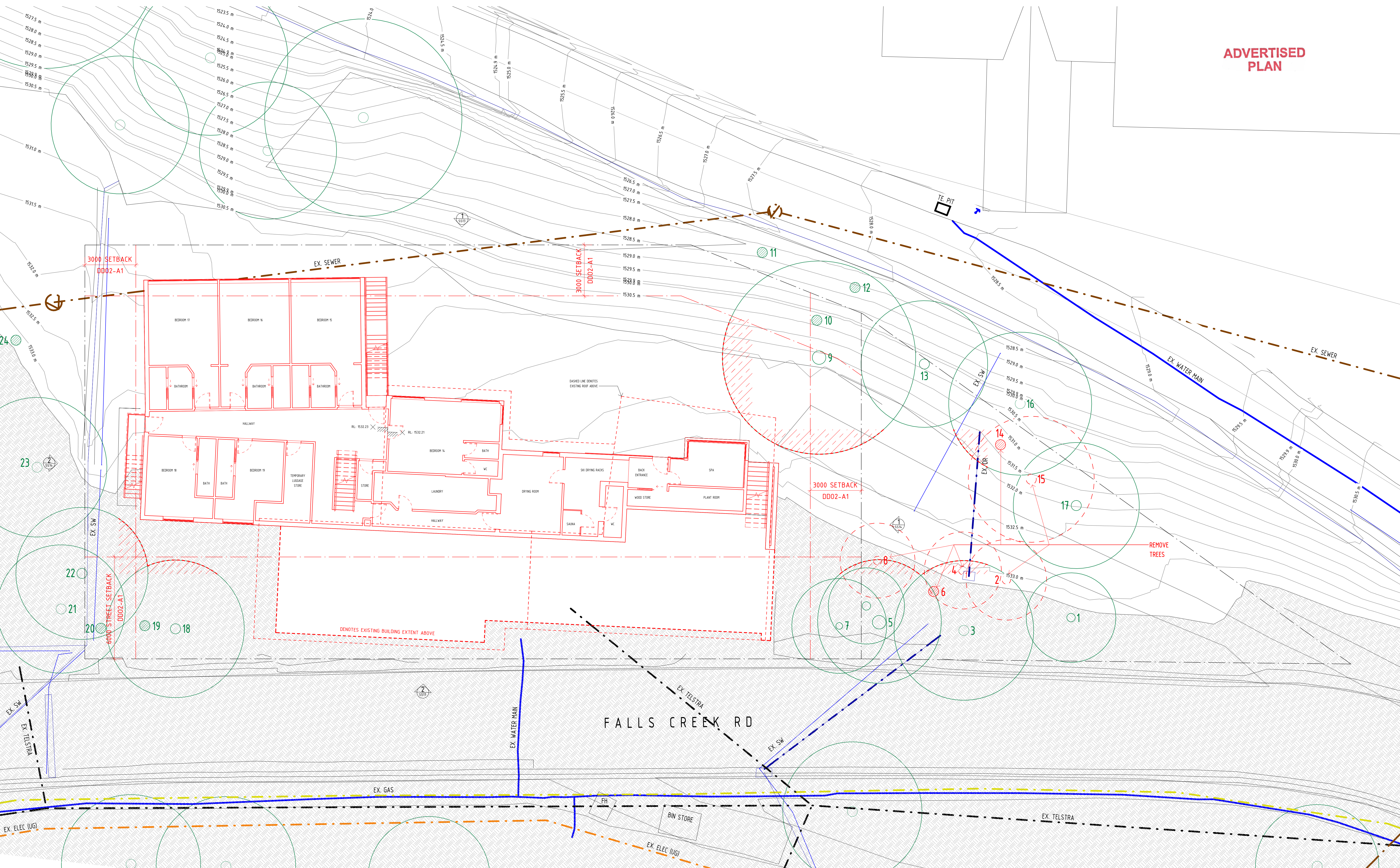


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DENOTES 1M ZONE  
FOR TREE PRUNING

SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH  
LAND SURVEYOR'S FEATURE SURVEY

NMBW

NMBW Architecture Studio  
NMBW Pty Ltd ACN No. 679 825 488  
2/ 74 Kerr Street  
Fitzroy Victoria 3068  
Tel: +61 3 9409 7500  
Email: nmbw@nmbw.com.au

SENDIT.ARCHI

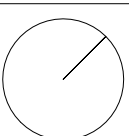
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ABN 82 641 365 618  
PO Box 424  
Mount Beauty Victoria 3699  
Tel: +61 3 499 344 084  
Email: andy@sendit.archi

6 FALLS CREEK RD

for CANZONERI FAMILY

EX01

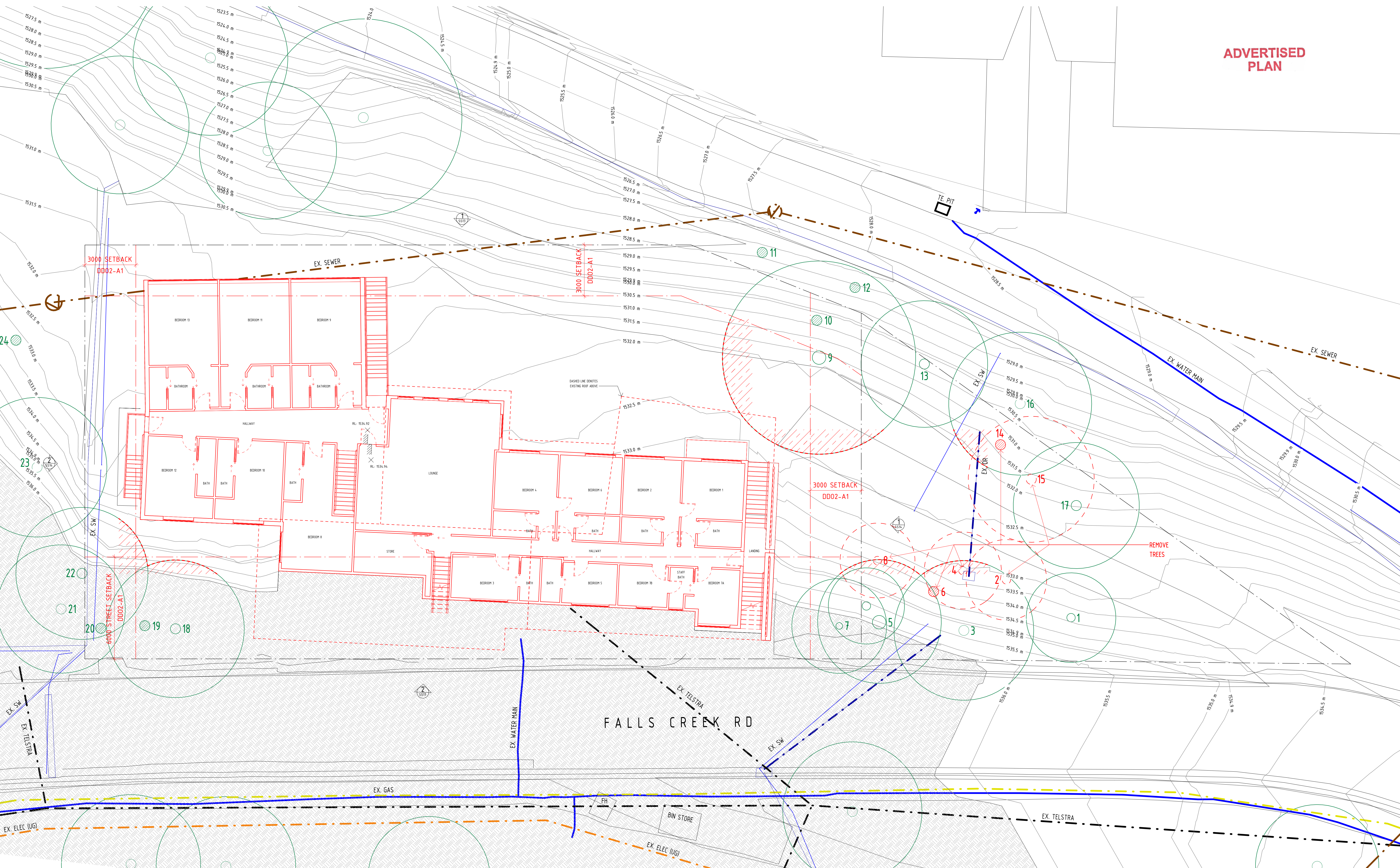
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DATE: 24.07.2024  
SCALE: As indicated@A1



