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**ADVERTISED
PLAN**

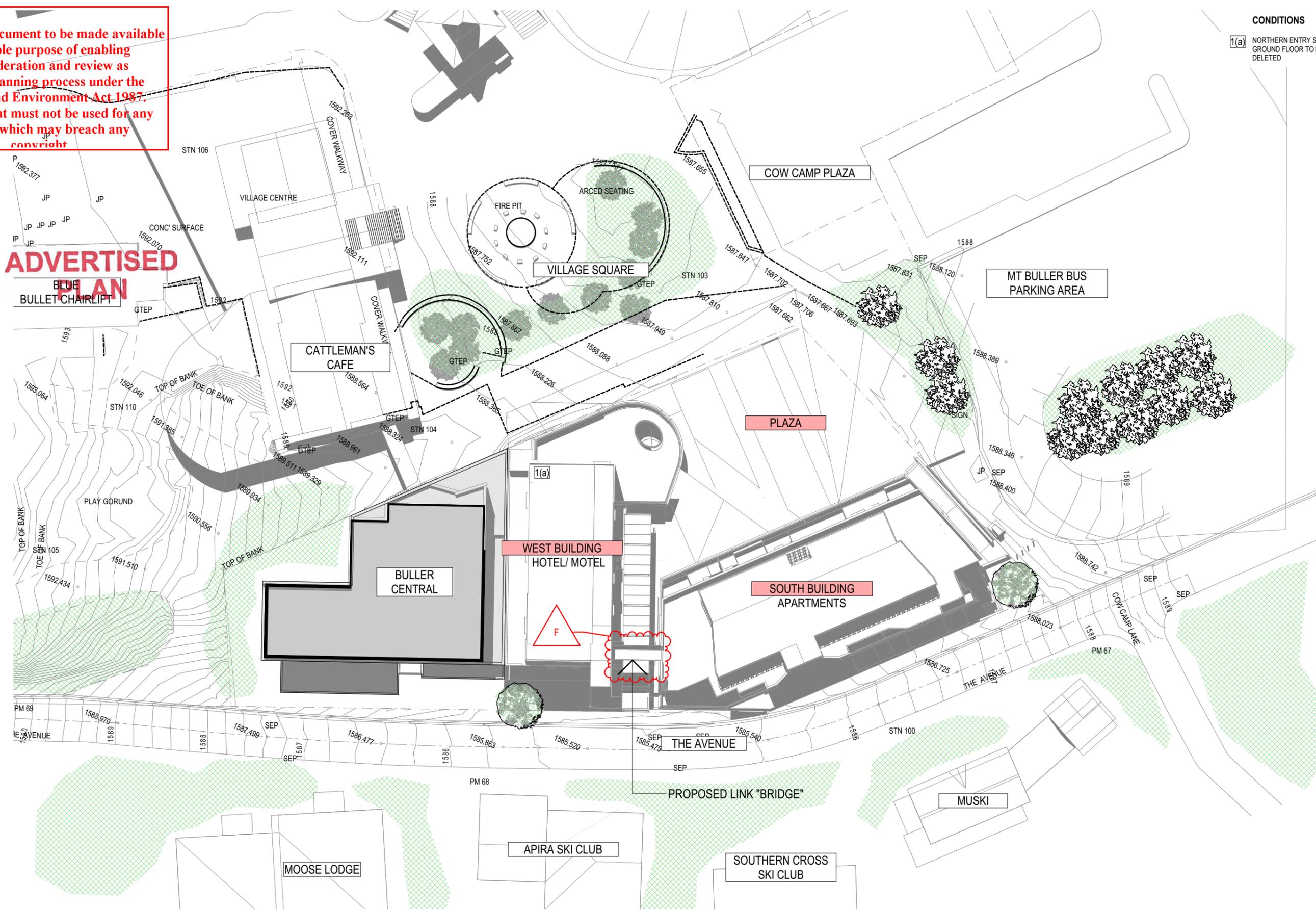
KOOROORA, MT BULLER PROPOSED HOTEL ADDITIONAL FLOOR TOWN PLANNING APPLICATION



REV. ISSUE - 2/11/2020

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CONDITIONS
 1(a) NORTHERN ENTRY STAIR FROM GROUND FLOOR TO LEVEL 1 DELETED



ADVERTISED
BLUE PLAN
 BULLET CHAIRLIFT

Site Plan
 1:500

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 2/11/2020



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PROJECT **KOOROORA**
 MT BULLER,
 DRAWING TITLE **PROPOSED SITE PLAN**



SCALE	DATE	JUNE 2018
	JOB NO.	17025
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ADVERTISED PLAN
FOR CAR PARK



- KEYNOTES**
- HOTEL ENTRY
 - BASEMENT CAR PARK ENTRY
 - EXTERNAL STAIRS TO GF PODIUM LEVEL
 - VENTILATION GRILLES TO CAR PARK
 - PUBLIC STAIR ACCESS TO RETAIL
 - FOOTPATH
 - EXISTING TREE RETAINED
 - EXTENT OF BUILDING GENERALLY AT OR ABOVE NATURAL GROUND LEVEL AT THIS POINT
 - BUILDING BELOW NATURAL GROUND LEVEL
 - MIN 50% OPEN MESH PANNELLING TO 2400 HIGH FOR VISUAL SURVEILLANCE OF ENTRY/EXIT LANES BOTH SIDES. SIGHT LINES SHOWN HATCHED TO BE CLEAR OF OBSTRUCTIONS.
 - CAR SPACES, 51 No. TOTAL
 - BIKE SPACES, 16 No. TOTAL
 - ESCAPE EXIT FROM CARPARK
 - THOROUGHFARE ACCESS ENTRY STAIRS
 - FIRE ESCAPE STAIR FROM CARPARK AND HOTEL ENTERTAINMENT
 - REFER TO NOD CONDITION 1(o), OPTION 3 TREATMENT:
 1) STANDARD BASEMENT CONSTRUCTION PLUS A FLOATED SLAB (140MM) ON 17MM THICK (REGULPOL VIBRATION 200) RUBBER UNDERLAY (REQUIRES A FLAT BASE SLAB UNDERNEATH, NOT ON GROUND)
 2) INNER BLOCK OR PRECAST CONCRETE WALLS BUILT ON THE FLOATED SLAB
 3) STRUCTURAL COLUMNS BOXED OUT OFF THE SLAB ABOVE

- REDLINE AREA**
- ALCOHOL LICENSED AREA**
- STAGE 1 WORK**
STRUCTURE & FITOUT
- STAGE 2 WORK**
BALANCE OF WORK
- CARPARK**
CAR PARKING AND CIRCULATION SPACES ETC. TO BE CONSTRUCTED TO A.S.2890.1

- CONDITIONS**
- REFER TO NOD CONDITION 1(g) AND KEYNOTE (5)
 - REFER TO NOD CONDITION 1(h)
 - REFER TO NOD CONDITION 1(l)
 - REFER TO NOD CONDITION 1(m)
 - GENERALLY CARPARKS TO BE ALLOCATED AS FOLLOWS:
 HOTEL - 7
 RETAIL - 6
 APARTMENTS - 25
 VISITORS AND GENERAL - 12
 DISABLED - 1
 - REFER TO NOD CONDITION 14(b) AND KEYNOTE (10)
 - REFER TO NOD CONDITION 15
 - REFER TO NOD CONDITION 43(b)

BASEMENT PLAN 1:250 STAGE 1

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PROJECT **KOOROORA**
 MT BULLER,
 DRAWING TITLE **BASEMENT LEVEL PLAN**

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SCALE 1:250 DATE JUNE 2018
 JOB NO. 17025
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CONCRETE APRON TO PERIMETER TO BE RECONSTRUCTED IN BRUSHED CONCRETE TO MATCH EDGE OF PLAZA LEVEL

NEW PLAZA TO BE FINISHED IN BRUSHED NATURAL CONCRETE FINISH TO GRADES INDICATED

- KEYNOTES**
- EXTERNAL STAIRS TO GF PODIUM LEVEL
 - PROPOSED PLAZA TO BE ON GRADE WITH EXISTING VILLAGE SQUARE LEVELS AT BOUNDARY.
 - LINE OF BALCONY / BUILDING OVER
 - RESIDENTIAL ENTRY
 - RETAIL ENTRY POINTS
 - GLAZED ROOF OVER WALKWAY
 - EXISTING TREE TO BE RETAINED
 - THE AVENUE FOOTPATH BELOW
 - EXTERNAL STAIR - FIRE ESCAPE FROM BASEMENT
 - PEDESTRIAN ACCESS RAMPS
 - PUBLIC PLAZA - NEW SELECT EXTERNAL STONE FINISH. ADJACENT FINISHES TO ALIGN.
 - EXISTING SURFACE FINISH LEVELS TO SUIT NEW PLAZA WORKS TO COMPLY WITH RELEVANT AUTHORITY
 - RAMP ACCESS FOR DELIVERIES

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- REDLINE AREA
- ALCOHOL LICENSED AREA
- STAGE 1 WORK
STRUCTURE & FITOUT
- STAGE 2 WORK
BALANCE OF WORK

- CONDITIONS**
- 1(g) REFER TO NOD CONDITION 1(g)
 - 1(m) REFER TO NOD CONDITION 1(m)
 - 6 REFER TO NOD CONDITION 6
 - 37 BUILDING TO BE IN COMPLIANCE WITH BUSHFIRE MANAGEMENT OVERLAY VC109
 - 38 CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF BAL40 OR BAL29 AS REQUIRED BY THE CFA INCLUDING:
 - THE EXTERNAL FABRIC OF THE BUILDING WILL BE NON-COMBUSTIBLE WITH NO WOODEN ELEMENTS, COMPRISING A MIX OF CONCRETE, STEEL, FIBRE CEMENT SHEET, STONE CLADDING, ALUMINIUM SLATS AND BATTENS;
 - ALL GLAZING CONSISTS OF DOUBLE-GLAZED UNITS WITH THE OUTER GLASS BEING 6MM TOUGHENED GLASS;
 - THE BUILDING WILL BE EQUIPPED WITH INTERNAL FIRE SPRINKLERS, OR UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY
 - 41 CONSTRUCTION TO BE IN ACCORDANCE WITH GEOTECHNICAL ASSESSMENT PREPARED BY AS JAMES PTY LTD NOVEMBER 2015



ADVERTISED PLAN

GROUND FLOOR PLAN 1:250 STAGE 1



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PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **GROUND FLOOR PLAN**

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KEYNOTES

- 1 DELETED
- 2 BALCONY / TERRACE
- 3 DELETED
- 4 NORTHERN ENTRY/ EXIT STAIR DELETED
- 5 GLAZED ROOF OVER WALKWAY
- 6 UNIT KW101 WITH LINK TO OUTDOOR AREAS
- 7 EXISTING TREE BELOW
- 8 NEW BUILT FORM ALIGNS WITH SETBACK OF ADJACENT BULLER CENTRAL BUILT FORM
- 9 DELETED
- 10 DELETED
- 11 FEATURE SCREEN TO FACADE
- 12 VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
- 13 BALCONY & COMMON AREA SITTING ZONE
- 14 LINE OF BALCONY / BUILDING OVER
- 15 DELETED

