
		JOB NO.	17025
DRAWN	TD, JT	DWG NO.	TP4.01
CHECKED	JM, TD	REV.	H (2/11/2020)

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ADVERTISED PLAN



1

22 SEPT 9:00AM
1:500



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PROJECT KOOROORA
MT BULLER,
DRAWING TITLE SHADOW DIAGRAM - 22 SEPT 9am

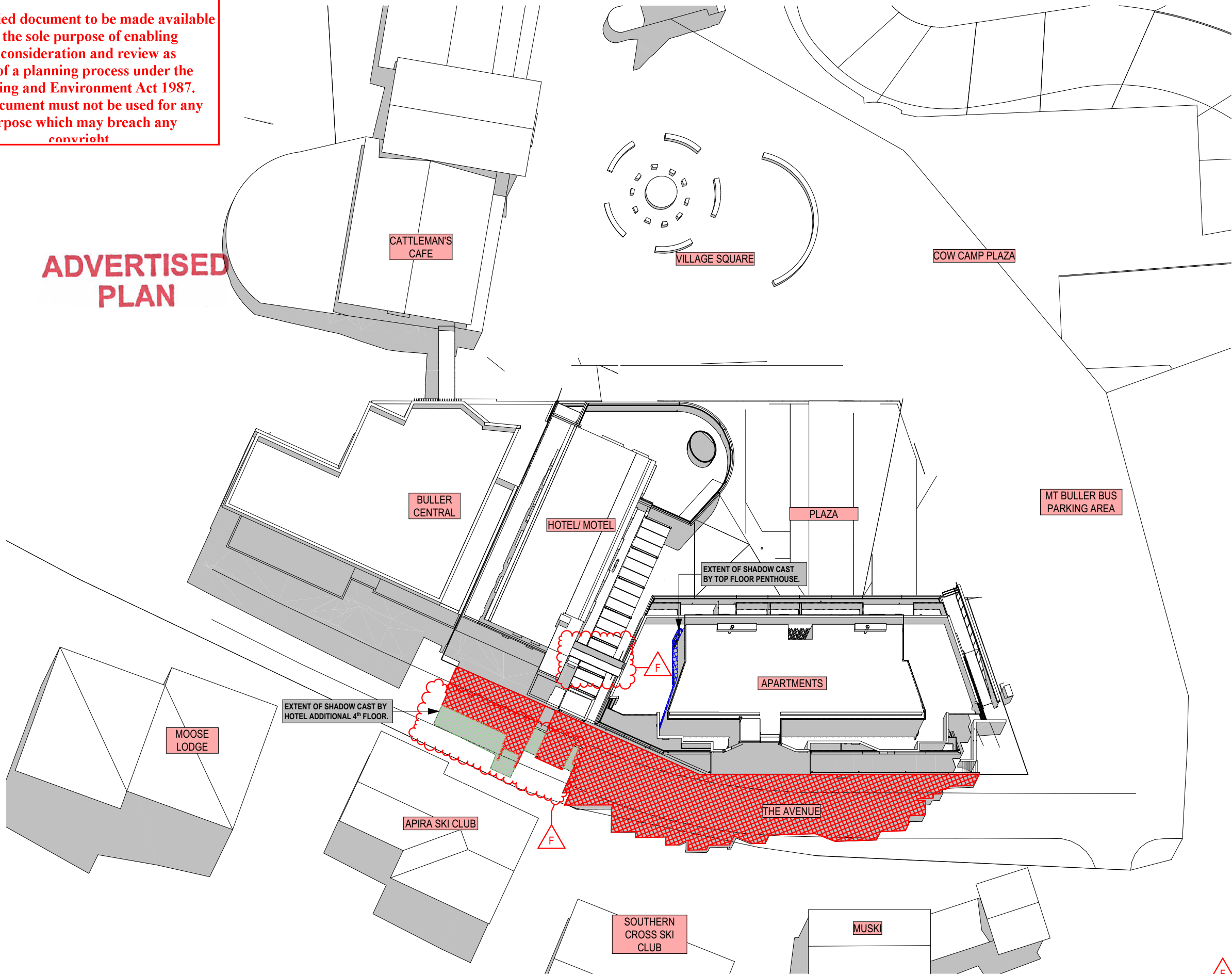
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ADVERTISED PLAN