EX./DEMO - GFL PLAN



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DENOTES 1M ZONE  
FOR TREE PRUNING

SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH  
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Fitzroy Victoria 3068  
Tel: +61 3 9498 7500  
Email: nmbw@nmbw.com.au

EX02

PROJECT No: 23  
DATE: 24.07.2024  
SCALE: As indicated@A1

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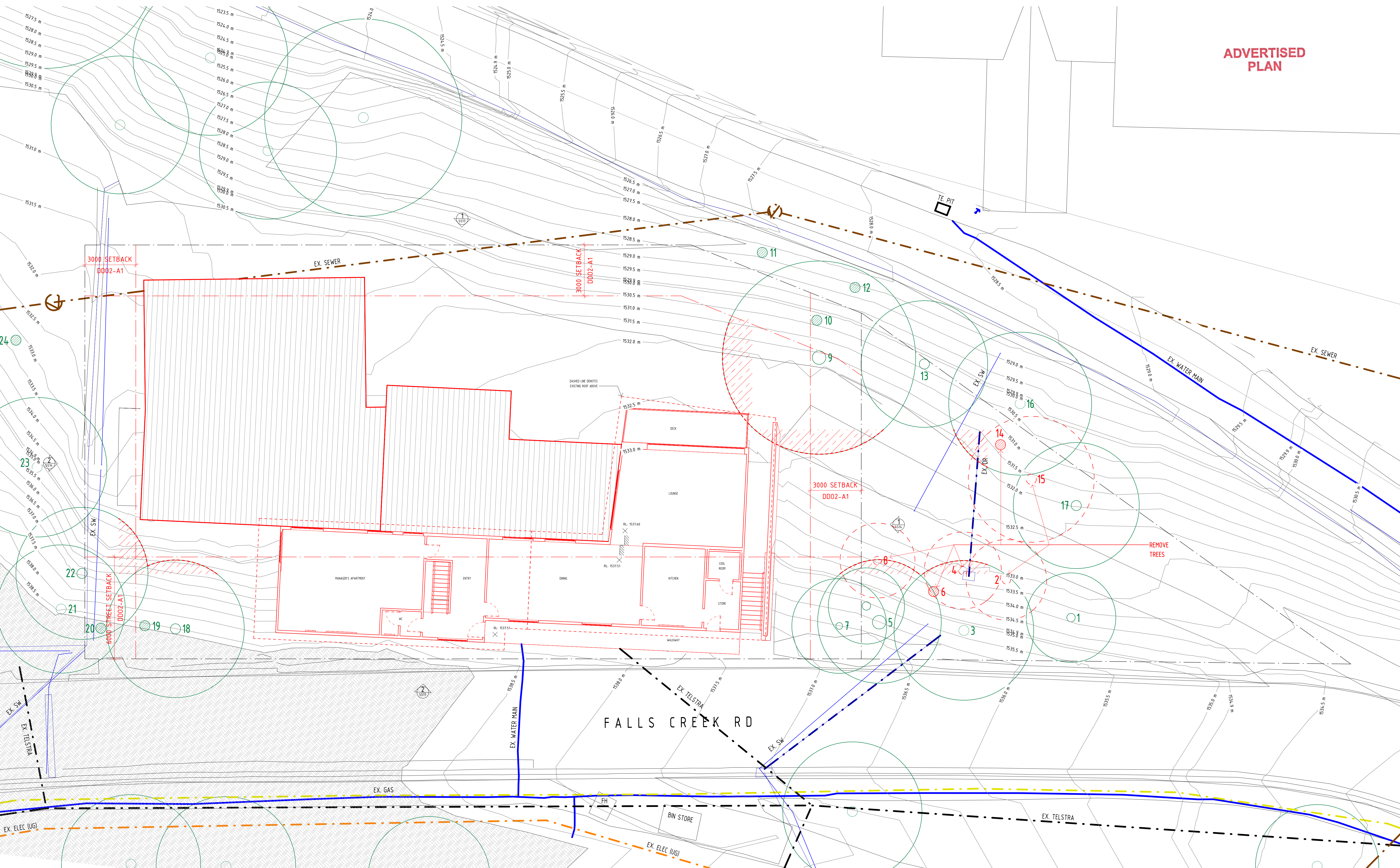
6 FALLS CREEK RD

for CANZONERI FAMILY

EX./DEMO - 1FL PLAN



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SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH  
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Mount Beauty Victoria 3699  
Tel: +61 3 499 344 084  
Email: andy@sendit.archi

