

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



**ADVERTISED  
PLAN**

# LORETO COLLEGE, BALLARAT - MORNANE CENTRE

Planning Report (Town Planning Application)

Prepared for  
**LORETO COLLEGE BALLARAT**  
20 February 2026



## URBIS STAFF RESPONSIBLE FOR THIS REPORT

Partner	Rebecca West
Associate Director	Clare Warren
Consultant	Jack Rogers
Project Code	P0061280
Report Number	Rep-01-RevA

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**

## SUBMISSION DOCUMENTS

This report is to be read in conjunction with:

- Architectural Plans, prepared by MGS Architects, dated 16 February 2026
- Design Response Report, prepared by MGS Architects, dated February 2026
- Landscape Concept Plan & Design Report REV D, prepared by SBLA Landscape Architecture + Urban Design, dated 13 February 2026
- Arboricultural Impact Assessment, prepared by Civica, dated 10 October 2025
- Heritage Impact Statement, prepared by Bryce Raworth Conservation & Heritage, dated 19 February 2026
- Memorandum of Heritage Advice, prepared by Bryce Raworth Conservation & Heritage, dated 8 September 2025
- Cultural Heritage Letter of Advice, prepared by Urbis, dated 31 October 2025
- Sustainability Management Plan Version 04, prepared by Hip V. Hype, dated 18 February 2026
- Certificate of Title

**Urbis acknowledges the important contribution that Aboriginal and Torres Strait Islander people make in creating a strong and vibrant Australian society. We acknowledge, in each of our offices, the Traditional Owners on whose land we stand.**

All information supplied to Urbis in order to conduct this research has been treated in the strictest confidence. It shall only be used in this context and shall not be made available to third parties without client authorisation. Confidential information has been stored securely and data provided by respondents, as well as their identity, has been treated in the strictest confidence and all assurance given to respondents have been and shall be fulfilled.

© Urbis Ltd  
50 105 256 228

All Rights Reserved. No material may be reproduced without prior permission.  
You must read the important disclaimer appearing within the body of this report.

[urbis.com.au](http://urbis.com.au)

# CONTENTS

<b>Executive Summary</b> .....	<b>I</b>
Ballarat Planning Scheme .....	i
Assessment Summary .....	i
<b>1. Site Context</b> .....	<b>1</b>
1.1. Subject Site .....	1
1.2. Immediate Surrounds.....	2
1.3. Surrounding Context.....	4
<b>2. Proposal</b> .....	<b>5</b>
2.1. Overview of Proposal.....	5
2.2. Landscape Response .....	8
<b>3. Ballarat Planning Scheme</b> .....	<b>9</b>
3.1. Special Use Zone – Schedule 5 (SUZ5).....	9
3.2. Overlays .....	10
3.3. Area of Aboriginal Cultural Heritage Sensitivity .....	14
3.4. General and Particular Provisions .....	15
3.5. Planning Policy Framework (PPF).....	15
<b>4. Assessment</b> .....	<b>17</b>
4.1. State and Local Policy Framework Assessment ...	18
4.2. Assessment against Zone & Overlays .....	18
4.3. Height, Siting and Massing Assessment .....	24
4.4. Heritage Appropriateness .....	25
4.5. Aboricultural Appropriateness.....	26
4.6. Landscape Appropriateness .....	26
4.7. Archeology and Cultural Heritage Appropriateness .....	27
4.8. Sustainability Assessment .....	27
4.9. Pre-Application responses .....	28
<b>5. Conclusion</b> .....	<b>31</b>
<b>6. Disclaimer</b> .....	<b>32</b>

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**

**This copied document to be made available  
for the sole purpose of enabling  
its consideration and review as  
part of a planning process under the  
Planning and Environment Act 1987.  
The document must not be used for any  
purpose which may breach any  
copyright**

**ADVERTISED  
PLAN**

## EXECUTIVE SUMMARY

Urbis acts on behalf of MGS Architects and Loreto College, Ballarat. We are instructed to lodge the current report and enclosed planning application material, which seeks approval for the development of the “Mornane Centre”, a new learning and innovation centre for Years 11 and 12 students within the existing campus at 1600 Sturt Street, Lake Wendouree.

## BALLARAT PLANNING SCHEME

The site is affected by the following planning controls and permissions:

CONTROLS/PROVISIONS	PERMISSIONS
Special Use Zone, Schedule 5 (Private Education Establishment)	<ul style="list-style-type: none"> <li>Buildings and works for an education centre (new building on existing campus)</li> </ul> <p><i>Use is already established; permission is not required.</i></p>
Design and Development Overlay, Schedule 6 (Urban Character Area 9)	<ul style="list-style-type: none"> <li>Buildings and works</li> </ul>
Design and Development Overlay, Schedule 11 (Urban Character Area 17 (West of Pleasant Street))	<ul style="list-style-type: none"> <li>Buildings and works</li> </ul>
Heritage Overlay, HO164 (West Ballarat Heritage Precinct)	<ul style="list-style-type: none"> <li>Buildings and works</li> </ul>
Heritage Overlay, HO126 (Former Mary’s Mount Convent (Loreto Abbey))	<p><i>No permit trigger, given works are entirely outside of HO126.</i></p>

- Vegetation Protection Overlay, Schedule 2 (Urban Character Vegetation)
  - A permit is required to remove, destroy or lop vegetation (3 trees to be removed)

Table 1 – Applicable Controls and Permissions

## ASSESSMENT SUMMARY

Overall, this report demonstrates that the proposal is an acceptable and appropriate outcome for the site for the following reasons:

- ✔ The proposal seeks to respond to pre-application feedback received from both Council and DTP through increased setback and landscaping outcomes.
- ✔ The proposal delivers much needed additional learning space for a highly utilised campus, specifically for Years 11 and 12 students.
- ✔ The architectural design response, a three-storey building of contemporary expression, sensitively sits within the broader streetscape, between heritage and contemporary forms along a major boulevard, with suitable setbacks to allow for meaningful landscaping.
- ✔ The proposed centre is carefully situated to the south of the existing open sports field, seeking to maximise ongoing utilisation of the remainder of this open space for student activity whilst balancing appropriate streetscape setbacks, and maintaining adequate fire rated distancing from adjoining buildings.
- ✔ The siting of the proposed Centre seeks the removal of Trees 35, 36 and 37, which are of low to moderate retention value, whilst protecting and retaining Trees 33 and 34, and offset by an extensive landscape response.
- ✔ The proposal is complemented by meaningful landscaping with a strong connection to Country through indigenous inspired planting and landscaped features, facilitating rain-gardens, mounds, seating nooks and new fencing.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- ✓ The heritage response is carefully considered, with the ground floor façade to Hamilton Avenue and Sturt Street clad in red brick, referencing the historic red-brick boundary wall, layered with a more contemporary response at first and second storey. The College grounds already accommodate other contemporary buildings, which this addition complements.
- ✓ The proposed setback from Hamilton Avenue moderates the impact of the new building, creating landscaping opportunities to further soften its appearance, respectfully contributing to the interwar residential streetscape. The heritage streetscape will not be disturbed by the introduction of the new College building on its existing campus.
- ✓ The proposed centre will not result in an increase to students or staff, with no resultant change in traffic, bicycle or waste outcomes required.
- ✓ The proposal integrates various sustainable design initiatives, resulting in a BESS Score of 55%.
- ✓ The proposal does not build over the existing easement on title.
- ✓ It is further noted that the subject land is within an area of High Heritage Sensitivity. The enclosed Letter of Advice from the qualified heritage consultant identifies that no Cultural Heritage Management Plan is required (nor recommended as voluntary), due to exemptions.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## ADVERTISED PLAN

# 1. SITE CONTEXT

## 1.1. SUBJECT SITE

The subject site (1600 Sturt Street) is a large parcel bounded by Sturt Street, Morrison Street, Hamilton Avenue and Wendouree Parade. The specific focus of this proposal relates to the southwestern corner of the parcel which is currently occupied by open sports field.

Key details of the site are as follows:

CATEGORY	DESCRIPTION
Existing Conditions	Open space at southwestern corner of Loreto College, Ballart Campus.
Location	Corner of Sturt Street and Hamilton Avenue.
Area	30,354sqm (3.04ha)
Frontages	Sturt Street, Hamilton Avenue, Wendouree Parade, Morrison Street
Title	Lot 1 TP954619
Vehicle Access	Sturt Street Service Road along southern boundary of site
Vegetation	Tree line along the southern and western frontages.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

Table 2 – Details of Subject Site

**ADVERTISED  
PLAN**

## 1.2. IMMEDIATE SURROUNDS

### North

Directly north of the site is Wendouree Parade, an east-west council street running along the southern shore of Lake Wendouree. Lake Wendouree and adjacent parkland is a popular spot for recreation for local residents, and is subject to the Heritage Overlay (Schedule 223)



Picture 1 View from site north out to Wendouree Parade and Lake Wendouree

Source: 26 August 2025 Site Visit

### East

The subject site is bounded by Morrison Street to the East, a north-south council street running between Sturt Street and Wendouree Parade. East of Morrison Street is primarily low-density residential development, much of which is subject to Heritage Overlay (Schedule 164).



Picture 2 Residential properties directly east of subject site

Source: Google Maps, 2023

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## West

Directly west of the site is Hamilton Avenue, a north-south council street running between Sturt Street and Wendouree Parade. The predominant context is low density residential between Hamilton Avenue and Gilles Street, primarily 1-2 storey dwellings.



Picture 3 View from site towards Hamilton Avenue

Source: 26 August 2025 Site Visit

## South

Directly south of the site is Sturt Street, a large east-west arterial corridor carrying much of the traffic from Ballarat's western suburbs into the CBD. running between Bridge Mall in Ballarat Central to the east and Remembrance Drive in Cardigan to the west. Across Sturt Street sits Victoria Park, a large public park that is one of Ballarat's largest and most significant public open spaces.



Picture 4 View along Sturt Street adjacent to proposed Mornane Centre

Source: Google Maps, 2023

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

### 1.3. SURROUNDING CONTEXT

The subject is located within the suburb of Lake Wendouree, a largely residential suburb with significant parkland and open space. The most notable feature of the suburb is the eponymous Lake Wendouree, a large man made lake with a number of recreational uses surrounding it.