EXTENT OF NEW SHADOWS

EXTENT OF SHADOW CAST BY TOP FLOOR PENTHOUSE APARTMENT

EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 SEPT 12 Noon
1:500



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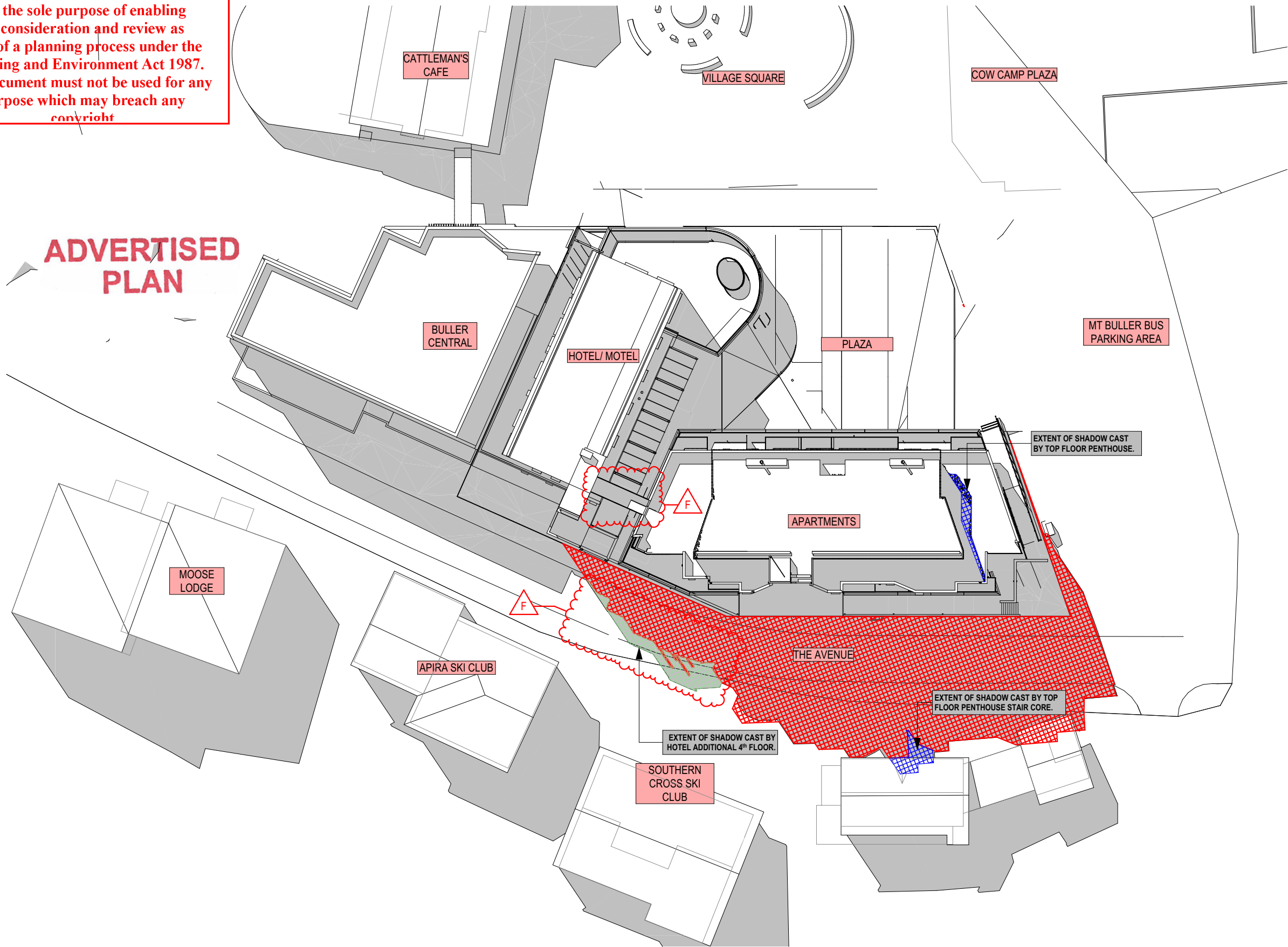
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MT BULLER,
DRAWING TITLE SHADOW DIAGRAM - 22 SEPT 12 Noon