EX03 PROJECT No: 23  
DATE: 24.07.2024  
SCALE: As indicated@A1

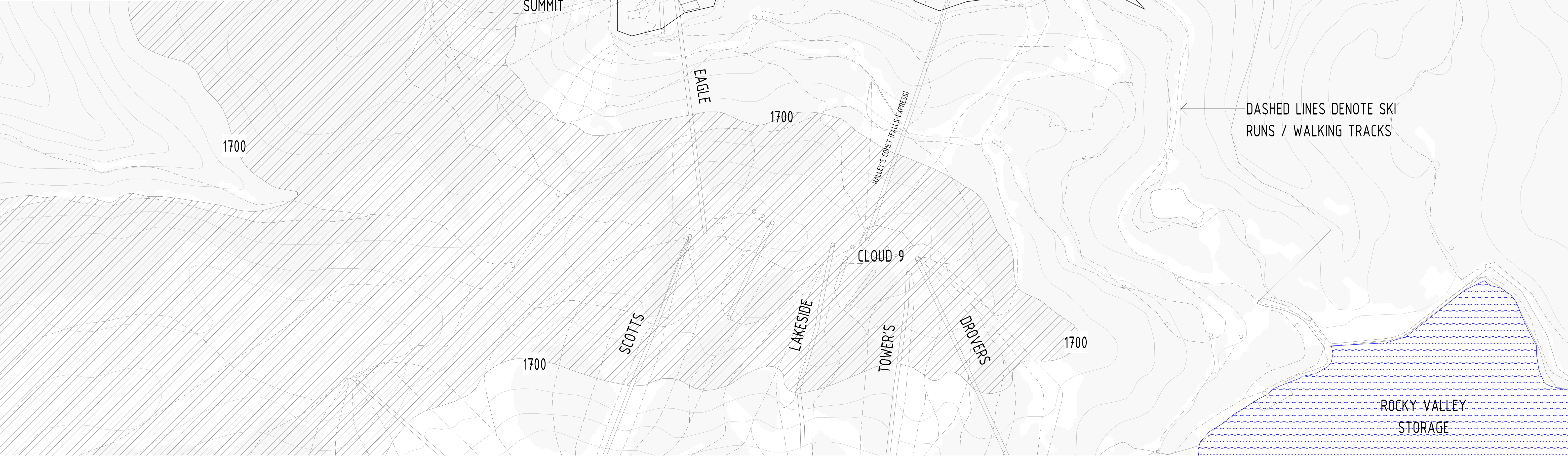
6 FALLS CREEK RD

for CANZONERI FAMILY

EX./DEMO - 2FL (STREET)  
PLAN

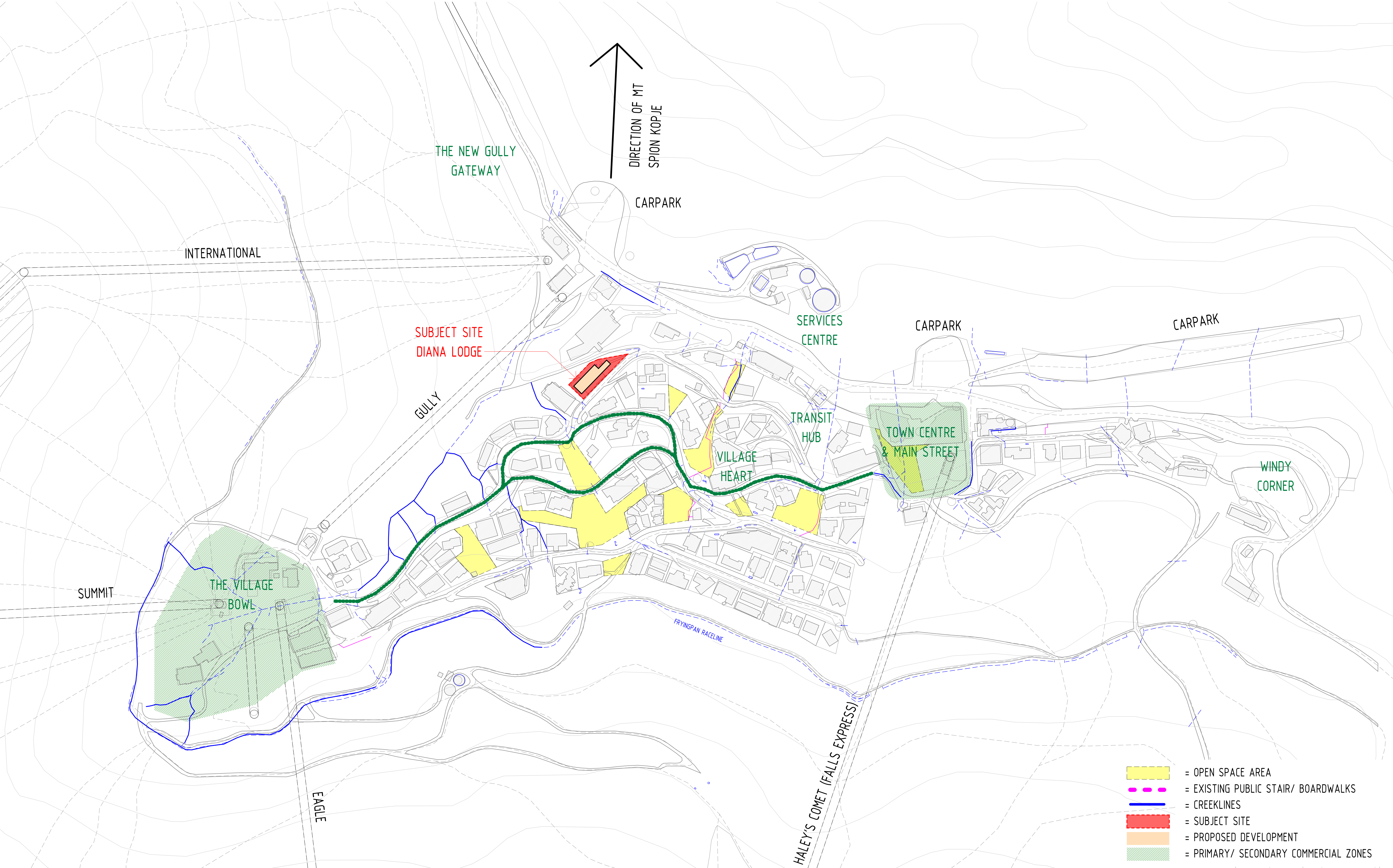


SHEET LIST			
SHEET NUMBER	SHEET NAME	REV	REV DATE
EX01	EX./DEMO - GFL PLAN	-	24.07.2024
EX02	EX./DEMO - 1FL PLAN	-	24.07.2024
EX03	EX./DEMO - 2FL (STREET) PLAN	-	24.07.2024
TP01	DRAWING REGISTER	A	20.11.2024
TP02	LOCATION PLAN	-	24.07.2024
TP03	EX./DEMO - SITE ANALYSIS	-	24.07.2024
TP04	SITE RESPONSE	-	24.07.2024
TP05	EX./DEMO - SITE SECTIONS	-	24.07.2024
TP06	SITE SECTIONS	-	24.07.2024
TP07	EX./DEMO - SITE SECTIONS	-	24.07.2024
TP08	SITE SECTIONS	-	24.07.2024
TP09	EX./DEMO - ROOF PLAN	-	24.07.2024
TP10	ROOF PLAN	A	20.11.2024
TP11	DD02-A1 SUMMARY	-	24.07.2024
TP12	GFL PLAN	A	20.11.2024
TP13	1FL PLAN	A	20.11.2024