B BALCONY TILED WITH HEAT TRACE

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

1(m) REDLINE AREA
ALCOHOL LICENSED AREA

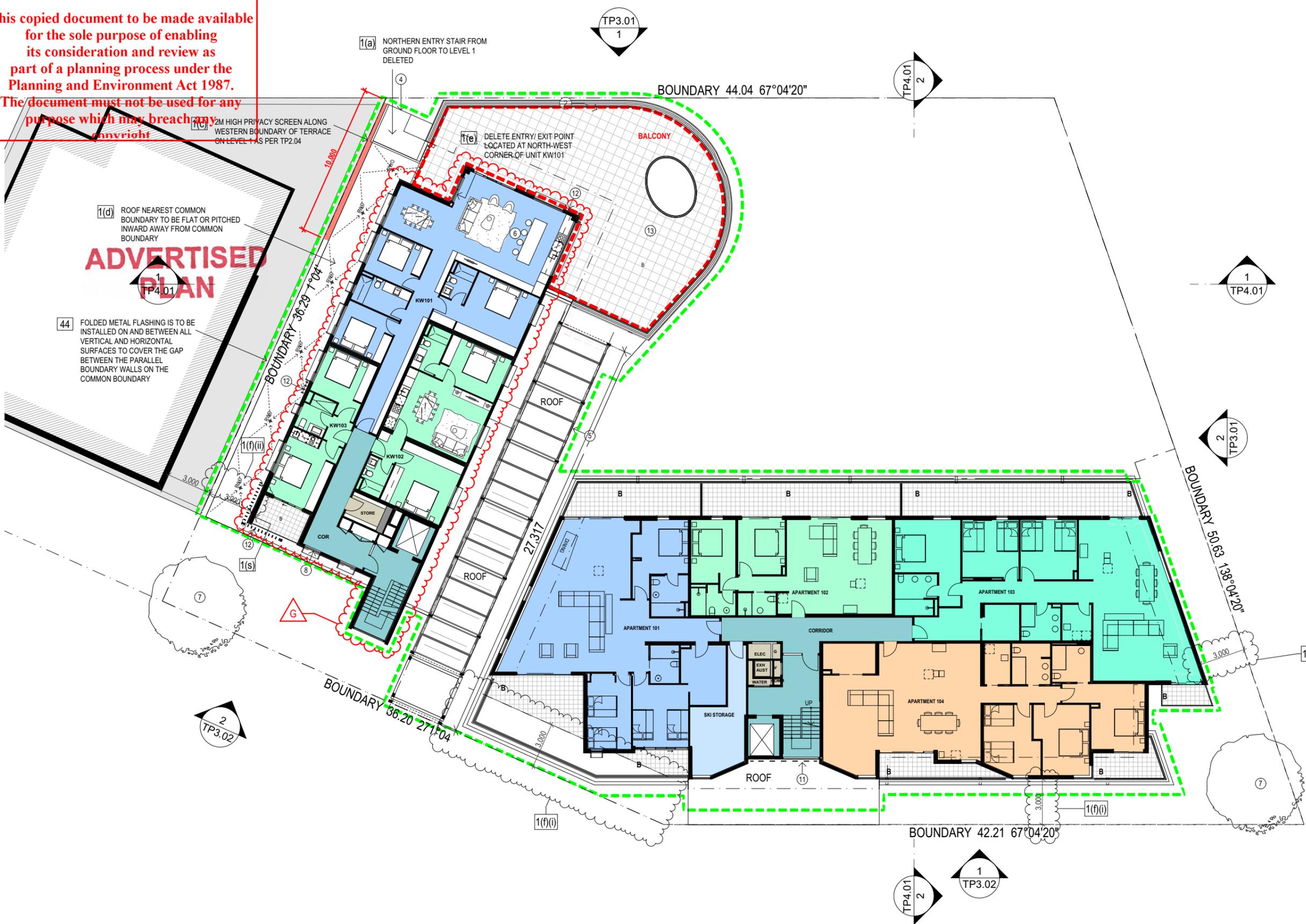
STAGE 1 WORK
STRUCTURE & FITOUT

STAGE 2 WORK
BALANCE OF WORK

CONDITIONS

- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)
- 1(m) REFER TO NOD CONDITION 1(m)
- 1(s) REFER TO NOD CONDITION 1(s)

ADVERTISED PLAN



LEVEL 1 FLOOR PLAN

1:250



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PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **LEVEL ONE FLOOR PLAN**

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2/11/2020



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BULLER CENTRAL
ADVERTISED PLAN



- KEYNOTES**
- ① VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
 - ② FEATURE SCREEN TO FACADE
 - ③ PRIVACY SCREENS TO 1700 AFFL.
- B** BALCONY TILED WITH HEAT TRACE
- NOTE:**
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- CONDITIONS**
- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
 - 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

LEVEL 2 FLOOR PLAN 1:250

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DRAWING TITLE **LEVEL TWO FLOOR PLAN**

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- KEYNOTES**
- ① VERTICAL ALUMINIUM BATTEN SCREEN TO FACADE
 - ② FEATURE SCREEN TO FACADE
 - ③ PRIVACY SCREENS TO 1700 AFFL.
- B** BALCONY TILED WITH HEAT TRACE
- NOTE:**
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

- CONDITIONS**
- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
 - 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)



ADVERTISED PLAN

BULLER CENTRAL

LEVEL 3 FLOOR PLAN 1:250



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PROJECT KOOROORA
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DRAWING TITLE LEVEL THREE FLOOR PLAN

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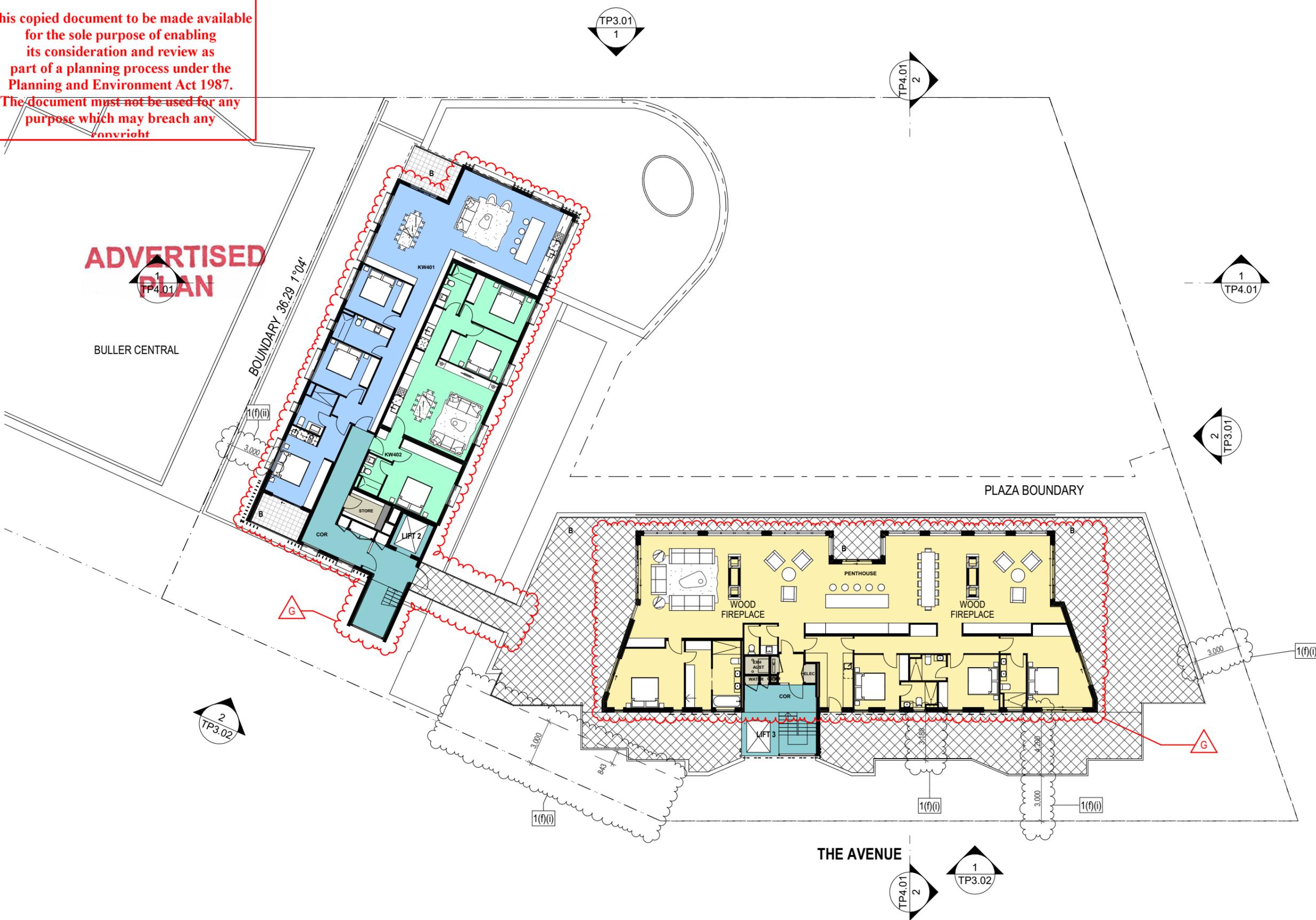
KEYNOTES

- 1 SNOW RETENTION BEAM & ELECTRIC HEAT MATT
- 2 KITCHEN EXHAUST DISCHARGING TO EAST

NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

CONDITIONS

1(f)(i) REFER TO NOD CONDITION 1(f)(i)
1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)



ADVERTISED PLAN

BULLER CENTRAL

PLAZA BOUNDARY

THE AVENUE

LEVEL 4 FLOOR PLAN - PENTHOUSE 1:250



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PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **LEVEL FOUR FLOOR PLAN**