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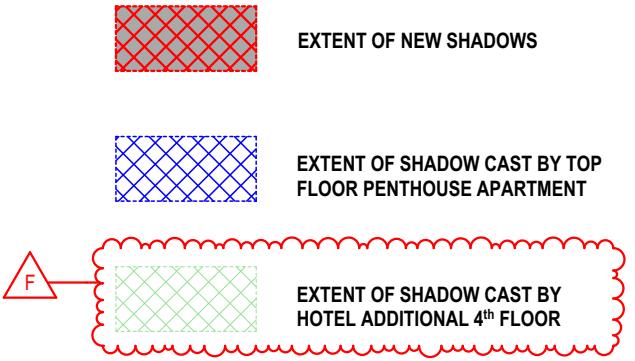


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	REV. F (2/11/2020)

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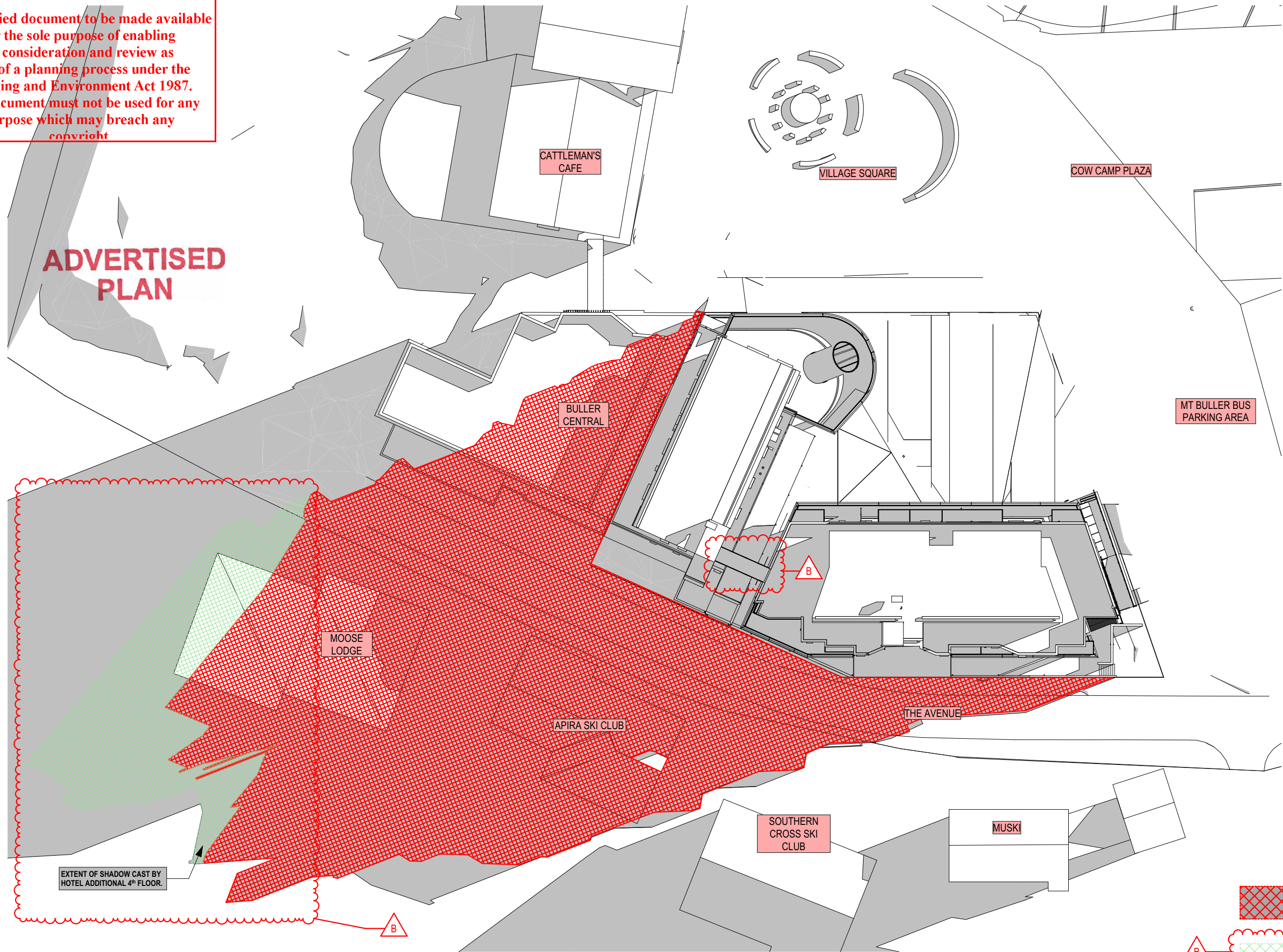


1 22 SEPT 3:00PM 1:500



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ADVERTISED
PLAN



EXTENT OF SHADOW CAST BY
HOTEL ADDITIONAL 4th FLOOR.