TP14	2FL (STREET) PLAN	A	20.11.2024
TP15	3FL PLAN	A	20.11.2024
TP16	LANDSCAPE PLAN	A	20.11.2024
TP17	ELEVATIONS	A	20.11.2024
TP18	ELEVATIONS	A	20.11.2024
TP19	ELEVATIONS	A	20.11.2024
TP20	SECTIONS	A	20.11.2024
TP21	SECTIONS	A	20.11.2024
TP22	SECTIONS	A	20.11.2024
TP23	SECTIONS	A	20.11.2024
TP24	SECTIONS	A	20.11.2024
TP25	PROPOSED MATERIALS	-	24.07.2024
TP26	EX./DEMO - 3D VIEWS	A	20.11.2024
TP27	3D VIEWS	A	20.11.2024
TP28	3D VIEWS	A	20.11.2024
TP29	3D VIEWS	A	20.11.2024
TP30	COMPLIANCE DIAGRAMS	-	24.07.2024
TP31	COMPLIANCE DIAGRAMS	-	24.07.2024
TP32	APARTMENT TYP. PLAN GFL/1FL/2FL/3FL	-	24.07.2024
TP33	APARTMENT 11 PLAN 1FL/2FL	-	24.07.2024



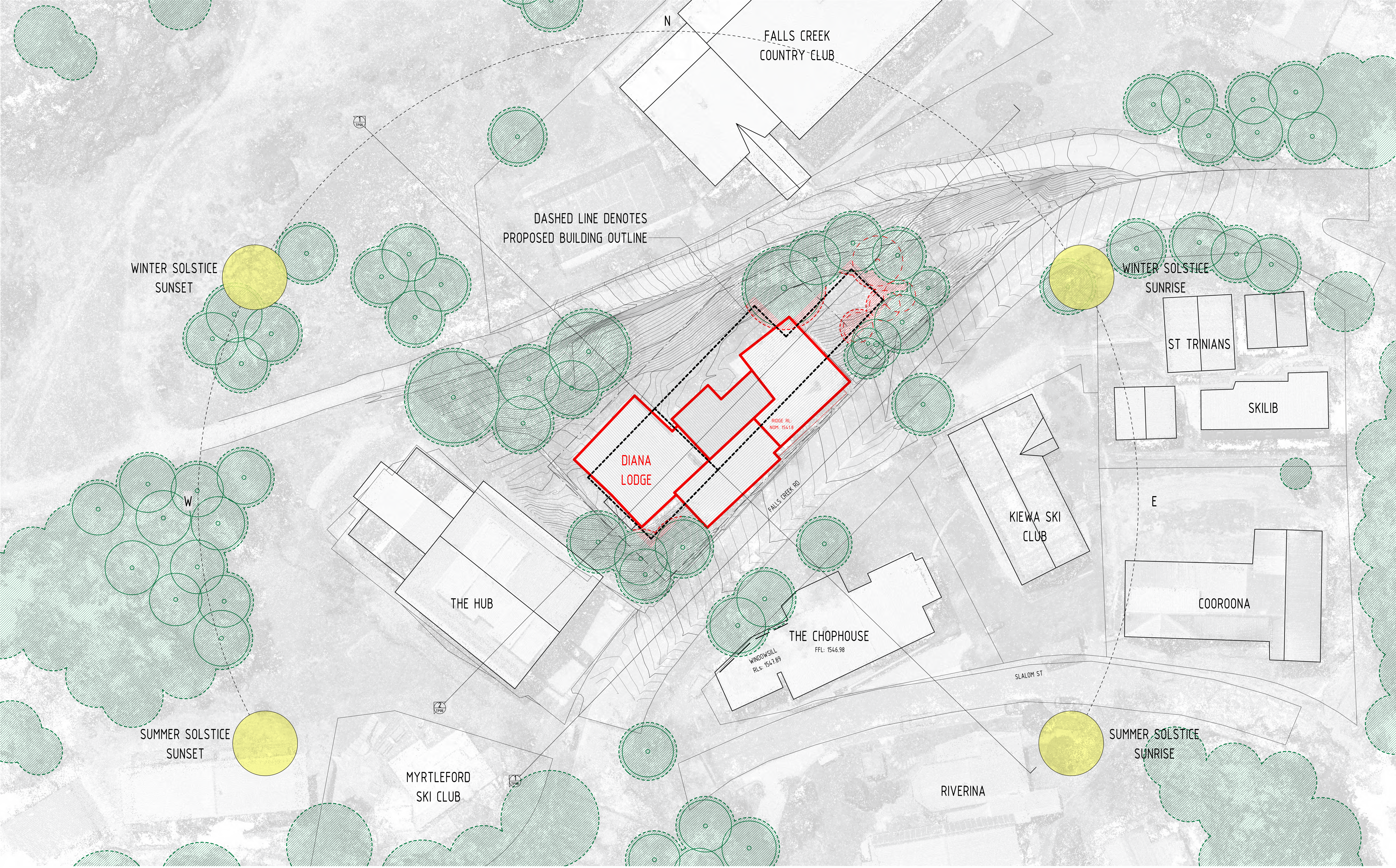
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<b>TP01</b>		PROJECT No: 23 DATE: 20.11.2024 SCALE: 1 : 5000@A1								<b>DRAWING REGISTER</b>					