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KEYNOTES

- ① SNOW RETENTION BEAM & ELECTRIC HEAT MATT
- ② KITCHEN EXHAUST DISCHARGING TO EAST

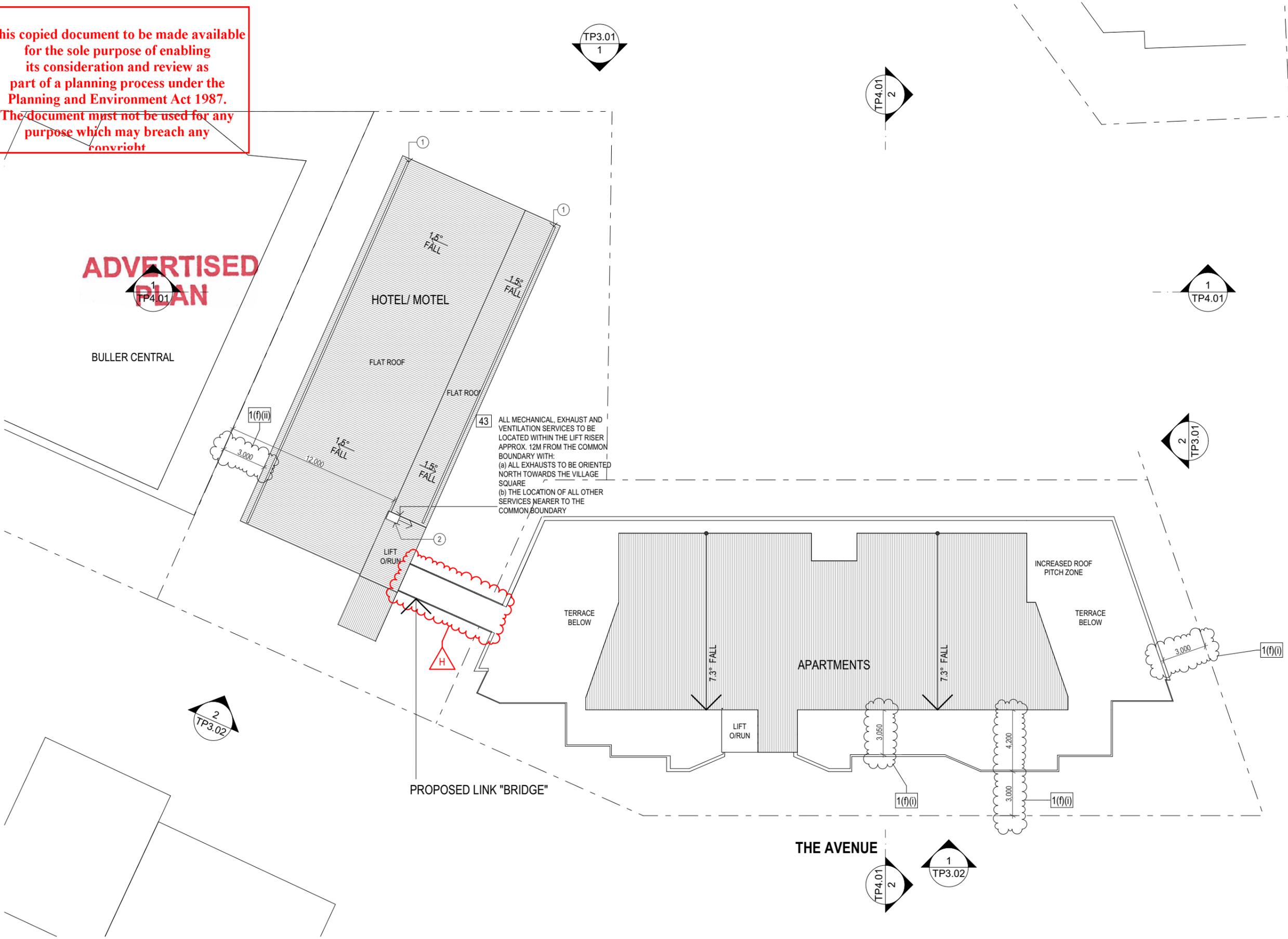
NOTE:
ALL EXPOSED EXTERNAL TERRACE & ROOFTOP AREAS TO HAVE HEAT TRACE MEASURES TO REDUCE SNOW BUILD UP

CONDITIONS

- 1(f)(i) REFER TO NOD CONDITION 1(f)(i)
- 1(f)(ii) REFER TO NOD CONDITION 1(f)(ii)

ADVERTISED PLAN

BULLER CENTRAL



43 ALL MECHANICAL, EXHAUST AND VENTILATION SERVICES TO BE LOCATED WITHIN THE LIFT RISER APPROX. 12M FROM THE COMMON BOUNDARY WITH:
(a) ALL EXHAUSTS TO BE ORIENTED NORTH TOWARDS THE VILLAGE SQUARE
(b) THE LOCATION OF ALL OTHER SERVICES NEARER TO THE COMMON BOUNDARY

ROOF PLAN 1:250



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PROJECT **KOOROORA**
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DRAWING TITLE **ROOF PLAN**

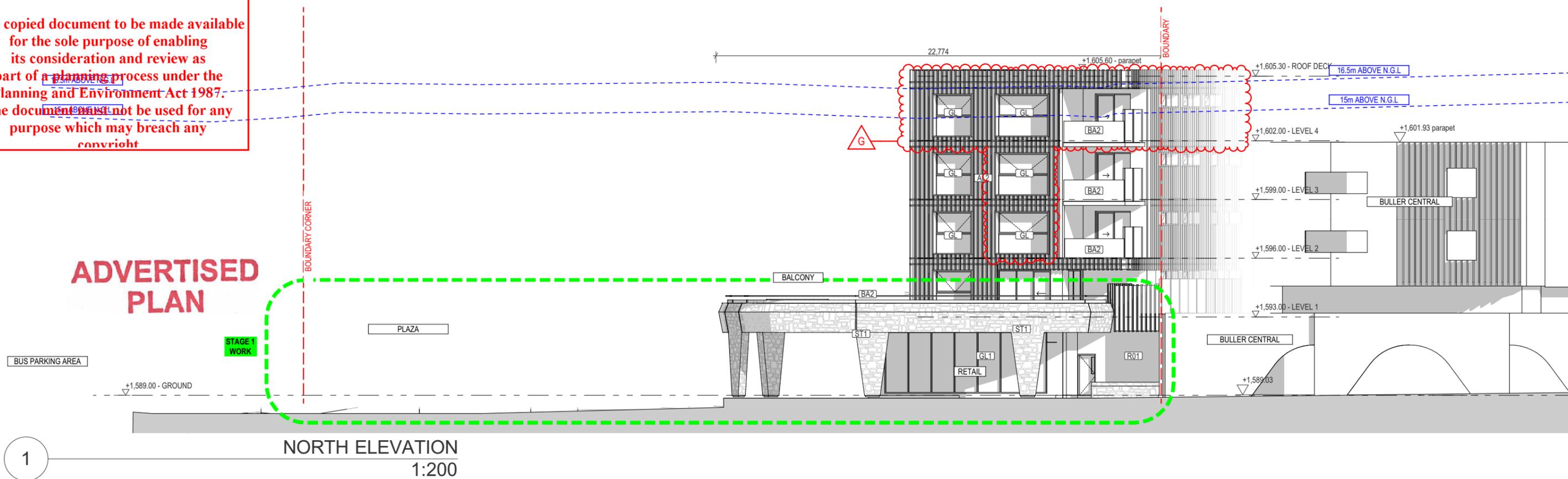
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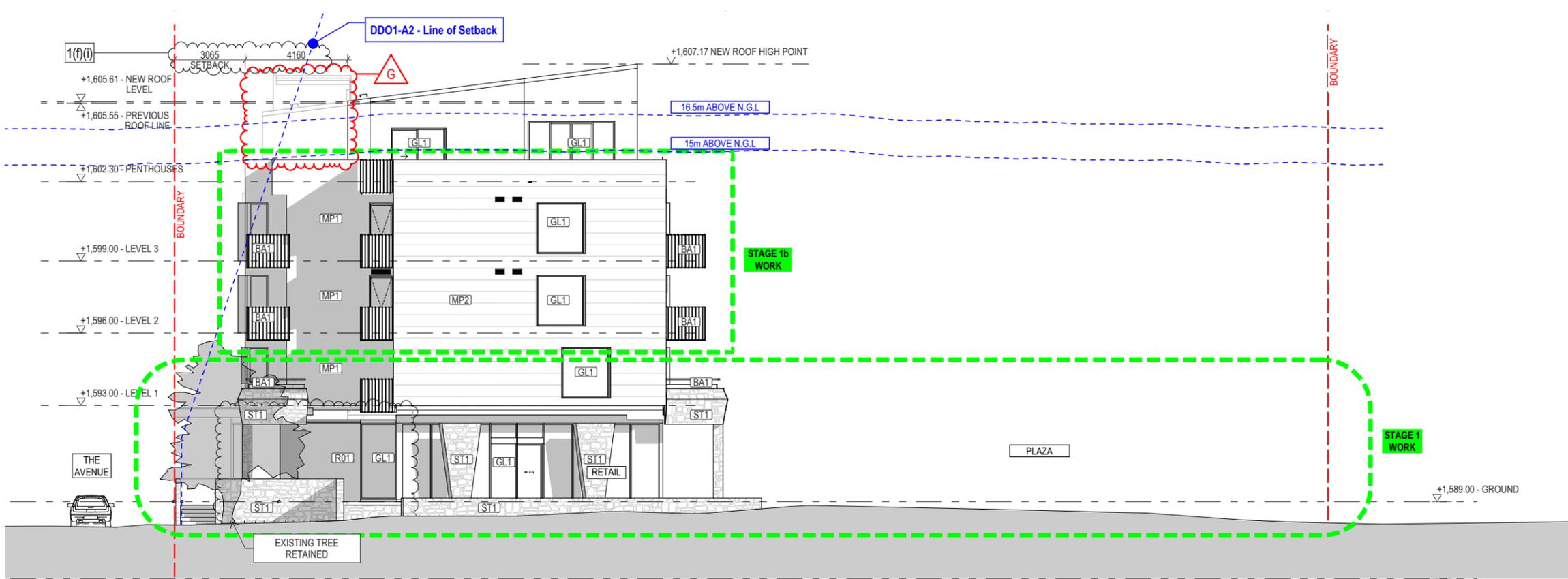
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ADVERTISED PLAN



NORTH ELEVATION
1:200



EAST ELEVATION
1:200

MATERIAL FINISHES

- AL1** ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2** ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1** BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2** BALCONY - GLASS
- C1** OFF FORM CONCRETE FINISH
- GL1** CLEAR GLAZING
- GL2** ***NOT USED***
- MP1** PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2** PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1** NATURAL STONE - WARM GREY & BROWN TONE
- TB1** METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01** DARK GREY RENDER FINISH

- STAGE 1 WORK**
STRUCTURE AND FITOUT
- STAGE 1b WORK**
STRUCTURE ONLY
- STAGE 2 WORK**
BALANCE OF WORK

CONDITIONS

1(f)(i) REFER TO NOD CONDITION 1(f)(i)



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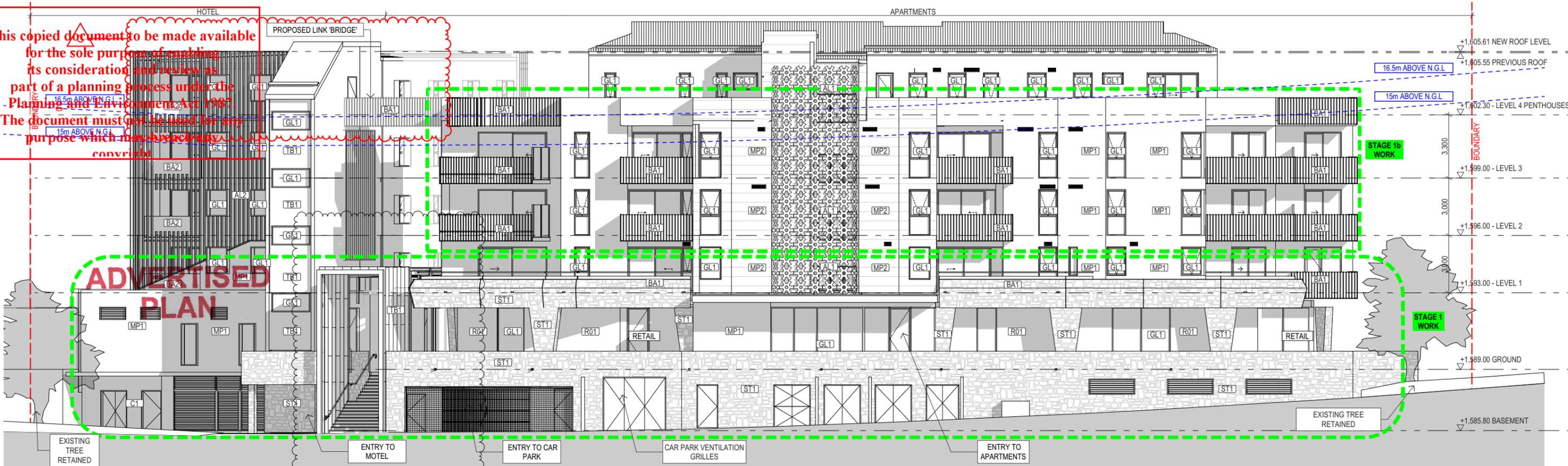
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PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **BUILDING ELEVATIONS**