22 JUN 9:00AM
1:500

EXTENT OF NEW SHADOWS

EXTENT OF SHADOW CAST BY
HOTEL ADDITIONAL 4th FLOOR

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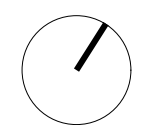
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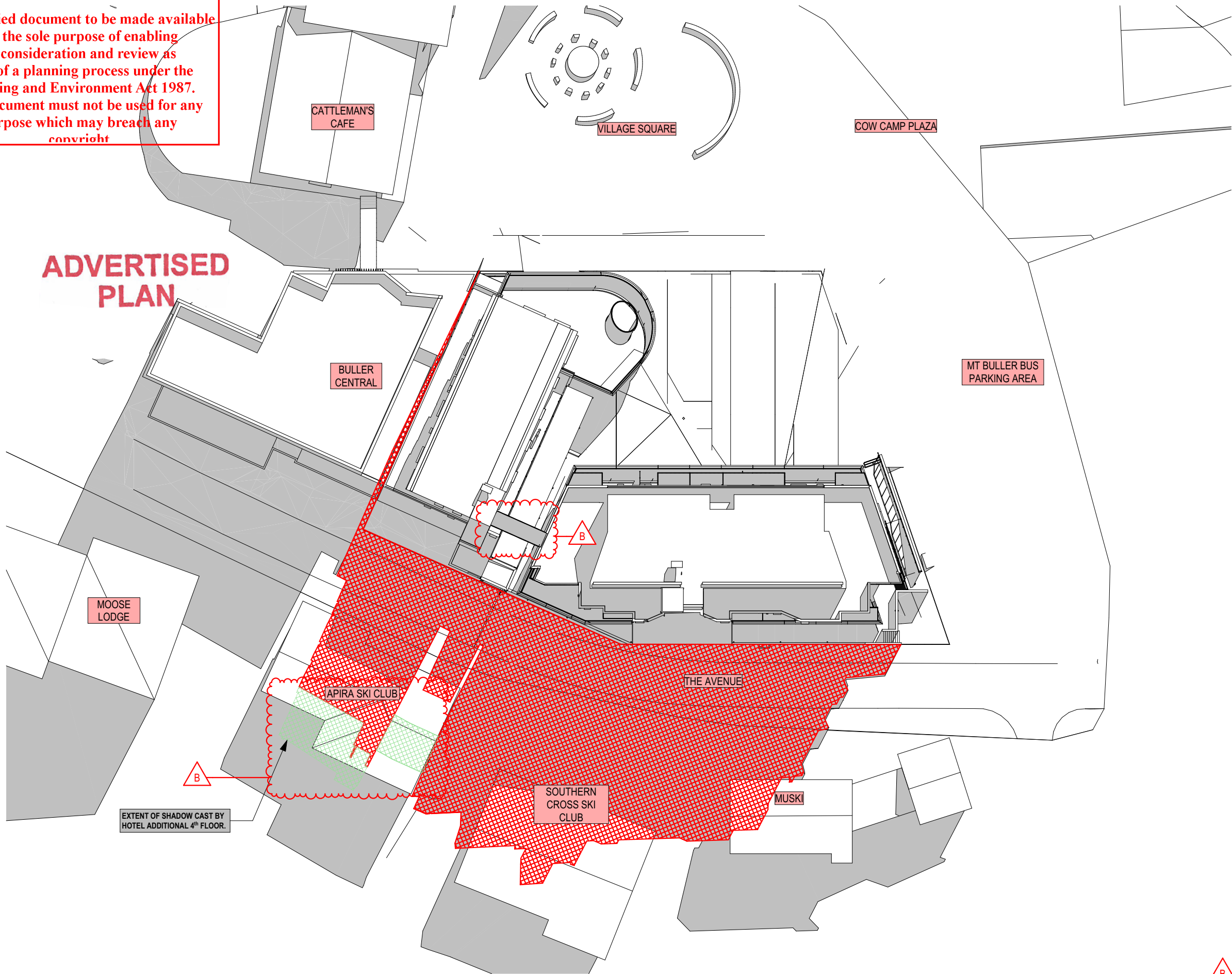
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EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR.