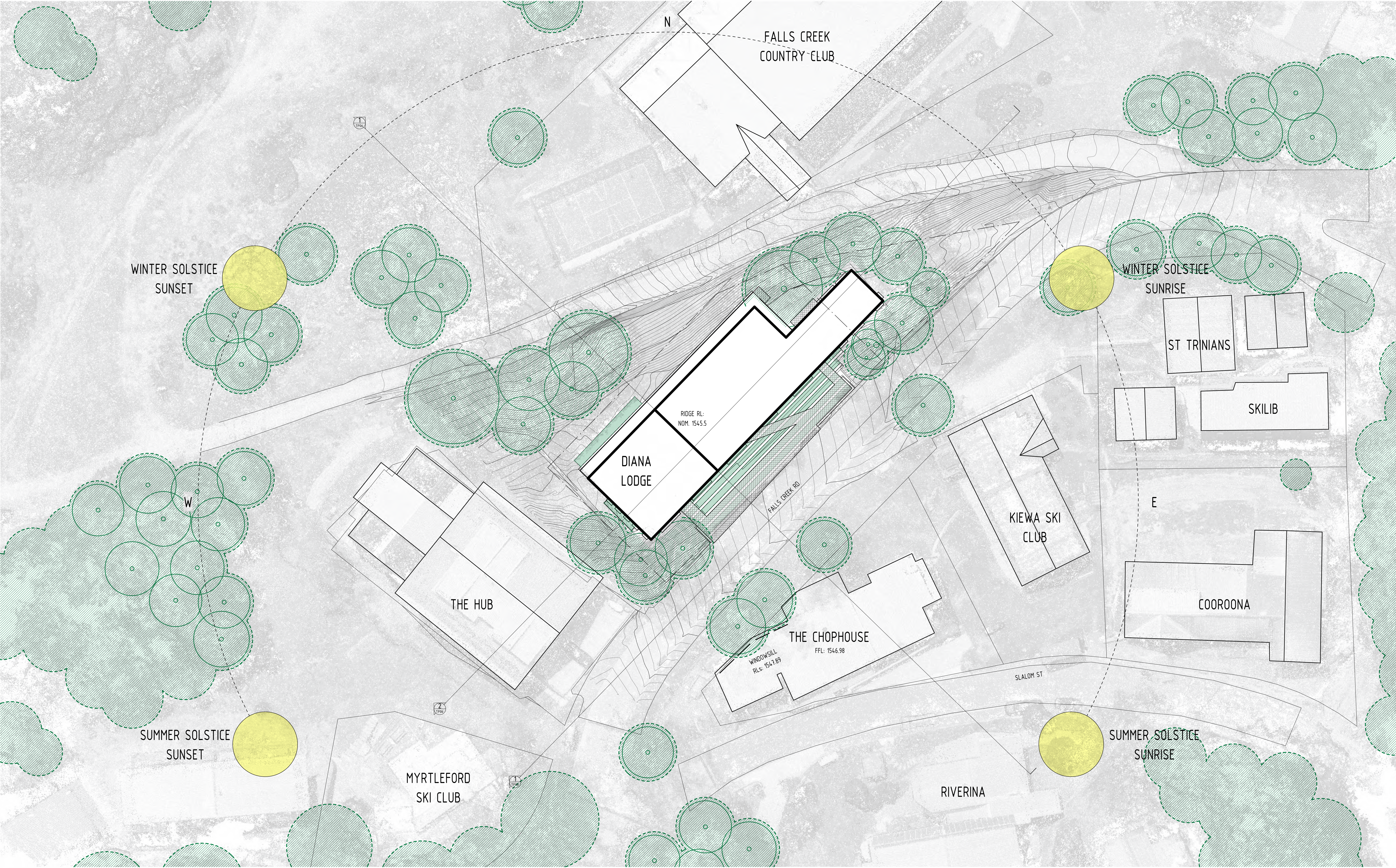
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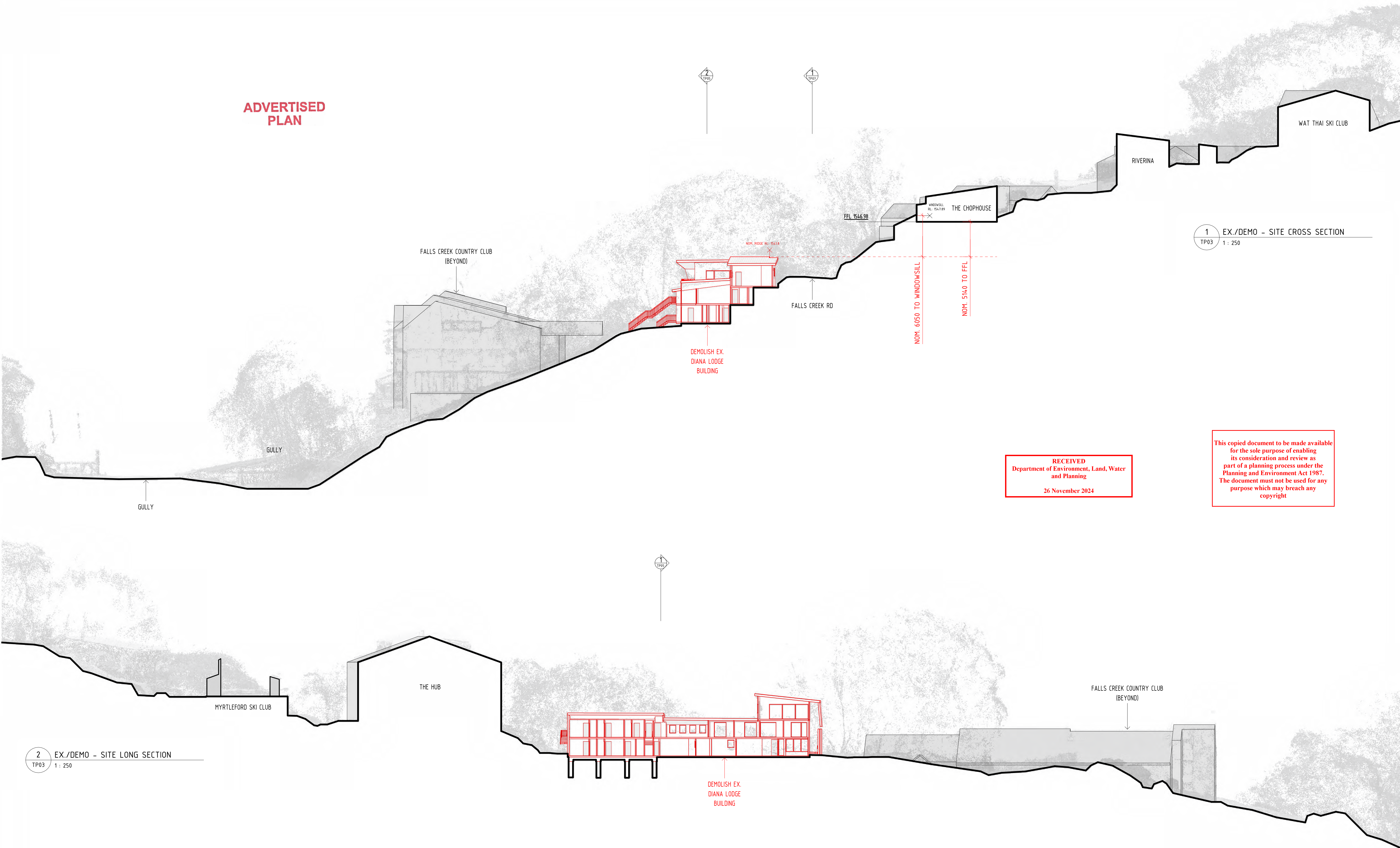
<p>ISSUES</p> <p>- ISSUED FOR TOWN PLANNING</p> <p>24.07.2024</p> <p><b>ADVERTISED PLAN</b></p>		<p>GENERAL NOTES</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions – DO NOT SCALE FROM DRAWINGS.</p> <p><b>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</b></p> <p><b>RECEIVED</b> Department of Environment, Land, Water and Planning 26 November 2024</p>		<p> DENOTES SUN</p> <p> DENOTES TREE REMOVAL / PRUNING</p> <p> DENOTES PROMINENT TREE CLUSTERS</p>		<p><b>NMBW</b></p> <p><b>SENDIT.ARCHI</b></p> <p><small>NMBW Architecture Studio NMBW Pty Ltd ACN No. 679 825 488 2 / 78 Kerr Street Fitzroy Victoria 3060 Tel: +61 3 9608 7509 Email: nmbw@nmbw.com.au</small></p> <p><small>Sendit.Archi AGN 82 641 365 618 PO Box 624 Mount Beauty Victoria 3699 Tel: +61 3 469 344 084 Email: andy@sendit.archi</small></p> <p><b>TP03</b> PROJECT No: 23 DATE: 24.07.2024 SCALE: As indicated@A1</p>		<p><b>6 FALLS CREEK RD</b></p> <p><b>for CANZONERI FAMILY</b></p> <p><b>EX./DEMO - SITE ANALYSIS</b></p>	
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1 EX./DEMO - SITE CROSS SECTION  
TP03 1 : 250