The subject site is around 3.5km from the centre of Ballarat CBD, with connections provided to Ballarat Central and Ballarat Railway Station by Route 26 buses, along with road connections via Sturt Street.

Key features of the surrounding contexts are listed below and are represented on the adjacent map

- 1 Ballarat CBD (not pictured in map)
- 2 Lake Wendouree
- 3 Wendouree Railway Station – connected to V/Line regional services to Melbourne and Ararat
- 4 Ballarat Botanical Gardens and Tramway Museum
- 5 Victoria Park

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED PLAN**



## 2. PROPOSAL

### 2.1. OVERVIEW OF PROPOSAL

The proposal seeks to provide students with modern, well-equipped classroom, laboratory and studio spaces through the construction of a new school building on the southwestern corner of the site. Proposed is a 3 storey multi-purpose building for Year 11 and 12 learning spaces, on what is currently underutilised grassed open space. There are no proposed increases to student or staff numbers beyond the current intake.

Key details of the proposal are as follows:

ELEMENT	PROPOSAL
Storeys	Three storeys
Key setbacks	North – Not Applicable East – 4.4m to 13.2m to Mary's Mount Centre (minimum fire rating distance) South – 1.5m to 13.7m to Sturt St interface West – 0.6m to 1.4m to Hamilton Ave interface
Height (m)	13.5 metres (not including roof plant)
Trees removed	Three (Trees 35, 36 and 37 – low to medium retention value), with supportable TPZ encroachment of retained Trees 33 and 34.
BESS Score	55
Student and staff	No change to existing numbers

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

Table 3 – Details of Proposal

**ADVERTISED  
PLAN**



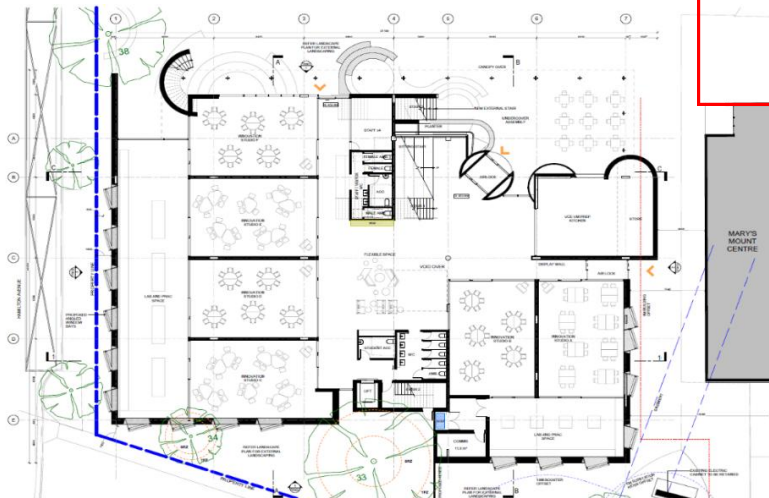
# ADVERTISED PLAN

## 2.1.1. Ground Floor

The predominant feature of the ground floor is the 6 proposed Innovation studio rooms. These will accommodate a range of disciplines across the science, technology, engineering, arts and mathematics fields, with layouts designed to enable hands on learning experience for students. Complementing these Innovation studio rooms will be two large lab spaces located at the western and southern sides of the building, directly adjacent to the Innovation studio rooms. The labs will be equipped with appropriate extraction and ventilation, and provided with connections to power, water, gas and data. Adaptable tech infrastructure will further be provided to support required future changes.

Additionally, the ground floor will house a flexible learn space, a VCE-VM prep kitchen with adjacent store, staff spaces, and other ancillary facilities. A large shared communal space will be located centrally, acting as a central hub between spaces. Access is provided in the form of an airlock adjacent to the prep kitchen. Access to upper floors is provided by two sets of stairs directly west of the entrance and airlock, and the other adjacent to the Studio B and the southern lab and prac space. A lift is further provided adjacent to the southern stairway.

Figure 1 - Proposed Ground Floor Plan



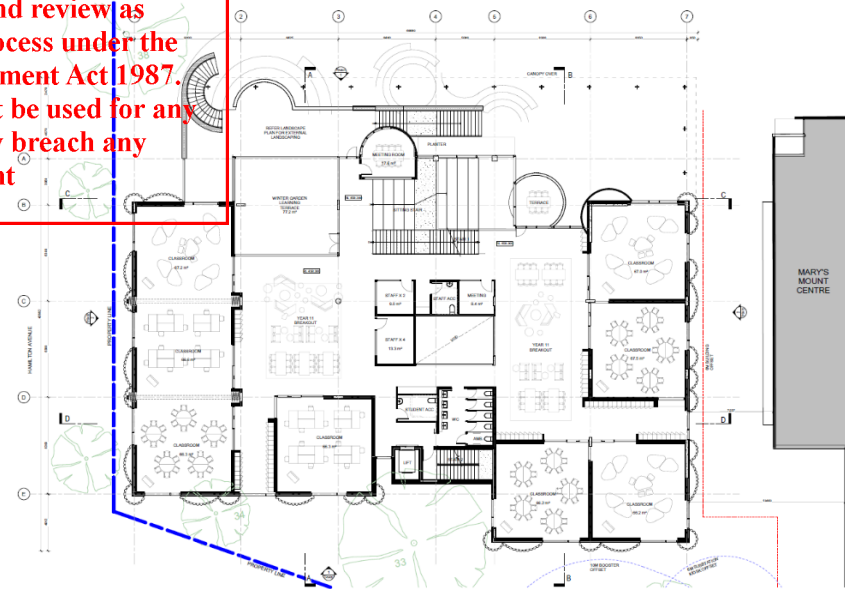
Source: MGS Architects Proposed Ground Floor Plan REV P5, February 2026

## 2.1.2. First Floor

The first floor will accommodate 8 classrooms, with 3 general seating layouts. These will be complimented by 2 large Year 11 breakout areas, one centrally located between the western classrooms, and the other between the eastern classrooms. A Winter Garden learning terrace will be provided north of the western break out area, accessed by a door in the southeastern corner, along with a smaller terrace area directly north of the eastern breakout area. Additionally, a meeting room, two staff rooms and additional ancillary facilities.

Multiple points of access will be provided both externally and internally. The terrace along the north side of the building will provide external access via door adjacent to the meeting room. Internally, two points of stair access are provided, one to the north of the staff rooms, and one along the southern wall of the building. and Lift access is further provided adjacent to the southern stairs. Sitting stairs will be installed next to the northern stairs, providing an impromptu meeting space for students and faculty.

Figure 2 - First Floor Plan



Source: MGS Architects Proposed First Floor Plan REV P4, February 2026

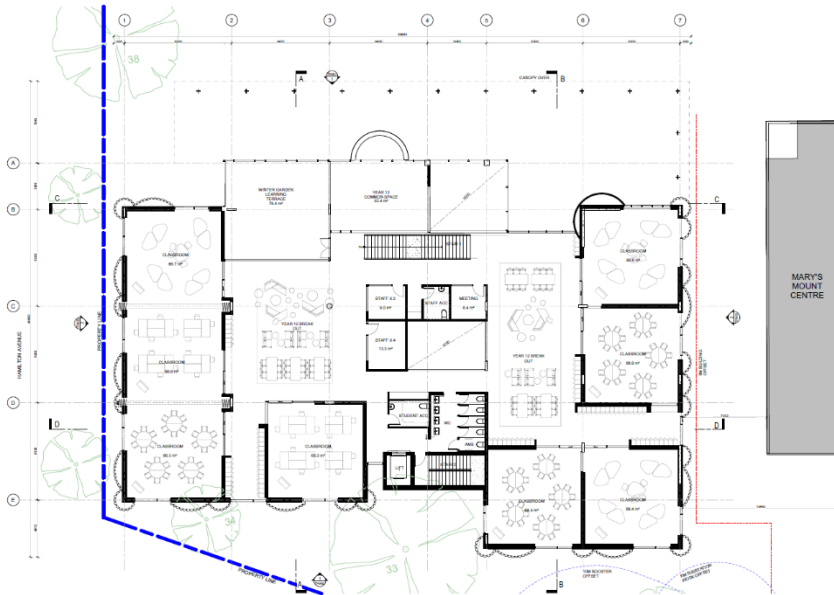
This is a public document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

# ADVERTISED PLAN

## 2.1.3. Second Floor

The second floor will adopt a largely similar floor plan to the first floor with some changes. It will also accommodate 8 classrooms, taking the total to 16 classrooms across the building, along with 2 Year 12 breakout areas in identical locations to the Year 11 breakout areas below. The most notable change is the inclusion of a Year 12 common area adjacent to the second floor Winter Garden learning terrace in place of the sitting stairs included in lower levels, providing a third collaborative space for students. Access will solely be provided internally, with stairs and lifts provided in identical locations to the floors below.

Figure 3 – Second Floor Plan



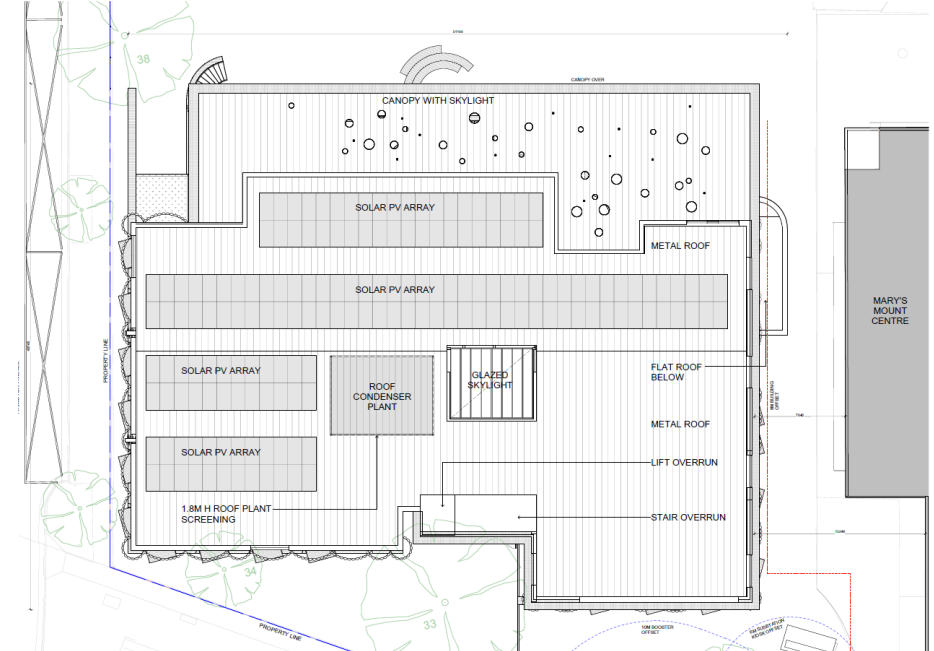
Source: MGS Architects Proposed Second Floor Plan REV P4, February 2026

## 2.1.4. Roof Plan

The roof adopts a flat roof form. A glazed skylight will be installed directly over the void area down to the flexible learning space on the ground floor, providing a source of natural light, along with a roof condenser plant which will include 1.8m screening on all sides. There will further be 4 Solar PV arrays installed across the roof, with 2 east of the roof condenser plant measuring 4200mm x 13200mm, with the other two to the north of the condenser plant, one measuring 4200mm x 45110mm, and the other 4200mm x 22004mm.