EXTENT OF NEW SHADOWS



EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

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22 JUN 12 Noon
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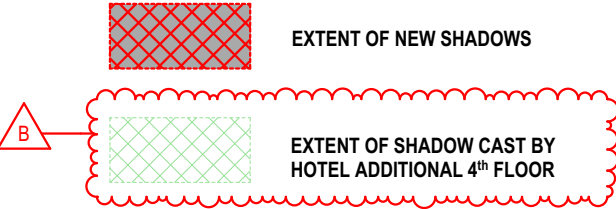
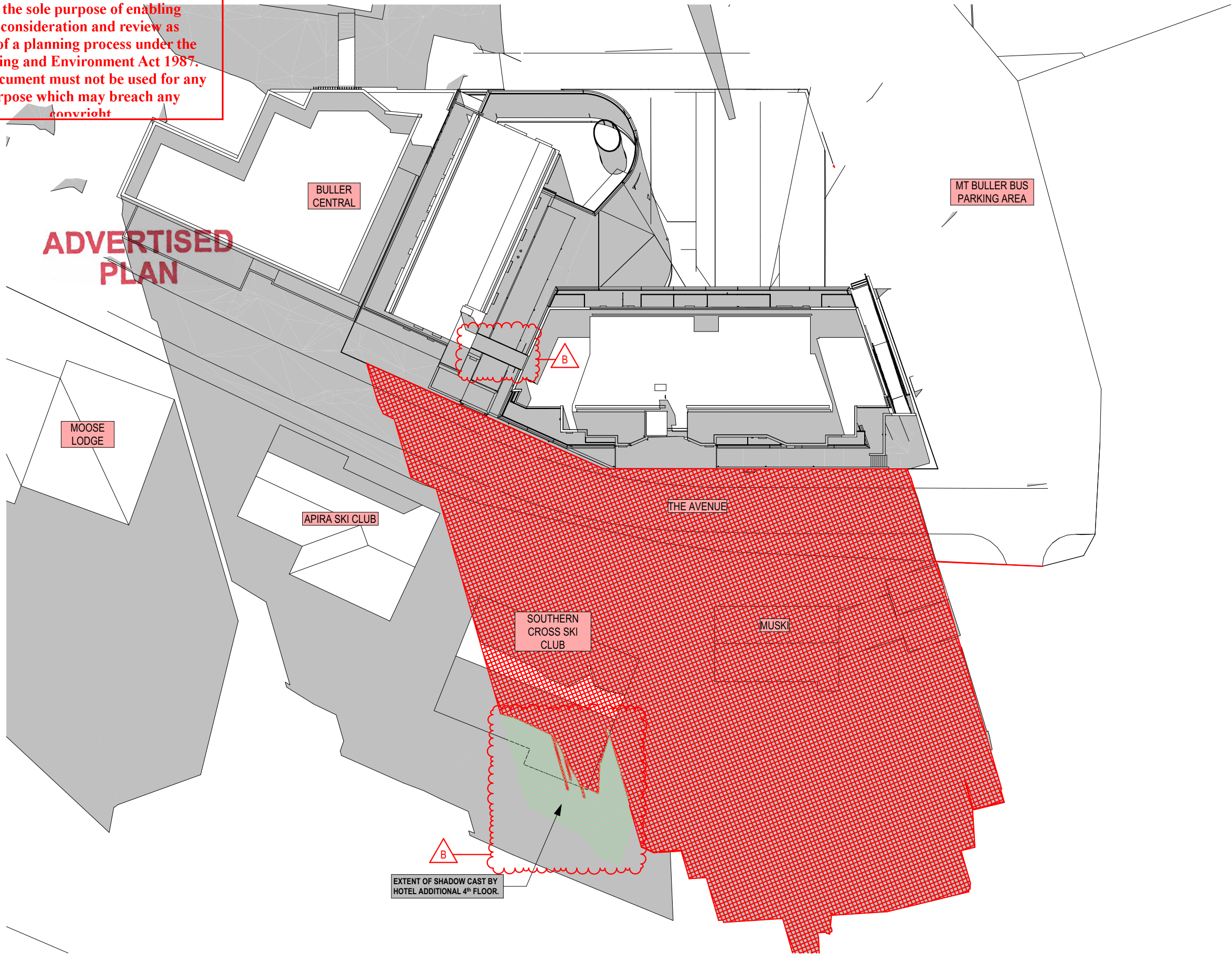
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