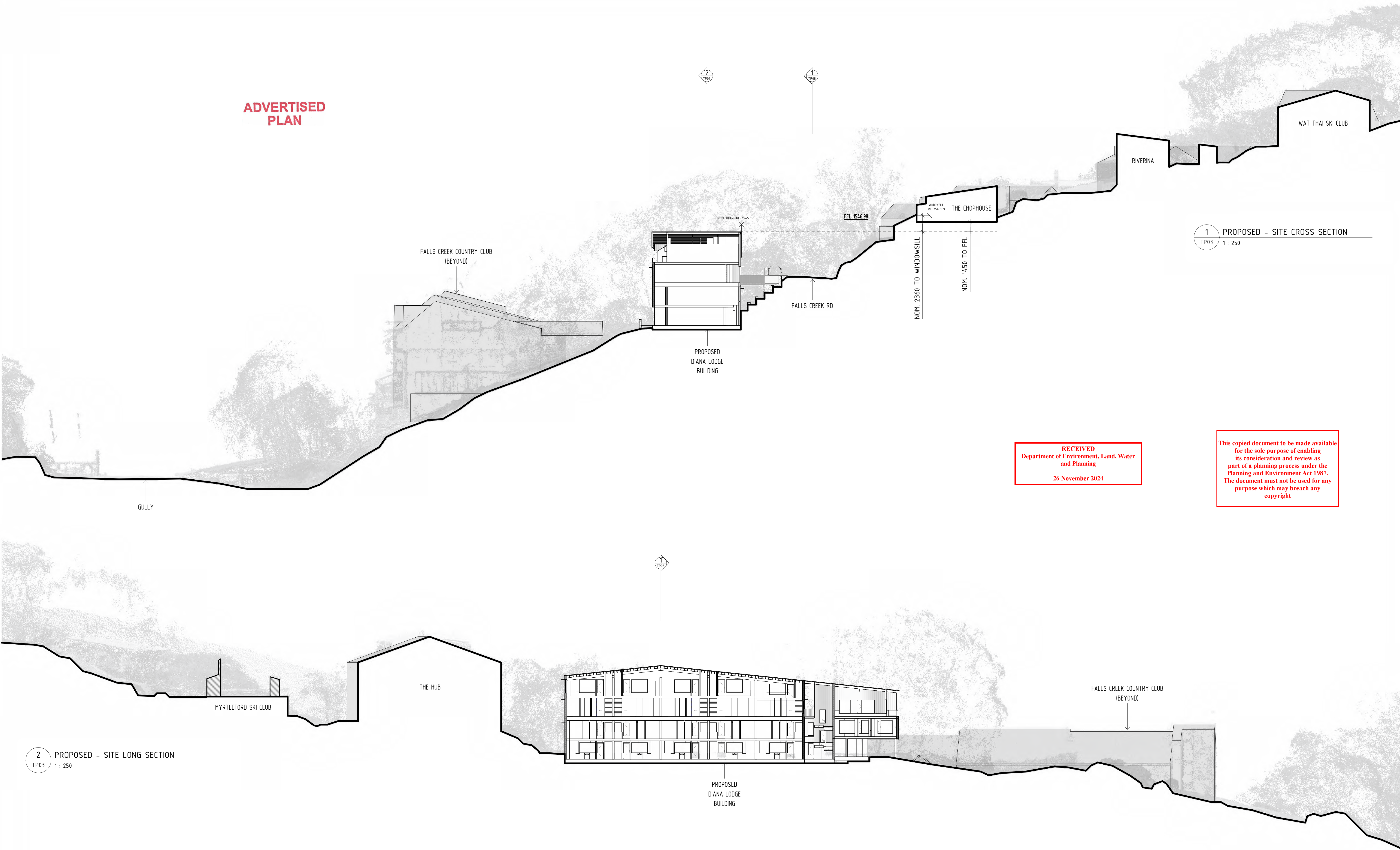
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2 EX./DEMO - SITE LONG SECTION  
TP03 1 : 250

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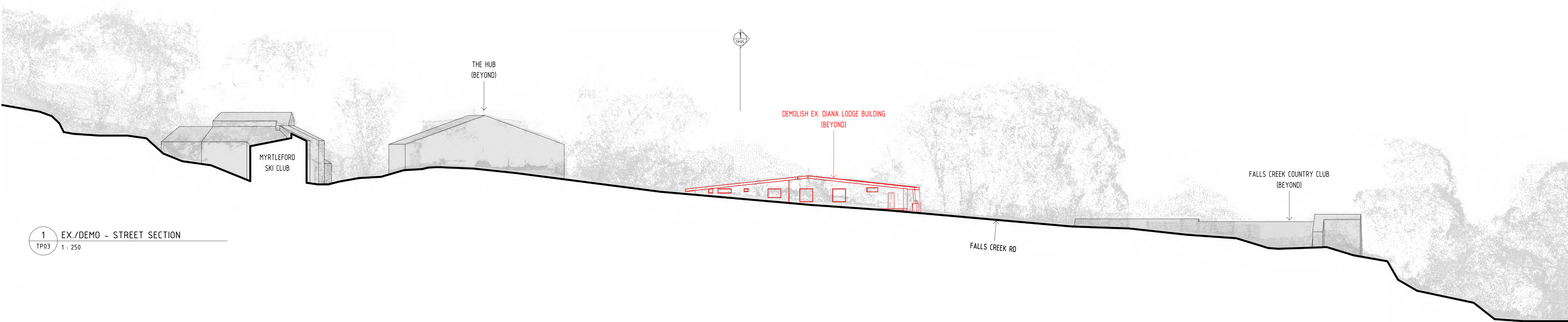
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1 EX./DEMO - STREET SECTION  
TP03 1 : 250