A large canopy will be installed over external landscaped terrace and outdoor seating area, with a number of small circular skylights punched through, allowing nature light to reach landscaping and ground level.

Figure 4 – Landscape Concept Plan



Source: MGS Architects Proposed Roof Plan REV P5, February 2026

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## 2.2. LANDSCAPE RESPONSE

A carefully considered landscape concept plan integrates a strong indigenous connection, grounding the architectural response within the site and local context. Key features include habitat wall, integrated mounds, grasslands and food sources, raingardens, boulder steps and new fencing. The updated design intends to reflect both meaningful landscaping whilst also optimising passive surveillance to the street and limiting any need for fencing which would close off the interface to the public realm.

Figure 5 – Landscape Concept Plan



Source: SBLA Landscape Architects & Urban Design, Landscape Concept Plan REV D, February 2026

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

ADVERTISED  
PLAN

# 3. BALLARAT PLANNING SCHEME

A summary of the key controls and policies is provided below.

## 3.1. SPECIAL USE ZONE – SCHEDULE 5 (SUZ5)

The subject site is zoned Special Use Zone, Schedule 5 (SUZ5).

Schedule 5 relates to the use of land for private education establishments, and primarily seeks to:

- Provide for the use of land for the purpose of a private education establishment. This includes the use of land for a religious institution.

In accordance with SUZ5, a permit is not required for use of land for an education centre (section 1 use) if that land is used in accordance with an Outline Development Plan approved by the Responsible Authority. There is no Outline Development Plan relating to the site, so education centre would be a section 2 use. However, as the use is existing, it therefore will not require a permit.

A permit is still required for buildings and works associated with a section 2 use.

It is noted that buildings and works (within the title boundary of the main site) are exempt from notice requirements pursuant to Schedule 5 of the SUZ.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

**ADVERTISED PLAN**



Legend:

- Subject Site (Red square)
- Subject Area (Black square)
- Planning Zones
  - General Residential 1 (GRZ1) (Pink)
  - Public Park & Recreation (PPRZ) (Light Green)
  - Special Use 5 (SUZ5) (Green)
  - Principal Road Network (TRZ2) (Dark Blue)

# ADVERTISED PLAN

## 3.2. OVERLAYS

### 3.2.1. Design and Development Overlay (DDO)

The subject site is subject to both DDO6 and DDO11

The overall purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

A permit is required to construct a building or carry out works in land affected by a DDO.

#### 3.2.1.1. Design and Development Overlay – Schedule 6

The DDO6 applies to *Urban Character Area 9*, which seeks to retain/enhance traditional scale and setting of residential development on Wendouree Parade. Pursuant to DDO6, a permit is not required for the following:

- Internal alterations
- Additions to an existing building which will not be visible from the street
- Repairs/routine maintenance which do not change the appearance of the existing buildings and works. The repairs must be undertaken to similar details/specifications/materials

The following objectives are provided within the DDO6 (as relevant):

- The height of the front section of the building should be no greater than two storeys.
- Front sections of buildings greater than two storeys in height may be permitted where it is demonstrated that an increased height would be sympathetic with the character of the street.
- Front setbacks are to be consistent with the dominant front setback on the street block.
- Side setbacks within 10 metres of the building frontage are to be consistent with existing side setbacks on the street block.

- On corner sites, where new development is to be constructed to the street boundaries the building façade and any proposed street verandah must address both street frontages.
- Vehicle crossovers should be no more than 3 metres wide. Wider crossovers may be permitted where it can be demonstrated that they would not be out of character with the streetscape or where a 3-metre-wide crossover would be a safety hazard.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



# ADVERTISED PLAN

## 3.2.1.2. Design and Development Overlay – Schedule 11

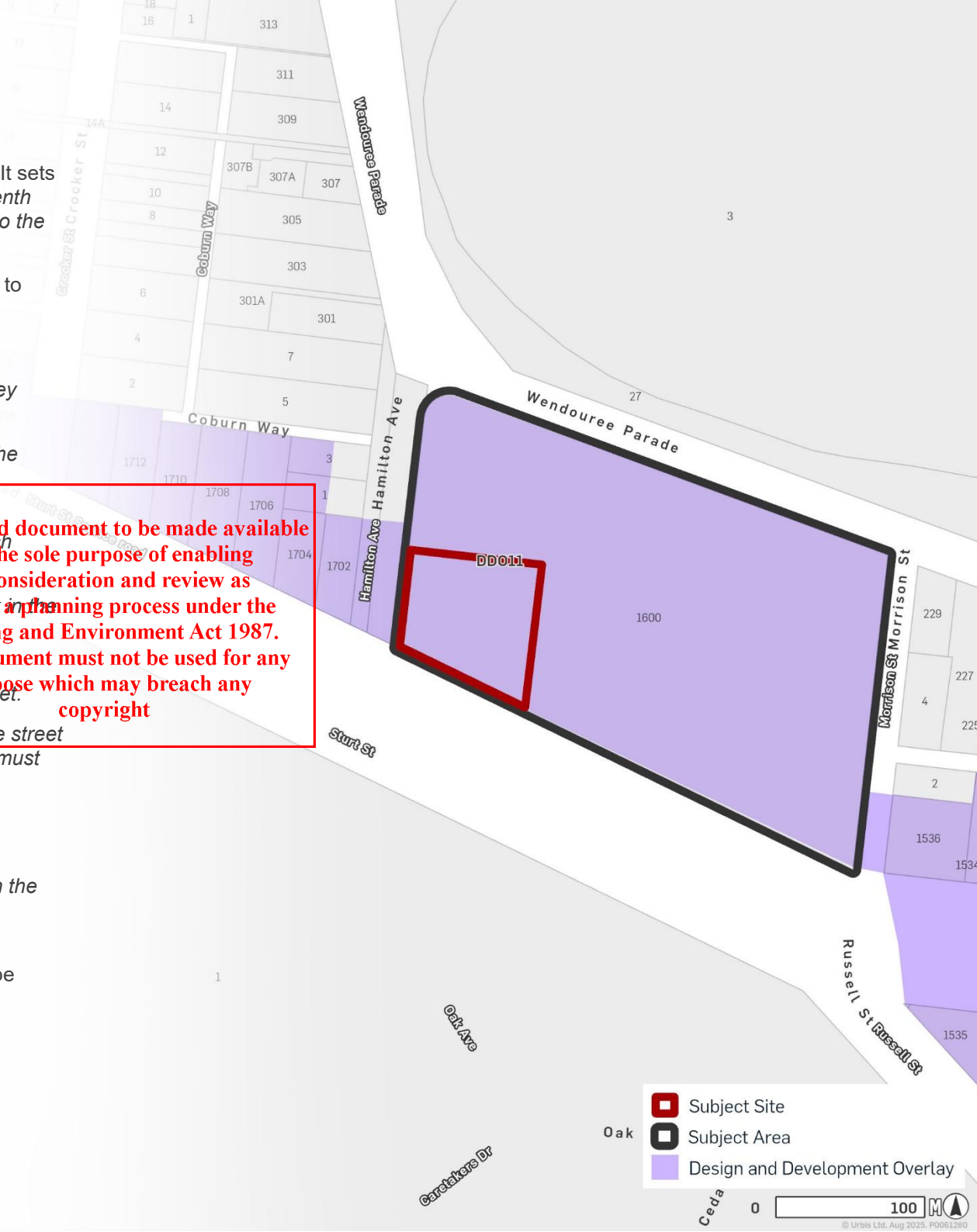
DDO11 applies to *Urban Character Area 17 (West of Pleasant Street)*. It sets out to *retain and enhance Sturt Street as a gracious and formal nineteenth century boulevard, which is an urban character of special significance to the City of Ballarat.*

The following buildings and works requirements apply to an application to construct a building or carry out works:

- *Building heights should be no greater than two storeys.*
- *Higher buildings may be permitted where it is demonstrated that they would be sympathetic with the character of the street.*
- *A building greater than two storeys in height may be permitted on the existing school and convent sites if the proposed development complements the height and mass of the existing building complex.*
- *Roofs visible to the street are to be pitched and at an angle to match existing roof pitches in the street block.*
- *Front setbacks are to be consistent with the dominant front setback of the street block.*
- *Side setbacks within 10 metres of the building frontage are to be consistent with existing side setbacks in nearby sections of the street.*
- *On corner sites, where new development is to be constructed to the street boundaries the building façade and any proposed street verandah must address both street frontages.*
- *External construction materials are to be sympathetic with existing materials and colour tones in the street.*
- *Design details are to be sympathetic with existing building details in the street, particularly window shapes, eaves and verandahs.*

Pursuant to Clause 43.02-2 a permit is required to construct a building/construct or carry out works for a development greater than 5m (must be finished in muted tones and colours), and the construction of a fence if specified in a schedule to the overlay.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



Legend:  
■ Subject Site  
■ Subject Area  
■ Design and Development Overlay

Scale: 0 100 M

© Urbis Ltd, Aug 2025, P0061289

# ADVERTISED PLAN

## 3.2.2. Heritage Overlay

The Heritage Overlay sets out to *conserve and enhance heritage places of natural or cultural significance*. Pursuant to Clause 43.01-1, a permit is required to demolish a building and construct a building/carry out works