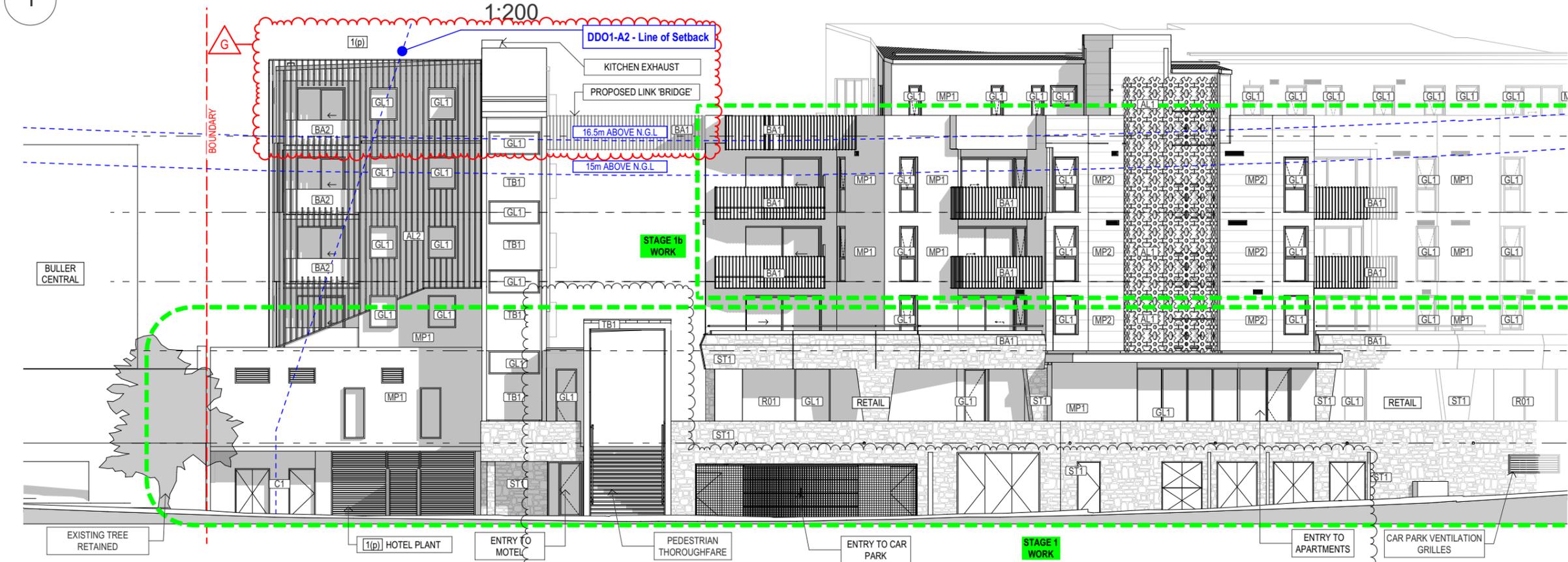
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S/E ELEVATION (APARTMENTS) 1:200



SOUTH ELEVATION (HOTEL) 1:200

MATERIAL FINISHES

- AL1** ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2** ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1** BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2** BALCONY - GLASS
- C1** OFF FORM CONCRETE FINISH
- GL1** CLEAR GLAZING
- GL2** ***NOT USED***
- MP1** PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2** PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1** NATURAL STONE - WARM GREY & BROWN TONE
- TB1** METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01** DARK GREY RENDER FINISH

- STAGE 1 WORK**
- STRUCTURE AND FITOUT
- STAGE 1b WORK**
- STRUCTURE ONLY
- STAGE 2 WORK**
- BALANCE OF WORK

CONDITIONS

- 1(g)** REFER TO NOD CONDITION 1(g)
- 1(p)** REFER TO NOD CONDITION 1(p)

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MATERIAL FINISHES



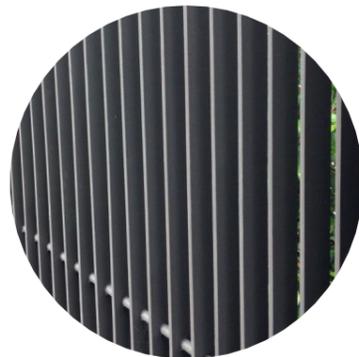
AL1

ALUMINIUM FEATURE PATTERN PERFORATED SCREEN



AL2

ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING



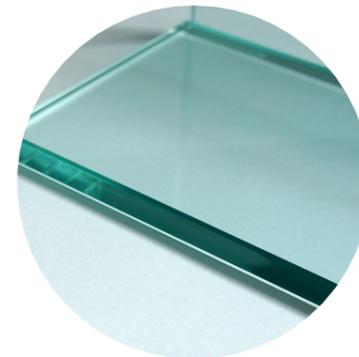
BA1

BALCONY RAIL - VERTICAL PAINTED STEEL SLATS



BA2

BALCONY - GLASS



GL1

CLEAR GLAZING



ST1

NATURAL STONE - WARM GREY & BROWN TONE
ECOSTONE - HOWQUA



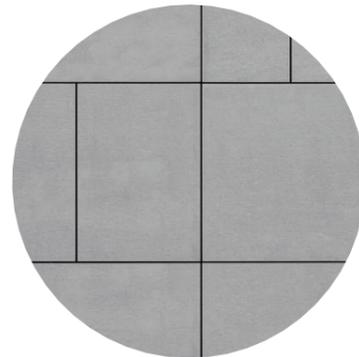
MP2

PREFINISHED METAL CLADDING - ZINC HORIZONTAL



TB1

TIMBER LOOK METAL EXPRESSED JOINT CLADDING SYSTEM (COVET EVER ART WOOD PANEL OR SIMILAR)



MP1

PREFINISHED METAL CLADDING - LIGHT GREY TONE



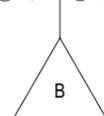
C1

OFF FORM CONCRETE FINISH



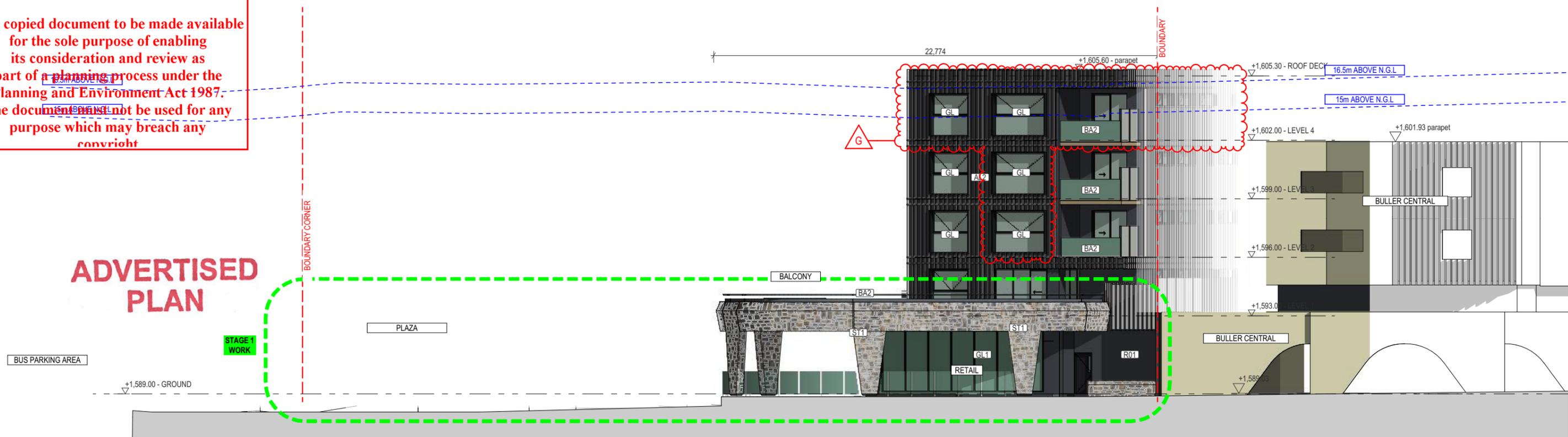
R01

DARK GREY RENDER FINISH



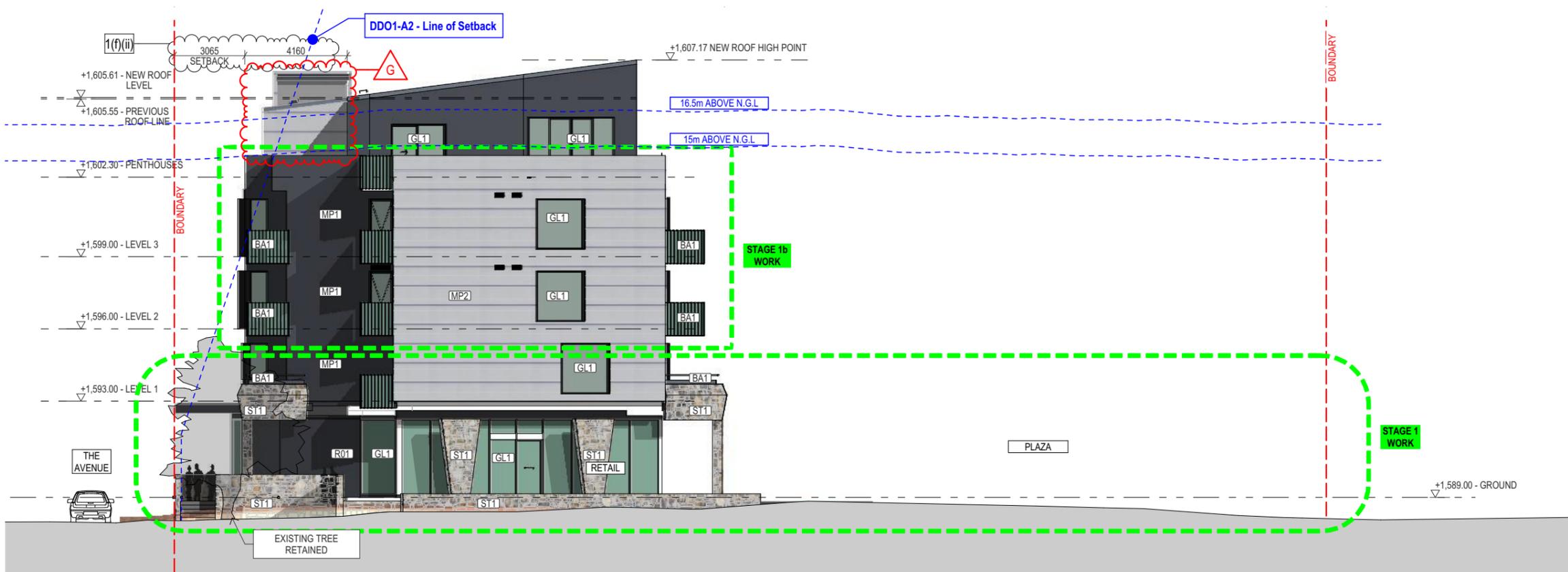
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ADVERTISED PLAN