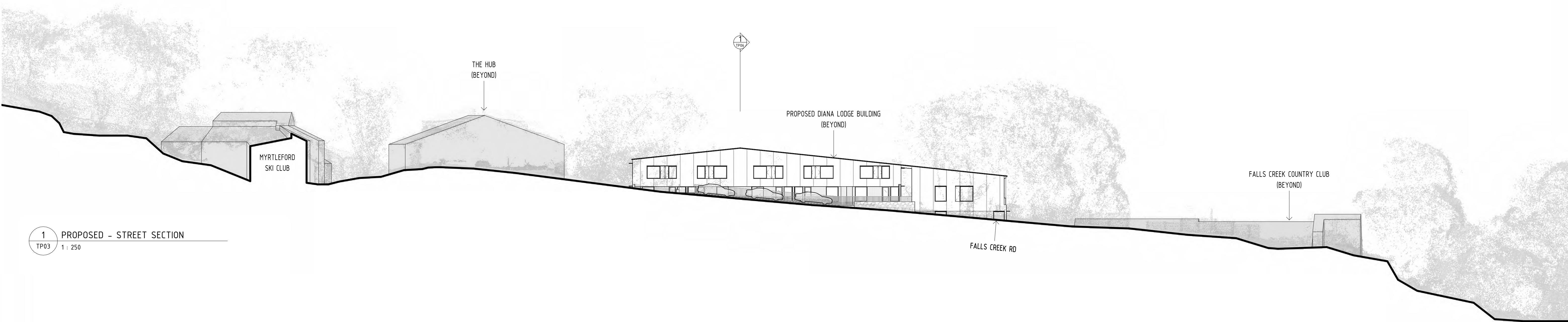
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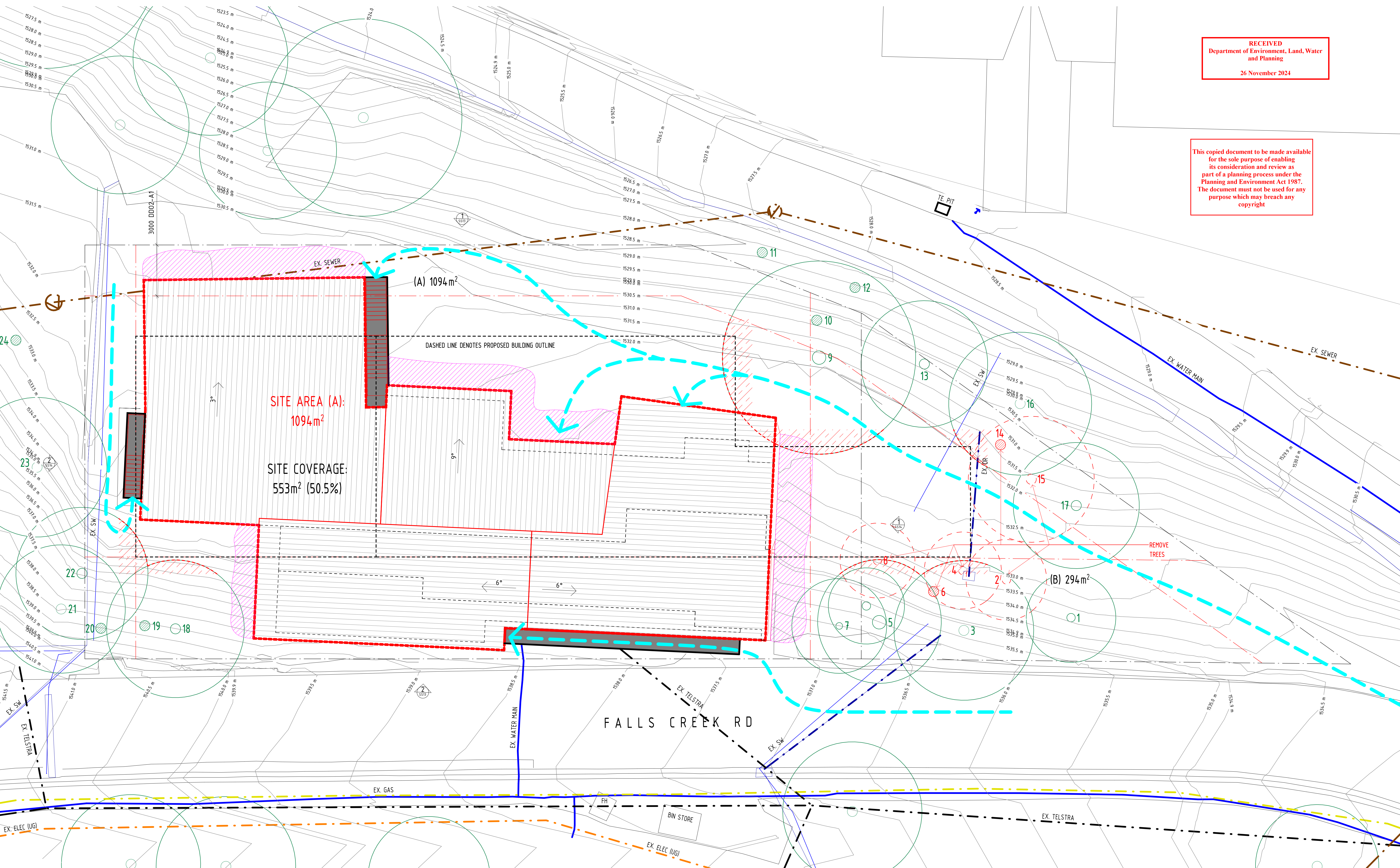