### 3.2.2.1. Heritage Overlay – Schedule 126

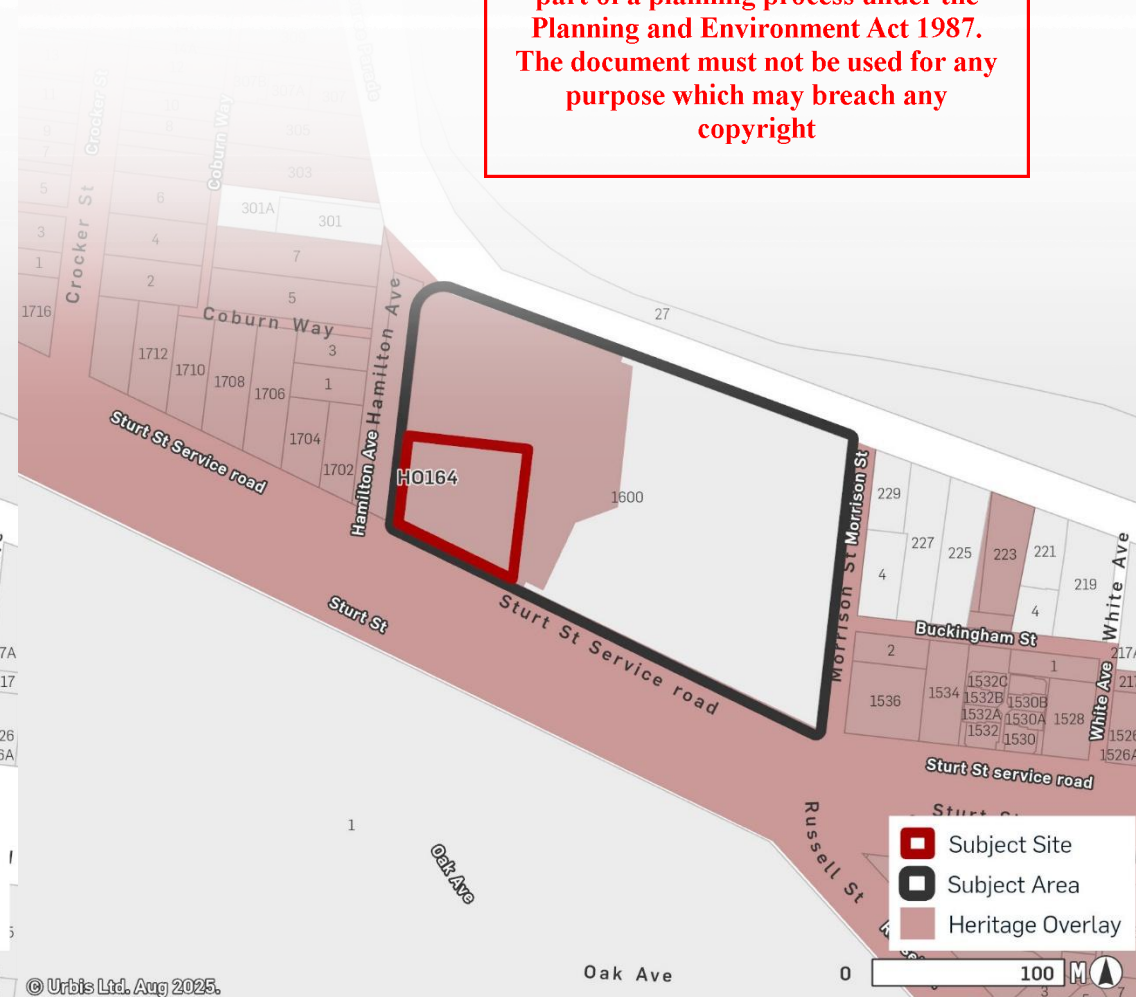
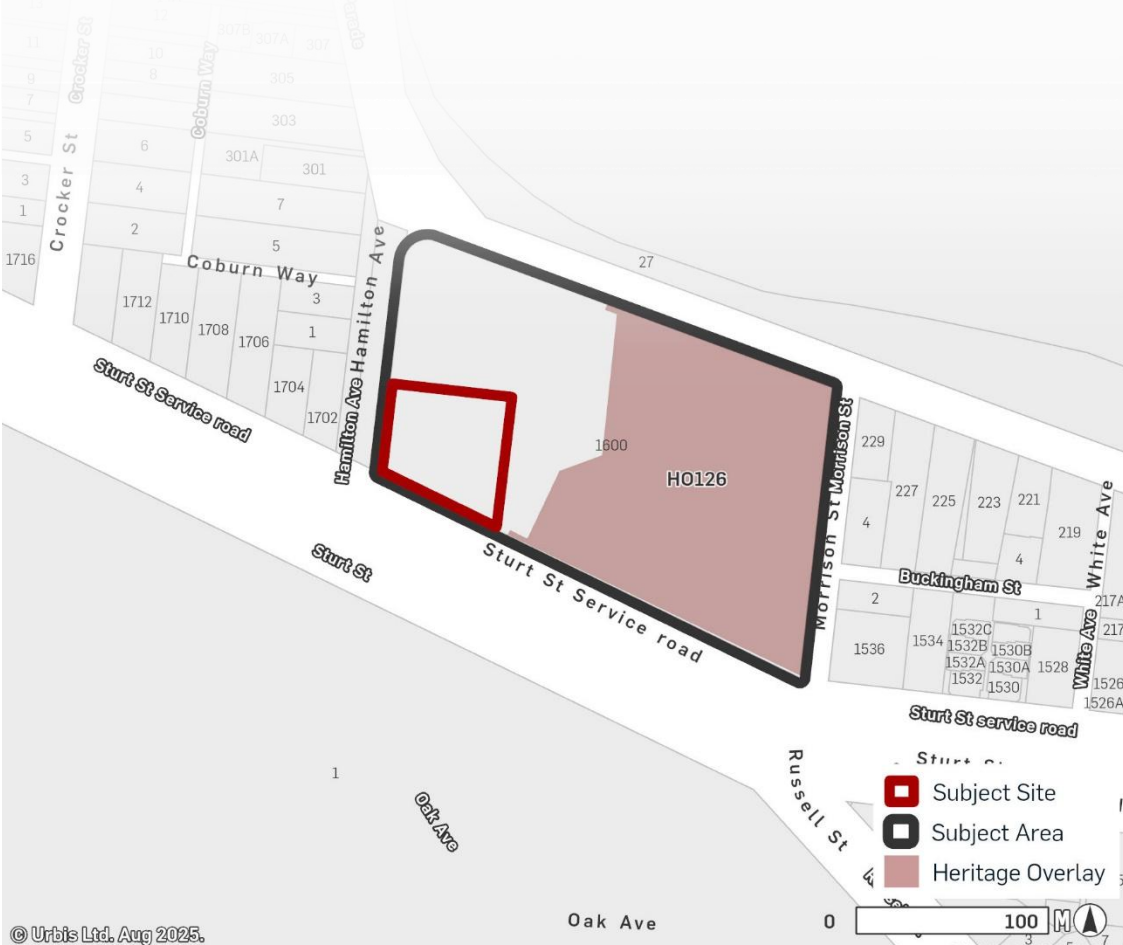
HO126 applies to Loreto College Mary's Mount Campus at 1600 Sturt Street. HO126 covers the eastern half of the campus, and solely relates to the Former Mary's Mount Convent (Loretto Abbey), being labelled as 'Former Mary's Mount Convent (Loretto Abbey) 1600 Sturt Street, Lake Wendouree'. HO126 is registered on the Victorian Heritage Register – VHR H1017. Subsequently, separate permission will be required from the Victorian Heritage Register for any buildings and works. There are no proposed buildings/works within HO126.

### 3.2.2.2. Heritage Overlay – Schedule 164

HO164 relates to the West Ballarat Heritage Precinct (under incorporated plan *Ballarat Planning Scheme Heritage Control 2004*). HO164 applies to the western portion of the subject site

Tree controls and solar energy system controls apply, and the site is not registered to the Victorian Heritage Register.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



# ADVERTISED PLAN

## 3.2.3. Vegetation Protection Overlay – Schedule 2 (VPO2)

The site is affected by the Vegetation Protection Overlay – Schedule 2 (VPO2). The overall purpose of the Vegetation Protection Overlay is to *protect areas of significant vegetation, ensure that development minimises loss of vegetation, and to encourage the regeneration of native vegetation.*

The following decision guidelines are provided at Clause 42.02

- *Whether the proposal meets the vegetation protection overlay objectives*
- *The impact that the proposed tree removal would have on*

*The character of the area*

*The appearance of development on the site*

- *For any proposal to plant new trees on the site, whether the species are consistent with the character of existing vegetation and the proportion of new trees that would be semi-advanced or advanced in size*
- *Whether the lopping or removal of the vegetation is appropriate due its age or health.*

Pursuant to Clause 42.02 of Schedule 2 of the Vegetation Protection Overlay a permit is required to remove, destroy, or lop a tree that is at least 4m high and located within a private front garden or within the road reserve. A permit is not required to prune a tree to improve its health or appearance, provided its normal growth habit is not impeded.

The three trees proposed for removal, Trees 35, 36 and 37, are described as follows:

- Tree 35, *Aesculus hippocastanum* or Common Horse Chestnut (Exotic Deciduous), tree height 5-10 metres, Graded “B”
- Tree 36, *Arbutus unedo* or Irish Strawberry Tree (Exotic Evergreen), tree height under 5 metres, Graded “C”
- Tree 37, *Acer pseudoplatanus* or Sycamore (Exotic Deciduous), tree height 5-10 metres, Graded “B”

This proposed document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



### 3.3. AREA OF ABORIGINAL CULTURAL HERITAGE SENSITIVITY

The subject site falls entirely within an 'area of cultural heritage sensitivity'. Pursuant to Clause 15.03-2S (Aboriginal Cultural Heritage) an application within an area of sensitivity is subject to the requirements of the Aboriginal Heritage Act 2006.

Areas of Aboriginal Cultural Heritage Sensitivity are located at areas of particular cultural heritage importance and are often located around water sources and other important sites.