NORTH ELEVATION
1:200

1



EAST ELEVATION
1:200

2

MATERIAL FINISHES

- [AL1] ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- [AL2] ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- [BA1] BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- [BA2] BALCONY - GLASS
- [C1] OFF FORM CONCRETE FINISH
- [GL1] CLEAR GLAZING
- [GL2] ****NOT USED****
- [MP1] PREFINISHED METAL CLADDING - LIGHT GREY TONE
- [MP2] PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- [ST1] NATURAL STONE - WARM GREY & BROWN TONE
- [TB1] METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- [R01] DARK GREY RENDER FINISH

- [STAGE 1 WORK] STRUCTURE AND FITOUT
- [STAGE 1b WORK] STRUCTURE ONLY
- [STAGE 2 WORK] BALANCE OF WORK

CONDITIONS

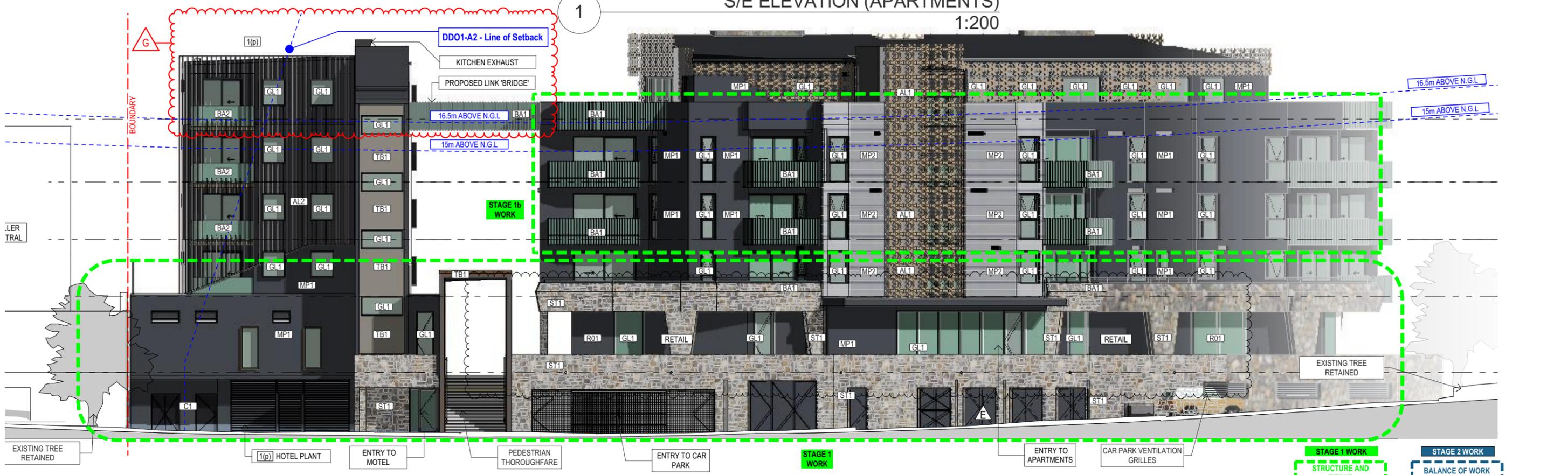
[1(f)(ii)] REFER TO NOD CONDITION 1(f)(ii)

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S/E ELEVATION (APARTMENTS)

1:200



SOUTH ELEVATION (HOTEL)

1:200

2

STAGE 1 WORK
STRUCTURE AND FITOUT

STAGE 1b WORK
STRUCTURE ONLY

STAGE 2 WORK
BALANCE OF WORK

CONDITIONS
1(p) REFER TO NOD CONDITION 1(p)



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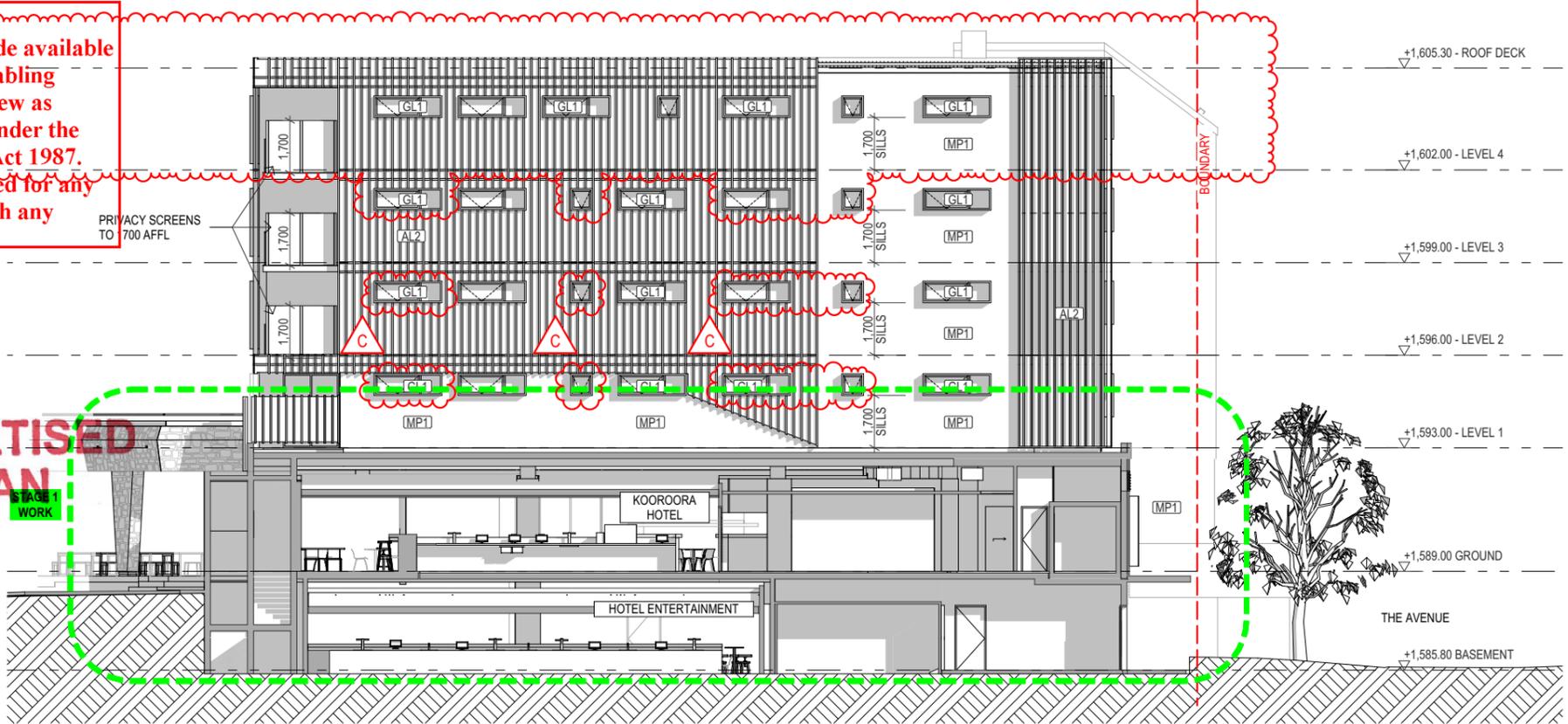
PROJECT **KOOROORA**
MT BULLER,
DRAWING TITLE **COLOURED ELEVATIONS**

FOR DISCUSSION ONLY
2/11/2020

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ADVERTISED PLAN



1 WEST ELEVATION (HOTEL/ MOTEL) 1:200



2 EAST ELEVATION (HOTEL/ MOTEL) 1:200

MATERIAL FINISHES

- AL1 ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ****NOT USED****
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH

STAGE 1 WORK
STRUCTURE AND FITOUT

STAGE 2 WORK
BALANCE OF WORK



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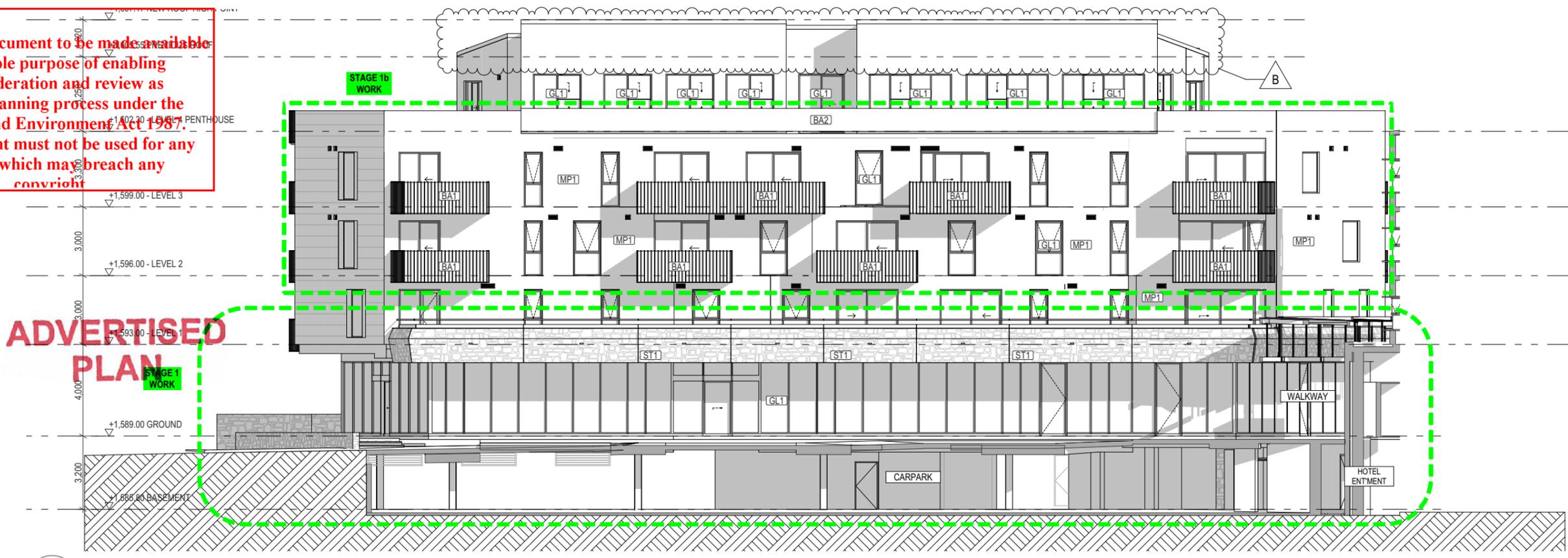
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DRAWING TITLE **BUILDING ELEVATIONS (FOR APPROVAL)**