An Education Centre is considered to be a 'high impact activity' under the Aboriginal Heritage Regulations 2018, which can result in a requirement to provide a Cultural Heritage Management Plan to allow buildings and works at a site (that has not already experienced significant ground disturbance).

However, there is an exemption in the Aboriginal Heritage Act pertaining to land that has been consistently used for the same high impact activity immediately prior to 28 May 2007. Subsequently, 1600 Sturt Street and 305 Wendouree Parade may be exempt from the requirement to provide a CHMP.

This is further expanded upon in the Assessment Section of this Report, where expert conclusion is made that no mandatory or voluntary CHMP is required.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**



# ADVERTISED PLAN

## 3.4. GENERAL AND PARTICULAR PROVISIONS

The following general and particular provisions are related to the proposal:

### 3.4.1. Clause 52.05 – Signs

The site is located in a ‘high amenity’ area (category 3) for signage. The clause sets out permit requirements for signs including business identification, electronic sign, floodlit sign, high wall sign, internally illuminated sign and pole signs.

Pursuant to Clause 52.05, a permit is required for any school signage (business identification signs). No signage is proposed as part of this application.

### 3.4.2. Clause 52.06 – Car Parking

This clause sets out car parking requirements for new uses and development. The specified rate of car parking spaces for secondary schools is 1.2 to each employee that is part of the maximum number of employees on the site at any time. No additional parking is proposed as part of this proposal, given there is no proposed increase in maximum staff numbers (or students) on site.

It is noted that on 18 December 2025, Clause 52.06 was overhauled with parking ratings now corresponding with the Car Parking Requirement Maps. Under the new controls, the subject site is located under Category 1 – Regional, meaning a minimum rate of 1 car parking space per staff member would apply. However, the proposal continues to align with such requirements, with no additional staff proposed.

### 3.4.3. Clause 52.34 – Bicycle Facilities

This clause seeks to encourage cycling as a mode of transport and to provide secure, accessible and convenient parking spaces and associated shower/change facilities. The clause sets out a planning permit requirement to vary, reduce or waive any requirements for bicycle spaces under Clause 52.34-5 and Clause 52.34-6.

The clause sets out statutory rates of:

- Secondary school: 1 space to each 20 employees and 1 space to each 5 pupils

- If 5 or more employee bicycle spaces are required, 1 shower for the first 5 employee bicycle spaces, plus 1 to each 10 employee bicycle spaces thereafter
- 1 change room or direct access to a communal change room to each shower. The change room may be a combined shower and change room

No additional bicycle facilities are proposed as part of this proposal, given there is no proposed increase in maximum staff numbers (or students) on site.

### 3.4.4. Clause 52.37 – Canopy Trees

Clause 52.37 requires a permit to remove, destroy or lop a canopy tree in a residential zone. Given the subject land is located within the Special Use Zone, this Clause does not apply.

### 3.4.5. Clause 53.19 – Non-government schools

The purpose of this clause is to facilitate new non-government schools and upgrades and extensions to existing non-government schools.

This clause applies to an application under any provision of the Ballarat Planning Scheme, other than a VicSmart application, to use or develop land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.

An application for a non-government school is exempt from the third party appeal rights of Section 82(1) of the Planning and Environment Act 1987. This means neighbours can no longer appeal the Responsible Authority’s decision to VCAT.

### 3.4.6. Clause 72.01 – Responsible Authority for this Planning Scheme

The Minister for Planning is the responsible authority for secondary school applications if the estimated cost of development is \$3m or greater, or for use of any new land adjoining school.

## 3.5. PLANNING POLICY FRAMEWORK (PPF)

The following Clauses of the PPF are relevant to the proposal:

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

- Clause 11.02-1S (Development capacity) aims to ensure sufficient land is available for forecast growth for residential, commercial, retail, industrial, recreational, instructional and other community uses.
- Clause 11.03-1S (Activity centres and precincts) aims to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.
- Clause 12.01-2S (Native Vegetation Management) aims to ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.
- Clause 15.01-1L (Urban Design) sets out to ensure that development is designed to promote passive surveillance of the public realm, encourage opportunities for social interaction between private and public realms, and design development to respect adjacent heritage places.
- Clause 15.01-2S (Building Design) seeks to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.
- Clause 15.01-5S (Neighbourhood Character) supports development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- Clause 15.03-2S (Aboriginal Cultural Heritage) aims to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- Clause 18.01-1S (Land use and transport integration) sets out to facilitate access to social, cultural and economic opportunities by effectively integrating land use and transport networks.
- Clause 19.02-2S (Education facilities) sets out to assist the integration of education and early childhood facilities within local and regional communities

Broadly speaking, these Clauses aim to allow education facilities within residential areas and provide for the different functional needs of such facilities.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**

## 4. ASSESSMENT

The following sections of this report provide an assessment of the proposal against the relevant statutory and strategic provisions of the Planning Scheme having regard to the site's physical context.

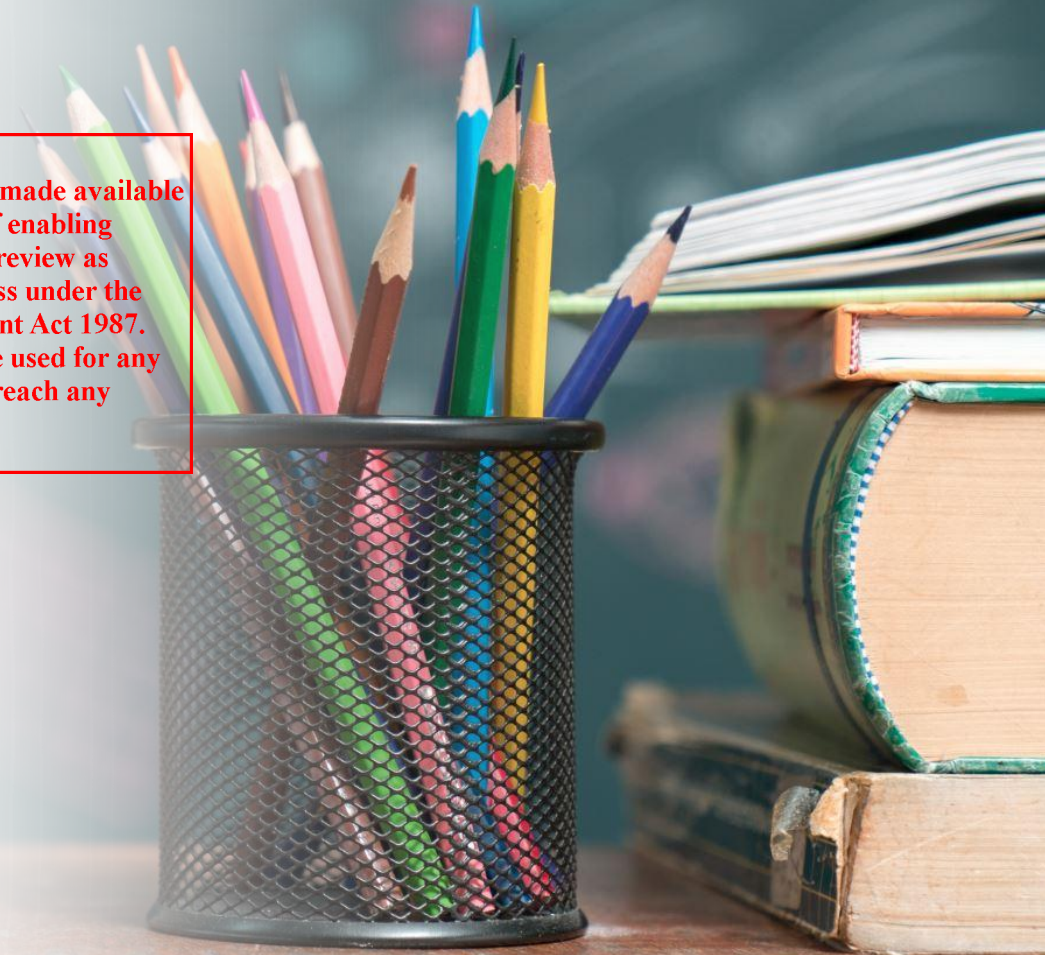
This assessment focuses on the appropriateness of the following key matters:

1. State and Local Policy Framework
2. Applicable Zone and Overlays
3. Relevant Particular Provisions
4. Response to pre-application discussions (Council and DTP)
5. Architectural design response
6. Heritage considerations (Built form and archaeological)
7. Landscape design response
8. Arboricultural outcomes
9. Sustainability outcomes

Each of these matters is dealt with in turn below.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**



# ADVERTISED PLAN

## 4.1. STATE AND LOCAL POLICY FRAMEWORK ASSESSMENT

Both State and local policy acknowledge the importance of adequate provision and integration of education facilities into communities. Broadly, both State and Local policy set out to ensure that education facilities are appropriately designed and located within communities to ensure that education needs are met. The proposal meets these policy objectives as described below.

### 4.1.1. State

The proposal remains consistent with the ongoing use of site for education purposes, it successfully responds to key strategies outlined in 19.02-2S, including references to the potential for education uses to have different built form requirements to dwellings. This is particularly relevant given the proposed height exceeds the discretionary height limit of 2 storeys sought by the DDOs.

This is appropriate given the DDOs are phrased primarily to achieve residential objectives, and the campus enjoys an “island site”, with a southern interface to Sturt Street, with the only residential interface along the western edge. The design response has sought to achieve a meaningful setback to Hamilton Avenue (to the west).

### 4.1.2. Local

The proposal further addresses the key strategies outlined in Clause 15.01-1L (Urban design), which outlines local policy strategies to create safe, healthy and functional urban environments.

The proposed development has been designed to remain visually consistent with contemporary buildings on the site while adopting muted tones and colours to ensure it respects the heritage assets on the site. This further responds to local policy regarding neighbourhood character, namely Clause 15.01-5L (Ballarat Neighbourhood Character), given the building’s height and massing in the broader streetscape context.

It is considered appropriate as the campus building design thoughtfully responds to the context of neighbouring buildings though incorporating a varied material palette and visual screening.

## 4.2. ASSESSMENT AGAINST ZONE & OVERLAYS

The proposal is consistent with the following zone and overlay requirements as outlined below.