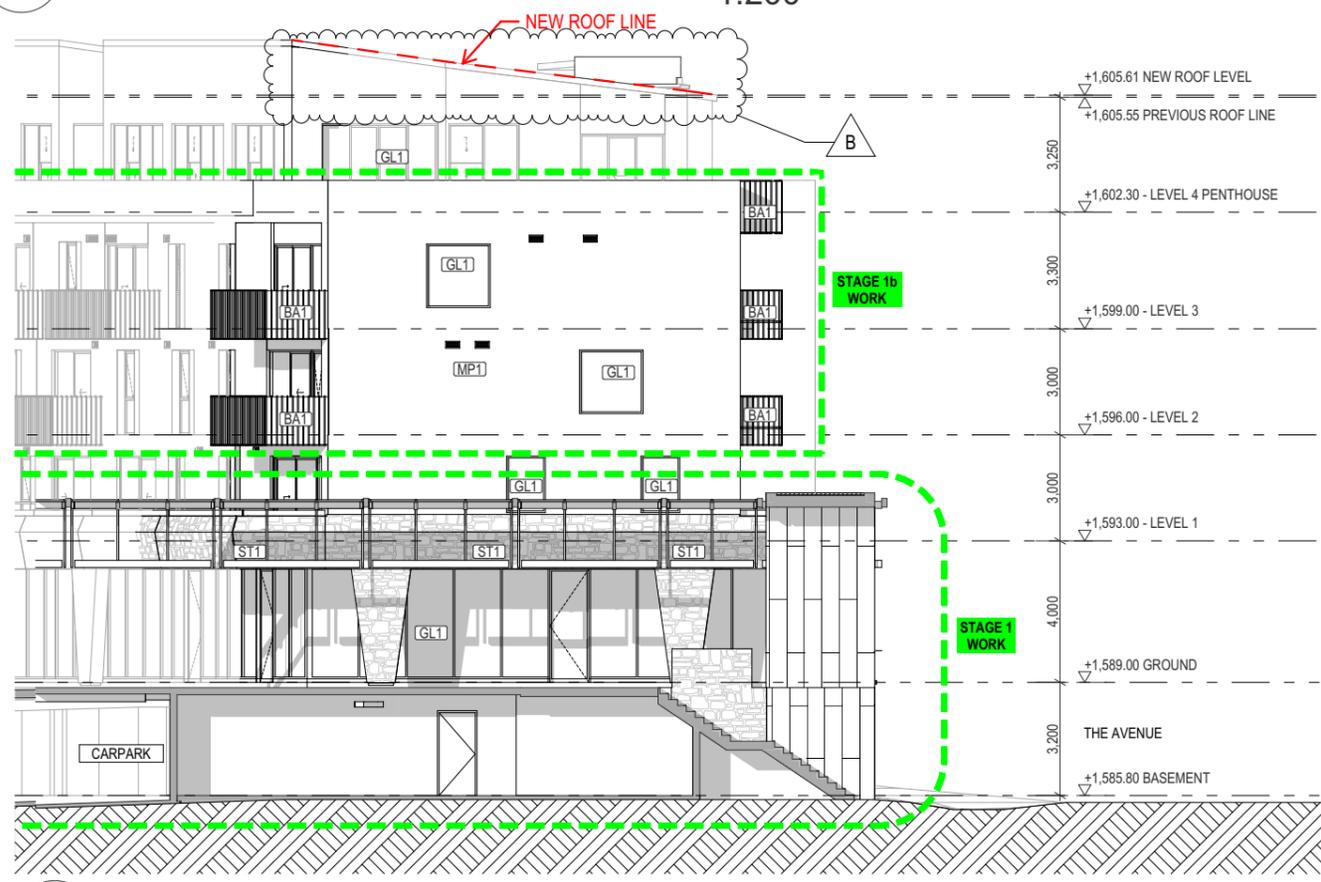
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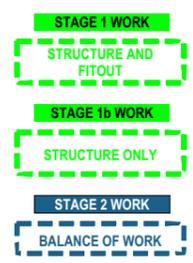
1 NORTH ELEVATION APARTMENTS
1:200



2 WEST ELEVATION (APARTMENTS)
1:200

MATERIAL FINISHES

- AL1 ALUMINIUM FEATURE PATTERN PERFORATED SCREEN
- AL2 ALUMINIUM VERTICAL BATTEN AND BOARD CLADDING
- BA1 BALCONY RAIL - VERTICAL PAINTED STEEL SLATS
- BA2 BALCONY - GLASS
- C1 OFF FORM CONCRETE FINISH
- GL1 CLEAR GLAZING
- GL2 ****NOT USED****
- MP1 PREFINISHED METAL CLADDING - LIGHT GREY TONE
- MP2 PREFINISHED METAL CLADDING - ZINC HORIZONTAL
- ST1 NATURAL STONE - WARM GREY & BROWN TONE
- TB1 METAL CLADDING WITH EXPRESSED JOINTS (COVET EVER ART OR SIMILAR)
- R01 DARK GREY RENDER FINISH



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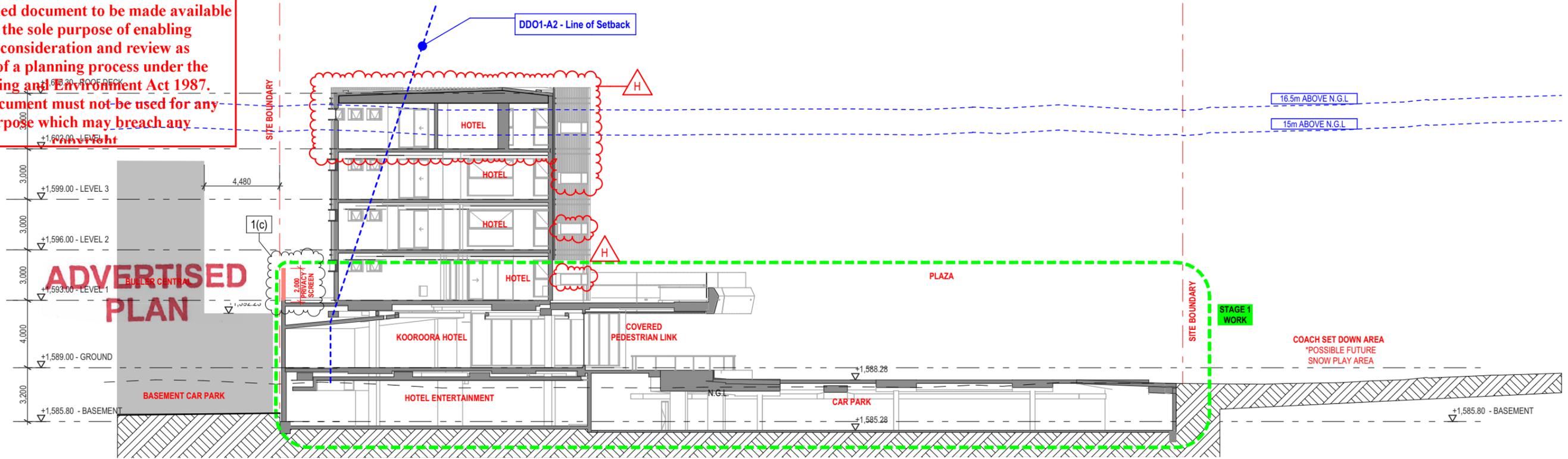
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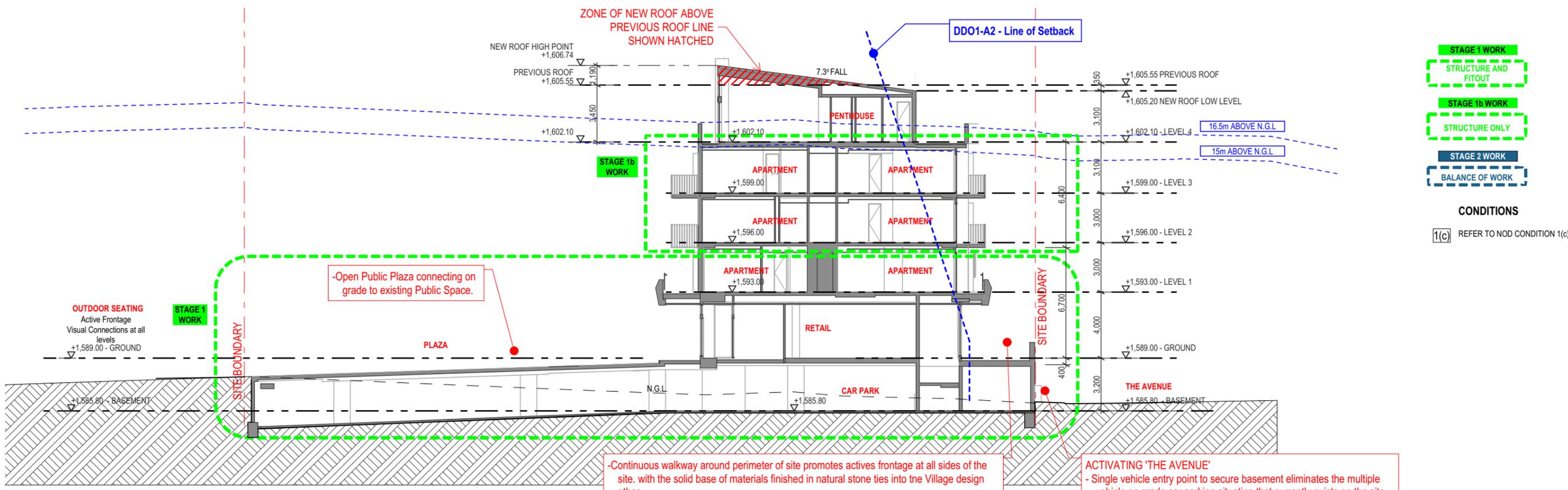
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SECTION 1
1:250

1



SECTION TP
1:250

2

- STAGE 1 WORK
 - STRUCTURE AND FIT OUT
- STAGE 1b WORK
 - STRUCTURE ONLY
- STAGE 2 WORK
 - BALANCE OF WORK

CONDITIONS

1(c) REFER TO NOD CONDITION 1(c)

-Continuous walkway around perimeter of site promotes active frontage at all sides of the site, with the solid base of materials finished in natural stone ties into the Village design ethos
 -Retail use can be broken into multiple frontages if required or maintained as one larger tenant

ACTIVATING 'THE AVENUE'
 -Single vehicle entry point to secure basement eliminates the multiple vehicle on grade car parking situation that currently exists on the site
 -Pedestrian entry into accommodation from The Avenue further promotes an active street front use.



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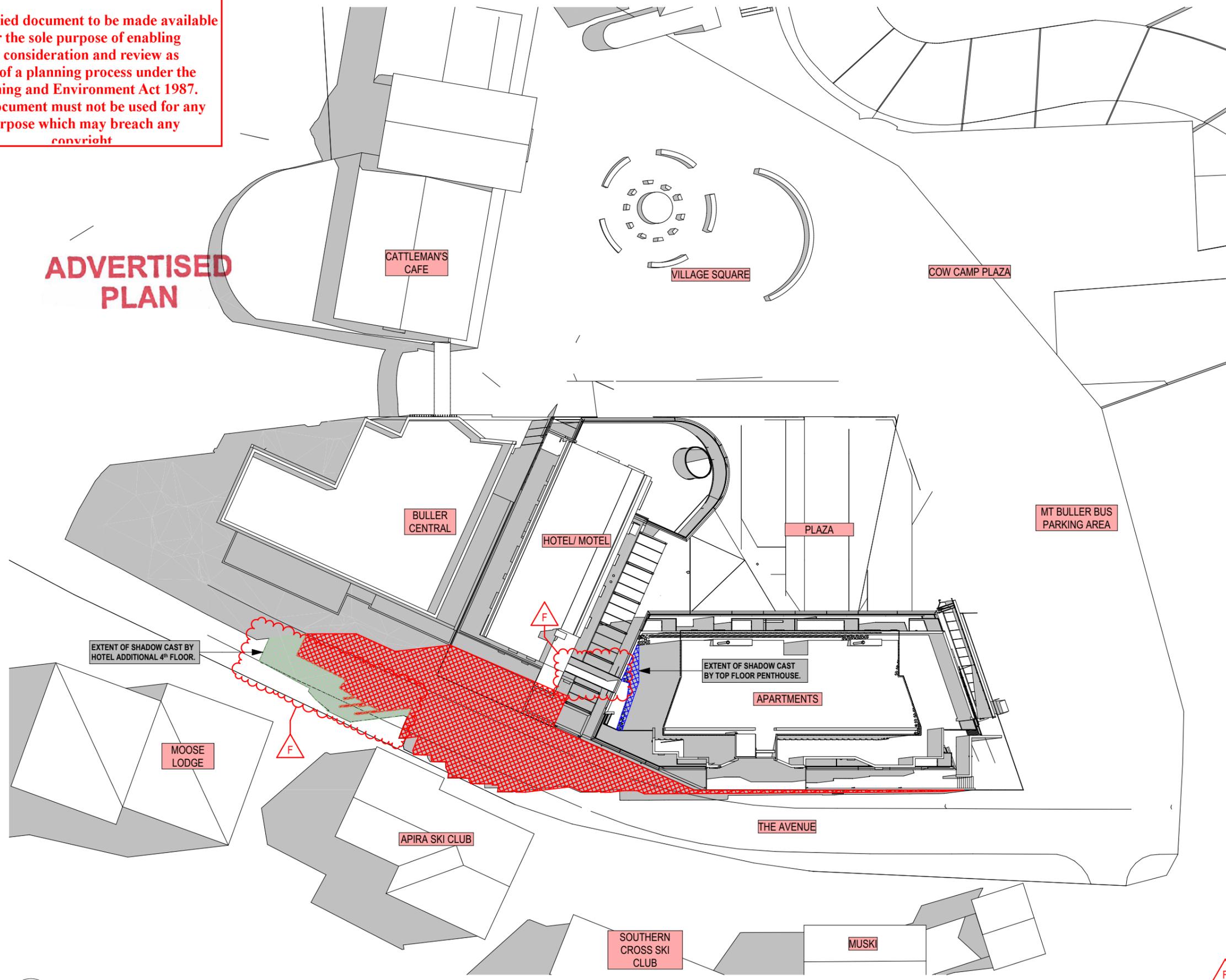
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 MT BULLER,
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ADVERTISED PLAN



 EXTENT OF NEW SHADOWS

 EXTENT OF SHADOW CAST BY TOP FLOOR PENTHOUSE APARTMENT

 EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 SEPT 9:00AM
1:500



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PROJECT KOOROORA
MT BULLER,
DRAWING TITLE SHADOW DIAGRAM - 22 SEPT 9am

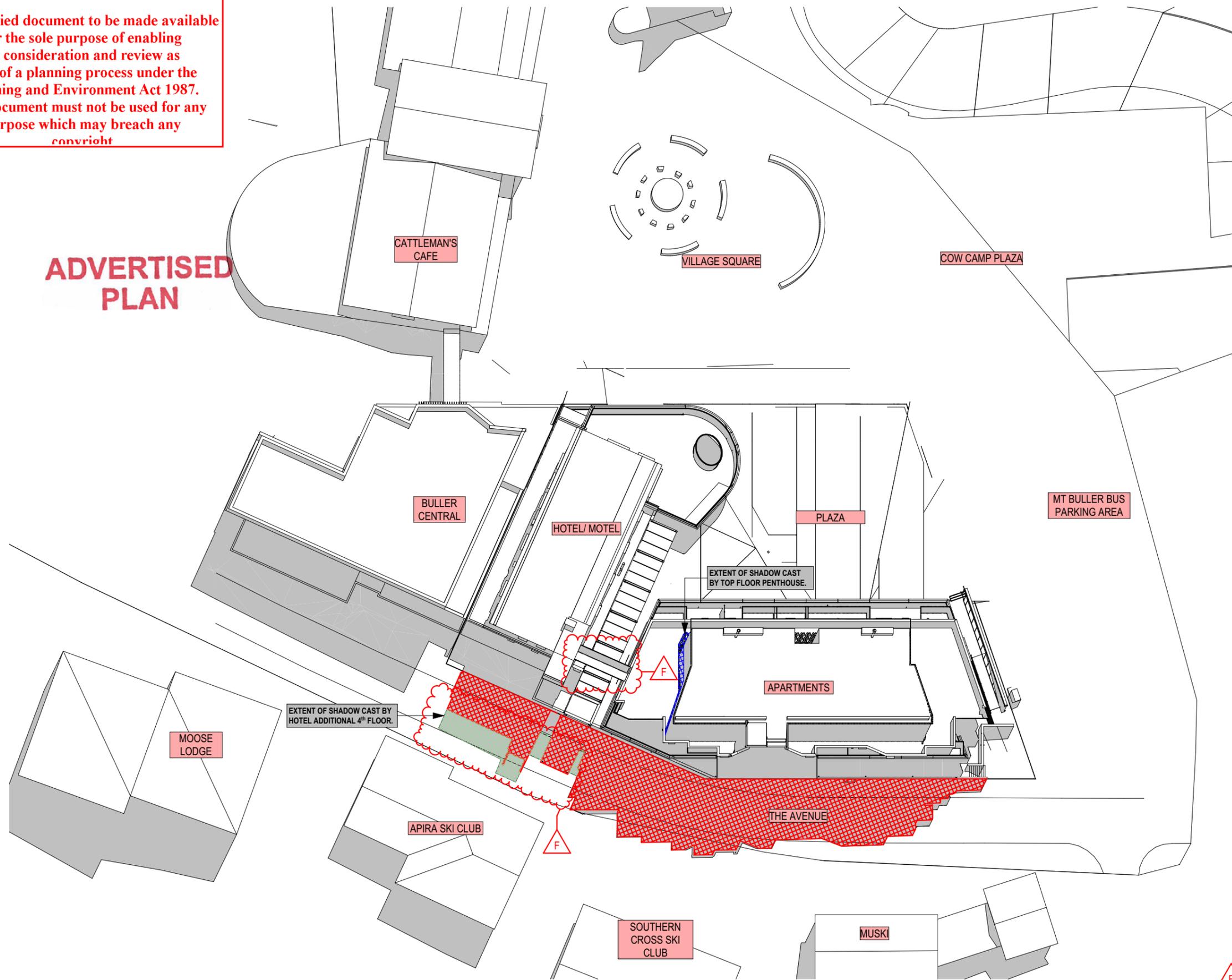
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ADVERTISED PLAN



-  EXTENT OF NEW SHADOWS
-  EXTENT OF SHADOW CAST BY TOP FLOOR PENTHOUSE APARTMENT
-  EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 SEPT 12 Noon
1:500



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DRAWING TITLE SHADOW DIAGRAM - 22 SEPT 12 Noon

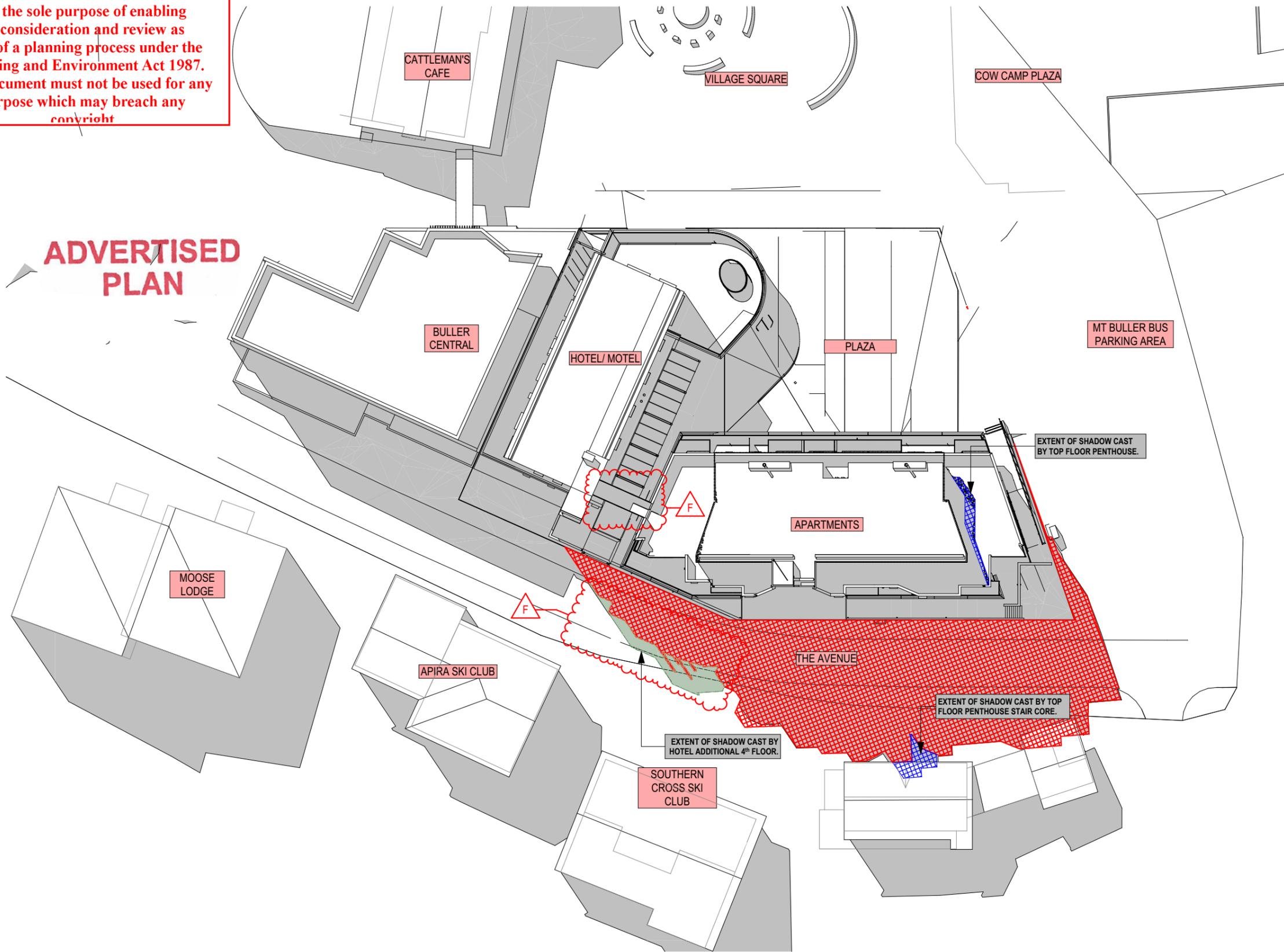
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ADVERTISED PLAN



22 SEPT 3:00PM
1:500

-  EXTENT OF NEW SHADOWS
-  EXTENT OF SHADOW CAST BY TOP FLOOR PENTHOUSE APARTMENT
-  EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1



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MT BULLER,
DRAWING TITLE **SHADOW DIAGRAM - 22 SEPT 3pm**