### 4.2.1. Zone

The site is located in Special Use Zone – Schedule 5, which sets out to provide the use of land for the purpose of a private education establishment, including the use of land for a religious institution. Under SUZ5, the proposed education is considered an as of right use, as a permit is not required.

A permit is required for the associated buildings and works, which are consistent with the purpose of the zone and as further assessed herein.

### 4.2.2. Design and Development Overlay, Schedule 6

The site is located within the Design and Development Overlay – Schedule 6 (Urban Character Area 9), which sets out to maintain and enhance the traditional scale and setting of residential development on Wendouree Parade, and encourage new development to complement existing development along Wendouree Parade.

Significantly, we note that the development does not front Wendouree Parade, instead being oriented to Hamilton Avenue and Sturt Street. Notwithstanding, the proposal is considered to respond to the proposal as follows:

#### DESIGN OBJECTIVES

#### RESPONSE

To retain and enhance the traditional scale and garden settings of residential development on Wendouree Parade, which is an urban character of significance to the context and visual

#### Not Applicable

- The development is not sited on the Wendouree Parade frontage. Moreover, the site zoning and historic location of the school on this parcel allows for an educational facility.
- Notwithstanding, while the proposal represents a change in built form and massing on the overall site, it offsets these amenity impacts through

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

# ADVERTISED PLAN

quality of Lake Wendouree and the City of Ballarat. respectful landscaping and facades that pay homage to the historic character of the broader area.

To encourage new development that complements existing development on Wendouree Parade in scale, height and siting.

**Not Applicable**

- The development is not sited on the Wendouree Parade frontage. Moreover, the site zoning and historic location of the school on this parcel allows for an educational facility.
- Notwithstanding, the new building has been designed to remain visually consistent with other contemporary buildings on the site, notably the adjacent Mary's Mount Centre. Built form height further remains consistent, retaining the pre-existing 3 storey prevailing height character exhibited elsewhere on the site.
- The front setback remains consistent with adjoining built form along the Sturt Street frontage. There is no existing built form along the Hamilton Avenue frontage to use as a reference for building siting, thus it complies.

To retain the existing garden character featuring exotic canopy trees.

**✓ Complies**

- Again, it is noted that this overlay applies more to the Wendouree Parade presentation, whereas this proposal fronts Sturt Street.
- Notwithstanding, a large canopy tree between proposed development and

southern boundary to be retained, provides screening between Sturt Street and school frontage

To retain a visual connection between the street space and private land.

**✓ Complies**

- The new development will include new fencing (detail to be resolved through landscape plan detailed design) however will complement the existing open fencing typology exhibited around the south-western corner of the school, and incorporate meaningful views to landscaping and views in and out of the new learning spaces through the angled window bays.
- New landscaped area to the north of the proposed Mornane Centre building will further enhance such a visual connection

To retain views from the street space to the landmark features of Lake Wendouree; the Ballarat Botanic Gardens; traditional boat sheds, shelters and restaurant; and the Olympic Rings monument.

**✓ Complies**

- Given the proposal's orientation towards Sturt Street, and substantial setback from Wendouree Parade, the proposed development does not unreasonably impact views from Sturt Street to Lake Wendouree that are not already impeded by existing built form more broadly in the wider streetscape.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

# ADVERTISED PLAN

## 4.2.3. Design and Development Overlay, Schedule 11

The site is also located within the Design and Development Overlay, Schedule 11, which broadly seeks to maintain and enhance the character of Sturt Street as an historic boulevard and encourage new development to complement the existing historical development form. The proposal responds to the design objectives set out by DDO11 as follows:

DESIGN OBJECTIVES	RESPONSE
To retain and enhance Sturt Street as a gracious and formal nineteenth century boulevard, which is an urban character of special significance to the City of Ballarat.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- Retention of the majority of extant vegetation along Sturt Street will continue to provide visual screening to soften the new form, already carefully designed to exhibit a layered, contemporary form which pays homage to heritage elements of the broader school environs.</li> <li>- The proposal has been designed to complement the civic character of the boulevard.</li> </ul>
To encourage new development that complements existing historic development in form, scale, height, siting, materials and colour.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- The façade design achieves this through sensitive design response, which includes heritage responsive material selection (muted tones, incorporation of brick), contemporary layering of architectural elements, a modest yet meaningful landscape setback to street edges, and built form positioning highly consistent with adjoining contemporary built-form.</li> </ul>
To encourage the development of harmonious building forms that will contribute to the integration of traditional urban character along the street.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- The proposal has been thoughtfully designed through architectural response, material selection and siting to ensure that it is a harmonious addition to the traditional urban character along the street.</li> <li>- Please also see Heritage Impact Statement prepared by Bryce Raworth for more information.</li> </ul>
To retain views from the street space to the landmark features of Victoria Park and Lake Wendouree.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- Proposed development does not unreasonably impact views from Sturt Street to Lake Wendouree noting site positioning is substantially setback from Lake Wendouree behind existing built form.</li> </ul>
To retain a visual connection between the street space and private land.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- The new development will include new fencing (detail to be resolved through landscape plan detailed design) however will complement the existing open fencing typology exhibited around the south-western corner of the school, and incorporate meaningful views to landscaping and views in and out of the new learning spaces through the angled window bays.</li> <li>- New landscaped area to the north of the proposed Mornane Centre building will further enhance such a visual connection.</li> </ul>

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

# ADVERTISED PLAN

To retain the existing garden character featuring exotic canopy trees.

**✓ Complies**

- Majority of exotic trees on site have been retained, with the exception 35, 36 and 37.
- Please refer to the Arboricultural Impact Assessment Report prepared by CIVICA ArborSafe for further information

The proposal further responds to the design requirements set out by DDO11 as follows:

**DESIGN REQUIREMENTS**

**RESPONSE**

Building heights should be no greater than two storeys

**Variation proposed**

- The proposed built form height consists of 3 storeys. There is a demonstrable streetscape precedence and robust physical context that warrants a three storey form.

Higher buildings may be permitted where it is demonstrated that they would be sympathetic with the character of the street.

**✓ Complies**

- The proposal demonstrates a high-quality sympathetic response to the character of the street through responsive material selection consistent with the heritage character of the area, coupled with the precedence of the adjoining higher forms on the existing school campus (including Mary's Mount Centre to immediate east), and a robust physical streetscape context with limited sensitive interfaces.

A building greater than two storeys in

**✓ Complies**

height may be permitted on the existing school and convent sites if the proposed development complements the height and mass of the existing building complex.

- The design represents a continuation of innovative contemporary design seen in the Mary's Mount Centre that also remains sympathetic to the heritage character of the site and surrounds.
- The proposed 3 storey building height is consistent with existing contemporary development on the site, also noting the height of some of the heritage forms on site exceeds 2 storeys.

Roofs visible to the street are to be pitched and at an angle to match existing roof pitches in the street block.

**Not Applicable**

- Proposal includes a flat roof; therefore requirement does not apply

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

Front setbacks are to be consistent with the dominant front setback in the street block.

**✓ Complies**

- The siting of the Mornane Centre is consistent with other contemporary buildings on site, particularly the Mary's Mount Centre, shows clear and strong precedent for proposed sitting and setbacks

Side setbacks within 10 metres of the building frontage are to be consistent with existing side setbacks in nearby sections of the street.

**Not Applicable**

- There is not a consistent pattern along the western frontage, given the western frontage of the school is presently open space. Similarly, Hamilton Avenue exhibits a vegetated median strip between the interface with the dwellings to the western side of the street, with varied setbacks.

# ADVERTISED PLAN

- North of the proposed location of the proposed Mornane Centre is open space used by the school for the oval.
- As outlined below in Section 4.3.2 of this report, incorporation of a larger setback would greatly detract from the well-considered and responsive interface to Hamilton Avenue

## 4.2.4. Heritage Overlays HO126 and HO164

The subject site is located within the Heritage Overlay, with Schedules 126 and 164 applying to the site. The site is unlikely to be impacted by HO126, as it only applies to the eastern half of the site, but the relevant controls are still be taken into consideration.

As outlined in the Ballarat Heritage Precincts Statements of Significance (July, 2025) the West Ballarat Precinct is significant due to its historic associations with quartz mining and residential development dating back to the 1850s.

The design of the proposed Mornane Centre directly takes inspiration from surrounding heritage built form through utilising materials and elements that reference the historic built form context of the site, namely the utilisation of red-brick that reference the red-brick boundary wall along Sturt Street.

For detailed response, please refer to Heritage Impact Statement, prepared by Bryce Raworth. A tabular assessment is also included overleaf.

On corner sites, where new development is to be constructed to the street boundaries the building façade and any proposed street verandah must address both street frontages.

### ✓ Complies

- The proposed design comprehensively responds to both major frontages through significant landscaping and sympathetic material selection.
- The small setback and more substantive planting schedule results in a frontage is more responsive to the surrounding interfaces.

External construction materials are to be sympathetic with existing materials and colour tones in the street.

### ✓ Complies

- External materials selected adopt muted colours and surfaces that align with and are sympathetic to the heritage character of the surrounding context.

Design details are to be sympathetic with existing building details in the street, particularly window shapes, eaves and verandahs.

### ✓ Complies

- The incorporation of a material selection consistent with the heritage character of the area (brick, muted colours etc.) ensures the design is able to remain sympathetic to surrounding development while adopting innovative contemporary design features

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

### HERITAGE OBJECTIVES

### RESPONSE

To conserve and enhance heritage places of natural or cultural significance.

### ✓ Complies

The proposed built form has been carefully sited to preserve the civic character of the tree lined boulevard and enhance the qualities of the adjoining tree lined spaces.

To conserve and enhance those elements which contribute to the significance of heritage places.

### ✓ Complies

- Proposal will facilitate the long-term operation of a significant institution within the West Ballarat Heritage Precinct (Loreto Ballarat)
- Please refer to Heritage Impact Statement prepared by Bryce Raworth for further information.

To ensure that development does not adversely affect the

### ✓ Complies

significance of heritage places.

- Proposal thoughtfully sited to limit impact of visual bulk and compliment adjoining properties
- Retention of mature tree line.

To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

✓ **Complies**

- Proposed development does not unreasonably impact views from Sturt Street to Lake Wendouree that are not already impeded by extant built form.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

# ADVERTISED PLAN

## 4.2.5. Vegetation Protection Overlay, Schedule 2

The site is subject to the Vegetation Protection Overlay, Schedule 2.