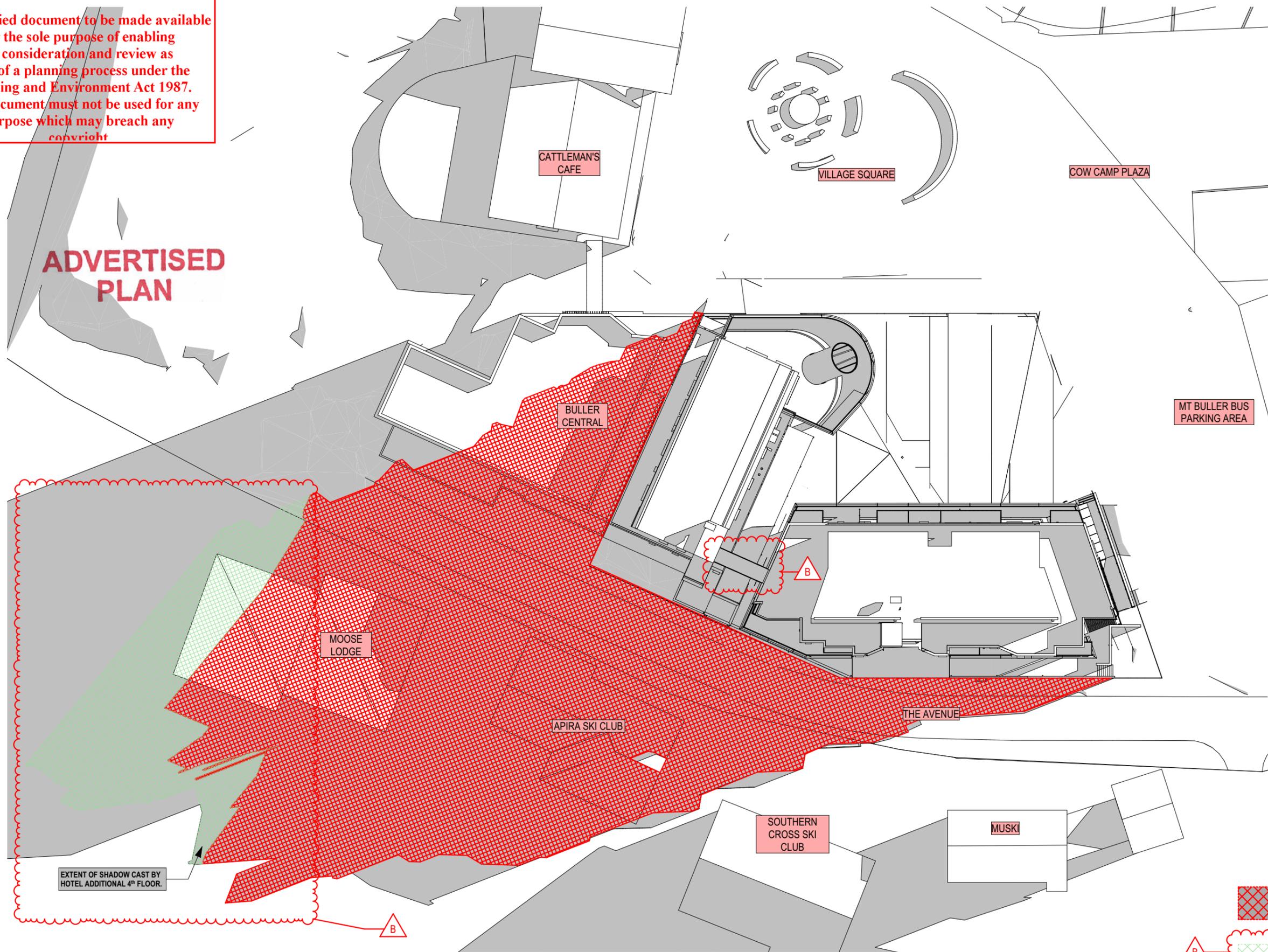
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ADVERTISED PLAN



EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR.

 EXTENT OF NEW SHADOWS

 EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 JUN 9:00AM
1:500



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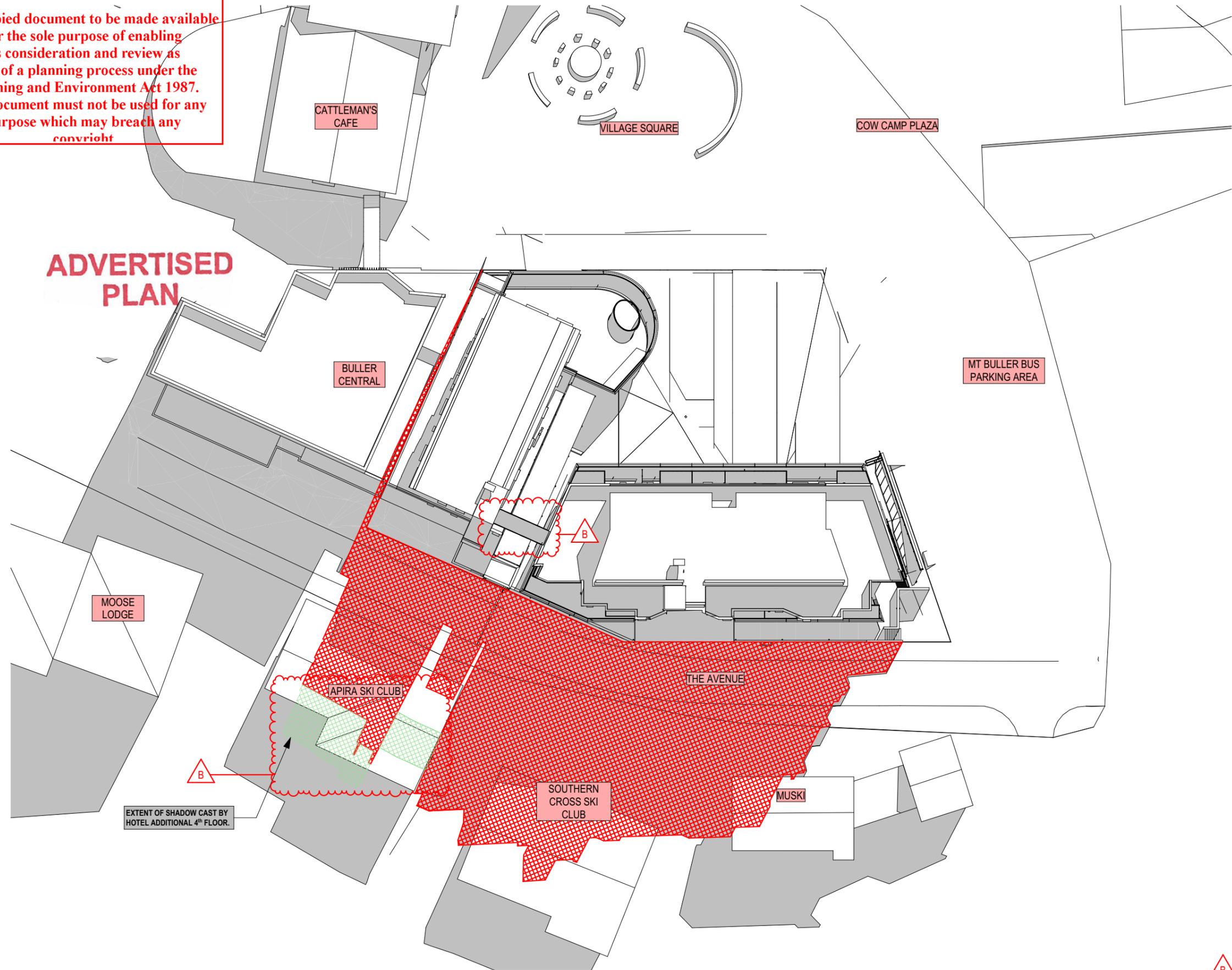
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DRAWING TITLE **SHADOW DIAGRAM - 22 JUN 9am**

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ADVERTISED PLAN

EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR.

 EXTENT OF NEW SHADOWS

 EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 JUN 12 Noon
1:500



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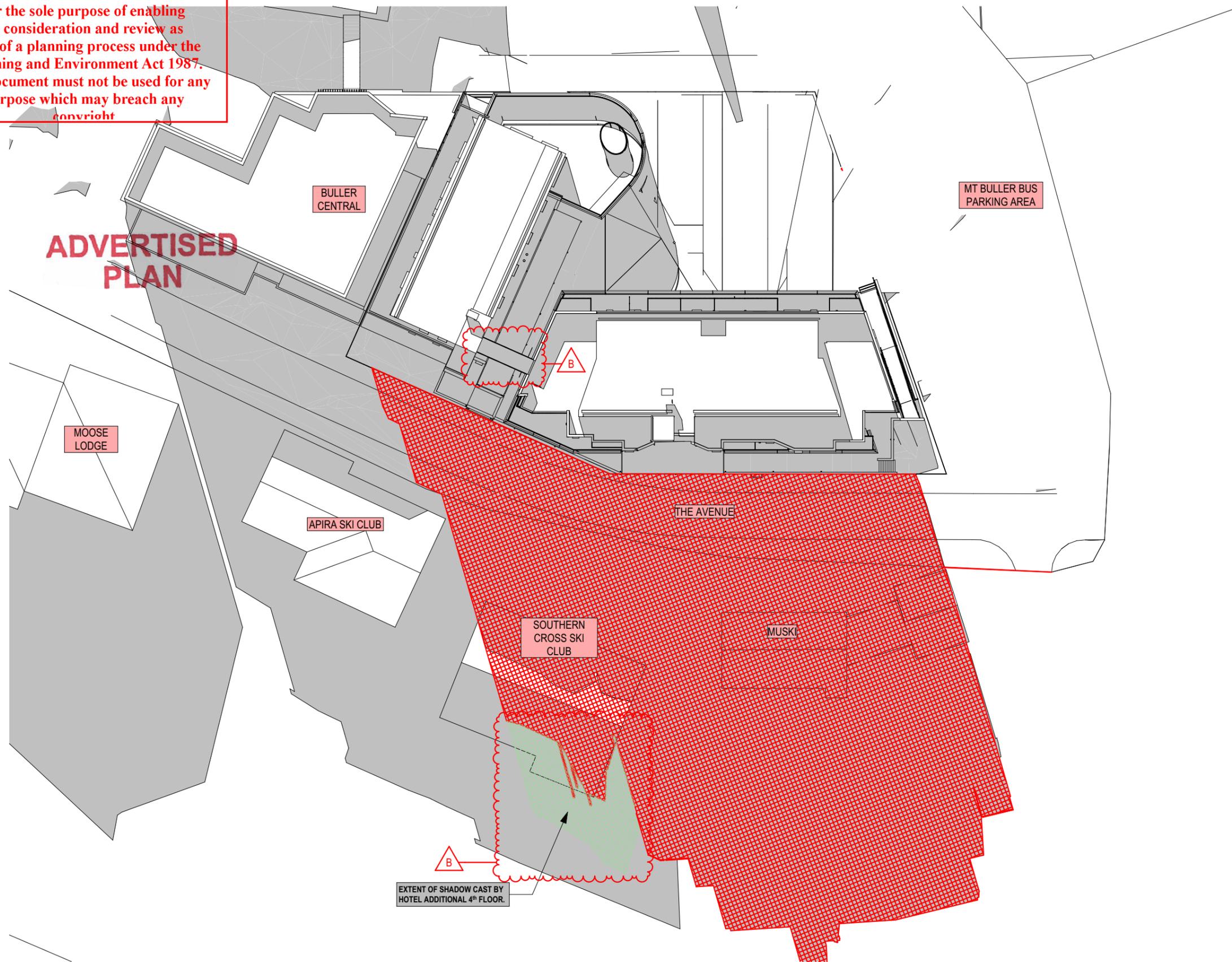
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ADVERTISED PLAN

BULLER CENTRAL

MT BULLER BUS PARKING AREA

MOOSE LODGE

APIRA SKI CLUB

THE AVENUE

SOUTHERN CROSS SKI CLUB

MUSKI

EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR.



EXTENT OF NEW SHADOWS



EXTENT OF SHADOW CAST BY HOTEL ADDITIONAL 4th FLOOR

1

22 JUN 3:00PM
1:500



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12:41 PM

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