VEGETATION PROTECTION OBJECTIVES	RESPONSE
To retain the amenity, aesthetic character and cultural value that garden trees and street trees contribute to areas of high quality and distinctive urban character, particularly in residential areas.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- 13 of the 16 trees within the subject site are proposed to be retained, ensuring their ongoing aesthetic and cultural contribution to the area.</li> <li>- The 3 trees proposed for removal are of low to medium retention value and offset by a thoughtful landscape response.</li> </ul>
To retain the presence of tree canopies as a significant feature contributing to the character of these areas, and of the public street space in particular.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- Tree retention has been prioritised through design and siting, limiting the number of trees removed to only 3 low to medium retention value trees and offset by a thoughtful landscape response.</li> </ul>
To prevent the loss of garden trees incurred by new development.	<p>✓ <b>Complies</b></p> <ul style="list-style-type: none"> <li>- As above, the trees sought for removal are of low to medium retention value and offset by a thoughtful landscape response.</li> <li>- Please refer to the Arboricultural Impact Assessment Report prepared by CIVICA ArborSafe for further information.</li> </ul>

# ADVERTISED PLAN

## 4.3. HEIGHT, SITTING AND MASSING ASSESSMENT

The zoning of the site recognises the private educational institution expectations with no specific built form controls therein.

### 4.3.1. Height & Massing

Under the Design and Development Overlays 6 and 11 (DDO11 is deemed the more relevant DDO for the purposes of this assessment, however both exhibit similar requirements), buildings should be no greater than 2 storeys. We note that this DDO reads largely as a residential guiding document, referring to dwellings, garages, front gardens and the like.

State policy (19.02-2S) clearly articulates that a school-related buildings may be permitted to have different built form from their residential neighbours. Therefore, a built form only moderately higher than two stories (three), on an existing school site, is entirely appropriate given the “island site” context, the respectful interface to nearest residential forms along Hamilton Avenue, and the fact that the proposed development complements the height and mass of the existing buildings already present on the subject land. The proposed development will be 3 storeys in scale, which is consistent with the adjacent Mary’s Mount Centre building, which is also 3 storeys tall, as well as other forms further east on the overall site.

The massing, architectural contemporary and layered design response, siting, and materiality choice are all carefully designed to provide a high-quality architectural outcome, appropriate for the school and in the context of both the streetscape and the heritage environs on which they sit.

### 4.3.2. Sitting

Through the pre-application process, and response to feedback provided, the proponent team have incorporated a setback of 0.6m to 1.4m along the Hamilton Avenue interface. This allows for more substantive landscaping to be integrated whilst maintaining necessary layouts and educational functional requirements within while maintaining appropriate fire rating distances from the adjoining Mary’s Mount Centre.

The project team has carefully considered a modified submission, which retains the 0.6-1.4m setback, and instead incorporates:

- A more significant planting zone in this revised proposal in this space – this complements the gesture to the street for true street facing design with good passive surveillance opportunities.
- The removal of the architectural seating previously included on the plan, instead incorporating angled window bays.

It is important to note that:

- The school and design team from first principles does not want to include a traversable wider space between the building and the footpath, or to create an ability to circumnavigate the extremities of the school. This would require additional fencing and would lower CPTED outcomes, also further turning the building back on the street and closing off this interface.
- The installation of fencing would further detract from the well-considered and responsive façade facing Hamilton Avenue, and further close off the site from the public realm.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

incorporation of more significant landscape planting schedule to create passive screening that compliments the design while creating separation between the site and Hamilton Avenue. It is further noted that Hamilton Avenue exhibits a vegetated median strip, resulting in a substantially vegetated and visually interesting outlook from the nearest residential interface to the west and as exhibited in updated view analysis.



- It is further impractical to push the site further west due to the easement bisecting the site just west of the proposed development.
- The design seeks to:
  - Gesture and turn towards the street with good passive surveillance.
  - Includes the red brick homage to other heritage fencing within the school.
  - Respond to spatial constraints, including the fire rating separation required to Mary's Mount Centre to the immediate east, and a desire to not unnecessarily encroach student play space to the northern playing field.
  - Focus on trafficable and landscaped zones to the north and south.
- We note that the applicant's heritage consultant is supportive of a close western setback in the heritage environs.
- This street corner exhibits an immediate interface with a PTV bus stop (utilised by students), and a notable feature of Hamilton Avenue is the planted median strip. This bolsters the differentiation between both sides of the street and the education institution's position on a more robust corner with Sturt Street.
- To the immediate north, the remainder of the school's interface along Hamilton Avenue is to open (play) space.
- It is considered that the greater setback would place greater limitation on internal functions and movements, while constraining internal uses

For these reasons, the western setback of 0.6-1.4m is considered appropriately well designed and integrated within both the school site, Sturt St and Hamilton Avenue streetscapes.

This is reflected through the package in updated planning, architectural and heritage reports, and architectural and landscape plans.

## 4.4. HERITAGE APPROPRIATENESS

It is acknowledged that the proposed development of the Mornane Centre presents a change to the built form context of Loreto Colleges and how it integrates with the local area. However, it is further noted that the *Heritage Overlay – Guidelines for Assessing Planning Permit Applications* by Heritage Victoria outline that contemporary and innovative development can occur in heritage places. Through adopting an innovative contemporary design (while not imitating or mimicking historic styles) the proposal aligns with the objectives of the guidelines. It is further noted that development of modern institutional buildings of a similar scale within the setting of historic precincts is relatively common, with two local examples – St Patricks College and Ballarat Clarendon College – identifying context for such development in the area. It is as such submitted that there is a role for well-designed contextually appropriate contemporary architecture in historic environments.

To address the heritage impacts on the interwar residential streetscape along Hamilton Avenue, the development has adopted a more refined and respectful façade articulation to moderate its appearance and impact. Furthermore, the heritage significance of the homes on Hamilton Avenue is not dependent on no or limited change on the opposing side of the street, meaning the introduction of the new building will not disturb the existing streetscape. The statement of significance for the West Ballarat heritage precinct further references the visual quality of the area being enhanced by treelined avenues and landscaped private open space. To respond to this, the building has been carefully sited to facilitate the retention of a mature tree close to the Sturt Street frontage, along with offsetting the loss of some private open space by the removal of the existing portable classrooms along the Wendouree Parade frontage.

Please refer to the Heritage Impact Statement prepared by Bryce Raworth for further detail.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**

## 4.5. ABORICULTURAL APPROPRIATENESS

Civic ArborSafe assessed 16 trees located within the grounds of Loreto College and outside along the Sturt Street frontage. Eight trees were identified across the site, none of which being of a species indigenous to the Ballarat area.

The assessment concludes:

- 3 trees along Sturt Street (numbered 23, 24 and 25) are considered to have high retention value. Trees within this retention category warrant design consideration to ensure their viable retention post project completion.
- 6 trees (3 on the site boundary along Sturt Street, 3 along the Hamilton Avenue frontage) were considered to have moderate retention value, providing moderate amenity and/or environmental contributions to the landscape. These trees have been numbered 30, 31, 33, 35, 37 and 38.
- 7 trees (6 on site boundary or Sturt Street frontage, 1 along Hamilton Avenue frontage) were considered to have low retention value, being juvenile trees considered readily replaceable. Such trees do not warrant design consideration.
- 3 trees would require removal based on the design proposal, these trees are number 35, 36 and 37. 35 and 37 are considered to have moderate retention value, while 36 has low retention value
- 13 trees were recommended for retention (23, 24, 25, 30, 31, 32, 33, 34, 38, 52, 196, 197 and 198) with generic – in some cases specific – protection to ensure they remain viable following completion of works.
- Tree 34 has proposed construction works within 11% of its TPZ including the edge of its SRZ. However due to the trees smaller size and existing available soil beyond the calculated TPZ tree retention may be feasible within proposed plans.

Please refer to the Preliminary Aboricultural Report prepared by Civica ArborSafe for further detail.

## 4.6. LANDSCAPE APPROPRIATENESS

The landscaping approach represents a “commitment to Country” through thoughtful design that acknowledges the landscape of Wadawurrung Dja (Wadawurrung Country). The landscape has inspired by the western volcanic plains, with grassy volcanic mounds and Wadawurrung food sources creating a connection between the Mornane Centre and Country. Materials have been selected in line with the character of local Country and sustainability considerations, placing a high emphasis on local and recycled materials. The landscape response seeks to provide meaningful planting and textured spaces to all sides of the new built form, avoiding the need for fencing.

Please refer to the Landscape Concept Plan prepared by SBLA Studio for further detail.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**

## 4.7. ARCHEOLOGY AND CULTURAL HERITAGE APPROPRIATENESS

The site is located within an area of cultural heritage sensitivity, subject to Regulation 26 of the Aboriginal Heritage Regulations (2018), within the nearest Aboriginal Place (VAHR 7622-0461) located 140m south of the study area. Significant ground disturbance has occurred within the study area due to previous development and demolition of structures and facilities across the site. As the site was operating as an education use prior to 28<sup>th</sup> May 2007, the proposed development is not considered a high impact activity under Regulation 46(3). As such, a mandatory CHMP is not triggered by the proposal, and a voluntary CHMP is not recommended due to the low potential for cultural heritage in the study area. The proposal is therefore considered to successfully align with archaeological and cultural heritage requirements.

Please refer to the Aboriginal Cultural Heritage Letter of Advice prepared by Urbis for further detail.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## 4.8. SUSTAINABILITY ASSESSMENT

The proposal is successful in the integration of sustainability outcomes into the design, construction, and operation of the Mornane Centre. This has been achieved through the delivery of occupant-focused spaces, reduction in carbon emissions associated with electricity consumption, transport and waste, minimised impact and enhanced natural systems, and healthy indoor environments, consistent with climate resilient principles and standards. The development is currently targeting an overall BESS score of 55%, which is consistent with best practice – a score of between 50% and 70% is generally considered best practice.

A provisional Blue Factor rating has been carried out based on the following WSUD measures:

- Collection from 1830m<sup>2</sup> of roof area
- Storage in 5kL rainwater tank
- Rainwater collected reused for toilet flushing and irrigation
- Use of 2m<sup>2</sup> raingarden

Utilising these measures, the development achieves a STORM rating of 109%.

Please refer to the Sustainability Management Plan prepared by Hip V. Hype for further detail.

**ADVERTISED  
PLAN**

# ADVERTISED PLAN

## 4.9. PRE-APPLICATION RESPONSES

Both Council and the Department of Transport and Planning have been engaged through pre-application meetings to provide advice on concepts of the proposal. Included below are tables documenting council and DTP responses

### 4.9.1. City of Ballarat

A pre-application meeting was held with Council on 8 September, with written feedback provided in the following weeks. Noting this feedback has already been provided verbatim to DTP prior to the DTP pre-application meeting, a summary (paraphrased) is outlined below with brief responses therein.

KEY POINT	EXPANDED COMMENTARY & RESPONSE	
<b>Planning</b>		<b>Heritage</b>
Community Consultation	Proposal will be assessed by Minister. community consultation acknowledged will be at discretion of DTP.	Sturt Street and Hamilton Avenue frontages
Western Setback	Council expressed a desire to incorporate a setback along Hamilton Avenue to allow existing vegetation to be retained/new meaningful planting to be implemented at site (Comment prior to setback alterations made, following DTP feedback, see below).  <i>Noted and addressed.</i>	Council noted: <ul style="list-style-type: none"> <li>A number of properties along Hamilton Avenue feature houses designed by prominent Ballarat architects Richards Coburn Richards and Herbert Coburn, which contribute to significance of HO164.</li> <li>Current Heritage Gaps Review project anticipates that the significance of the extensive portfolio in the western residential areas of Ballarat will be elevated from contributory to individually significant.</li> </ul> <p>This is responded to in detail within the HIS. <i>Please refer to Heritage Impact Statement by Bryce Raworth for full response.</i></p>
Southern Stairwell	Council expressed that stairwell located on Sturt Street side problematic, overrun will be highest point of the building interfacing with main boulevard frontage, gives the appearance building is facing away from Sturt Street.  <i>Proponent team assert positioning is appropriately integrated at most robust interface.</i>	Accordance with HO164
		Council noted: <ul style="list-style-type: none"> <li>Concern raised in heritage grounds that the development is not in accordance with the Incorporated Statement of Significance for HO164 which states,</li> </ul>
		<b>Materiality</b> Council advised materiality of southern and western facades critical to softening the impact of the imposing building, particularly when interfacing with dwellings to the west.  <i>Noted and addressed.</i>
		<b>Sustainability</b> Council noted new building presents significant opportunity to deliver a world class environmentally sustainable building, incorporation of green scaping could be considered to benefit development building long term.  <i>Noted and incorporated.</i>

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

# ADVERTISED PLAN

p13, that extensive areas of grassed and landscape public and private space, including school grounds, are an important aspect of the precinct's significance

This is responded to in detail within the HIS. *Please refer to Heritage Impact Statement by Bryce Raworth for full response.*

Sturt Street and will not enhance the boulevard's civic character

- While retention of a tree south of the proposed building is commended, the building's south wall and its alignment seen from Sturt Street looks like a service wall, and looks arbitrary and poorly resolved
- It is recommended that any design excellence south for the proposed building's north, east and west elevations should continue to the south elevation, so the development enhances Sturt Street as well

This is responded to in detail within the HIS. *Please refer to Heritage Impact Statement by Bryce Raworth for full response.*

## Scale of Building

Council noted:

- Concern on heritage grounds that the substantial size and scale of the proposed building and its features right on the Hamilton Avenue boundary will be too different from residences and their large well planted gardens, thus landscape setting will be substantially disrupted
- It is suggested that the appearance of the building on the Hamilton Avenue boundary be reduced in scale to be more subdued and less eye-catching though still a high-quality modern design product to ensure disruption to residences is lessened

This is responded to in detail within the HIS. *Please refer to Heritage Impact Statement by Bryce Raworth for full response.*

## Design facing Sturt Street

Council noted:

- Sturt Street is Ballarat's principal western civic boulevard, therefore there is an obligation for any new building in the western half of the college's grounds to be well designed
- There is concern that the proposed building, as designed, turns its back to

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

## 4.9.2 Department of Transport and Planning

A pre-application meeting was held with DTP on 23 October, with written feedback following on 30 October. The below summarises (and paraphrases) key points with a brief response articulated (full assessments being already addressed elsewhere within this report).

### KEY POINT

### EXPANDED COMMENTARY & RESPONSE

General Application Matters

DTP noted:

- Subject site located within an area of cultural heritage sensitivity; further justification should be provided to demonstrate that the land upon which building is occupying is considered to be significantly distributed
- Engagement with council is noted. Council will further be notified under S52(1)(b) of the

# ADVERTISED PLAN

Act, they are not a referral authority under S55

- Any future application will need to be accompanied by a full application with relevant reports.

*Noted and addressed within this application package.*

## New School Building

DTP noted:

- New 3-storey building proposed to occupy the south-west corner of the school grounds. DTP notes the reduction of the on-site fields/sports grounds, but reduction in amenity is ultimately a matter for school to balance with students

- Submitted documentation demonstrates a 'bottom-up' approach with landscape and heritage weaved into overall design. This has resulted in a school building DTP believes is:

Generally well designed on all 4 facades, result in a modern presentation;

Conducive to a school building identity;

Going to provide an appropriate internal learning environment owing to open plan / flexible classroom layouts with good access to natural light.

- DTP are generally satisfied that the architectural design of the building does not unreasonably detract from the heritage values on site

*Noted. This report also addresses these points in the Assessment section.*

## Western Setback

DTP noted:

- DTP does not support zero setback along the western boundary from Hamilton Avenue. This aspect of the proposal has caused the most tension in the overall design relative to the surrounding context
- While appreciated the zero setback was a gesture to former on-boundary brick fence, this needs to be balanced with the competing objectives within the DDO's (while residentially oriented) that are triggered
- Given residential setting, openness and relatively unique setting of Hamilton Avenue, the school building should provide a meaningful setback along that interface sufficient for good landscaping outcomes. It is not expected that the school building replicates the setbacks of residential buildings on Hamilton Avenue
- It is expected any future application/redesign will provide a setback from the western boundary

*Following this feedback, the proponent team have incorporated a setback of 0.6m to 1.4m along the Hamilton Avenue interface, which allows for more landscaping to be integrated whilst maintaining necessary layouts and educational functional requirements within, and whilst maintaining appropriate fire rating distances from the adjoining Mary's Mount Centre.*

*The setback to Sturt Street of 1.5 to 13.7 has allowed for the retention of certain vegetation, whilst maximising the area available for the landscaped stepping down to the Grass Sports Field to the north. Please refer to Section 4.3.2.*

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

# ADVERTISED PLAN

## 5. CONCLUSION

The proposed Mornane Centre development provides an opportunity to provide significantly improved learning opportunities for the students of Loreto Ballarat, with contemporary high-quality facilities and thoughtfully designed spaces conducive to learning.

Key supporting factors are as follows:

- ✓ The proposal is consistent with the statutory and strategic frameworks of the Ballarat Planning Scheme.
- ✓ The proposal provides much needed capacity for the school to accommodate its Year 11 and 12 cohorts.
- ✓ The proposal presents a notable uplift for onsite amenity, particular for Year 11 and 12 Students who will benefit from significantly improved education facilities. It further improves connections across the Loreto Ballarat site through the incorporation of transparent facades, circulation support and strengthening of the Felicity Walk connection.
- ✓ There is existing precedent on the site for contemporary building designs that contribute to enhanced learning outcomes as seen in Mary's Mount Centre. The Mornane Centre continues this legacy of contemporary forms through the delivery of a high quality and thoughtfully designed education facility that will allow Loreto College to provide greater opportunities for its students.
- ✓ Through carefully considered siting and façade articulation, the three-storey proposal presents a contemporary and visually striking design while remaining complimentary and respectful to the adjacent historic built form.
- ✓ The proposed visual impact is sufficiently offset through the aforementioned siting and incorporation of visual screen through the retention of tree canopy.
- ✓ The retention of all but 1 street tree along Sturt Street ensures that the leafy character of the 19<sup>th</sup> century boulevard is retained, while also allowing for the incorporation of a contemporary frontage to compliment the surrounding context.

- ✓ The setback and incorporation of an articulated façade along Hamilton Avenue assists in moderating the impact of the new building on the heritage residential street and provides opportunities for future meaningful landscaping opportunities to further soften the appearance of the building.
- ✓ The trees proposed for removal have low-to-moderate retention value, and are offset by an extensive landscape response. This new landscaping and open space for students provides a connection to Wadawurrung Country, through the incorporation of Wadawurrung food sources, rain-gardens and mounds inspired by the volcanic landscape of Wadawurrung Dja (Wadawurrung Country)
- ✓ The loss of some current open sports field space is sufficiently offset by the inclusion of this new landscaped area, which allow for a thoughtfully designed indigenous garden and environs for students to meaningfully utilize and enjoy for passive activities, adjoining the sports field for more active uses, whilst providing much needed additional learning spaces.
- ✓ As a result of historic significant ground disturbance and the ongoing lawful use of the site prior to the 28<sup>th</sup> May 2007, a mandatory Cultural Heritage Management Plan has not been triggered, and thus the proposal aligns with the cultural heritage requirements of the site.
- ✓ The proposed Mornane Centre targets a BESS score of 55%, which is considered consistent with best practice. As such, the proposal successfully addresses sustainability considerations, through achieving a reduction in emissions, minimization of impact on natural systems, and the overall implementation of climate resilient principles.

For the above reasons, the proposed Mornane Centre development successfully aligns with the strategic and policy objectives of the Ballarat Planning Scheme, and provides opportunity to reaffirm Loreto College Ballarat as one of the leading girls' schools in the Central Highlands.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

## 6. DISCLAIMER

This report is dated 17 February 2025 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Ltd (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, Loreto College Ballarat (**Instructing Party**) for the purpose of Town Planning Report (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith

and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

**ADVERTISED  
PLAN**



## **ADVERTISED PLAN**

**This copied document to be made available  
for the sole purpose of enabling  
its consideration and review as  
part of a planning process under the  
Planning and Environment Act 1987.  
The document must not be used for any  
purpose which may breach any  
copyright**