1 PROPOSED – STREET SECTION  
TP03 1 : 250

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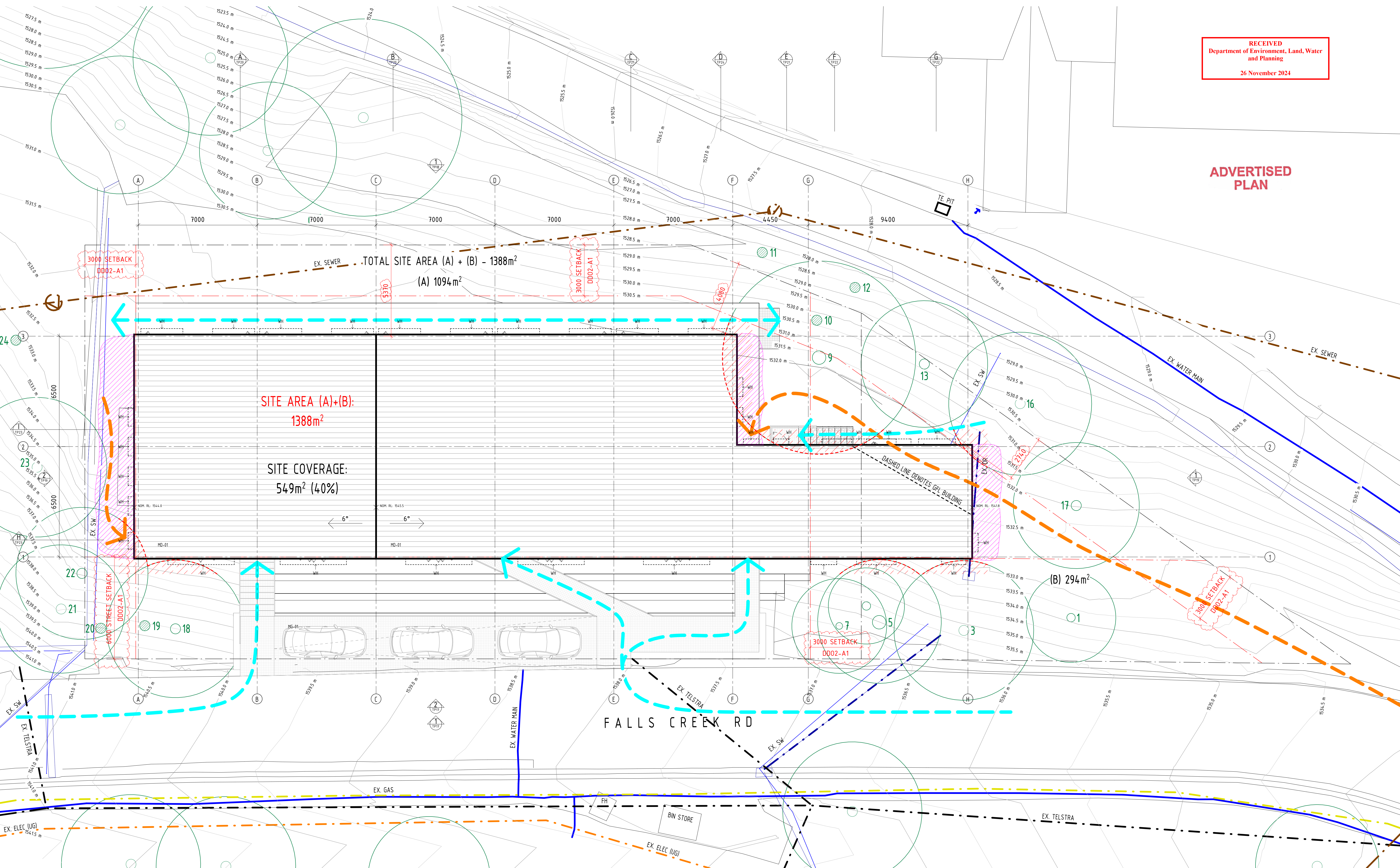
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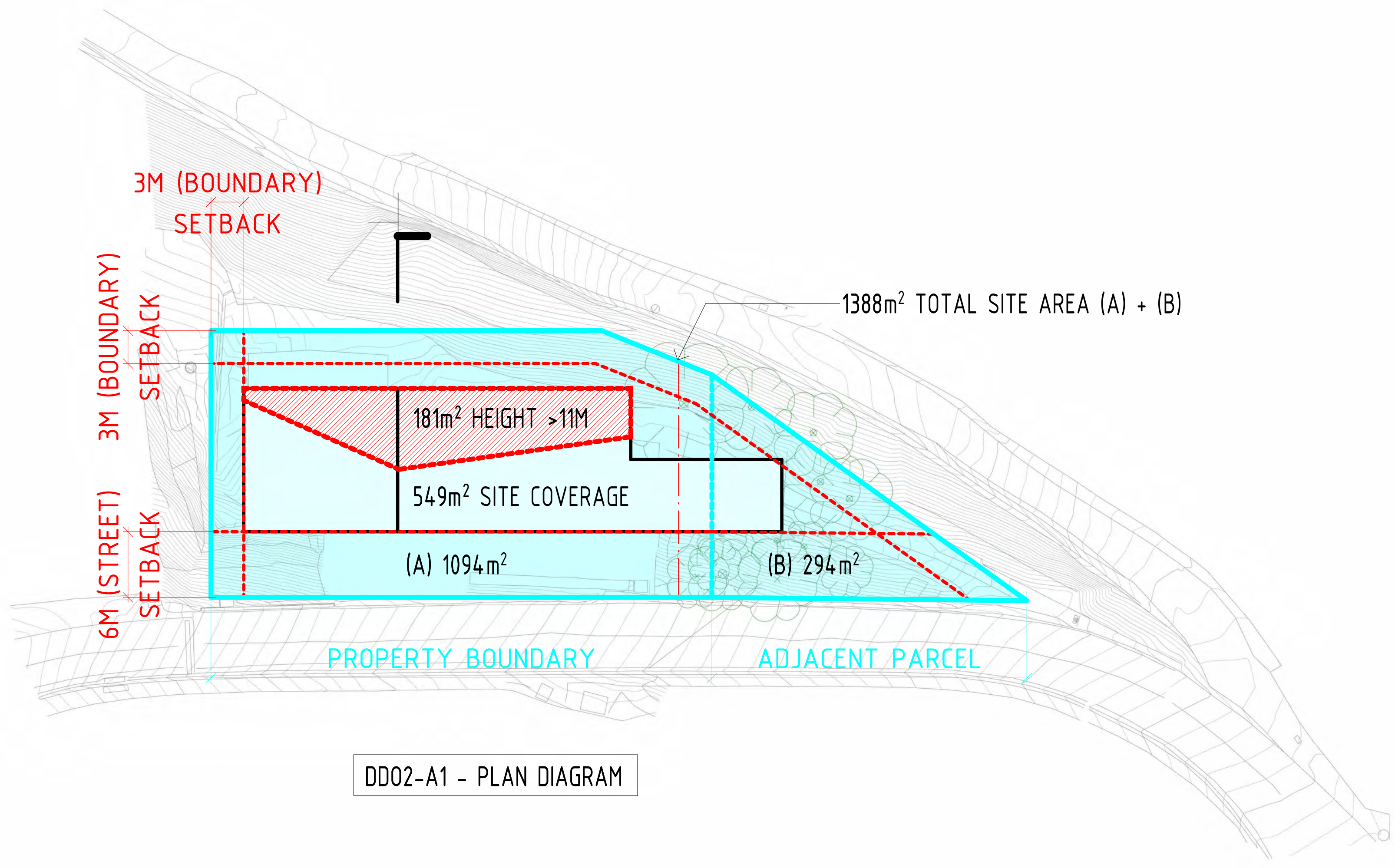


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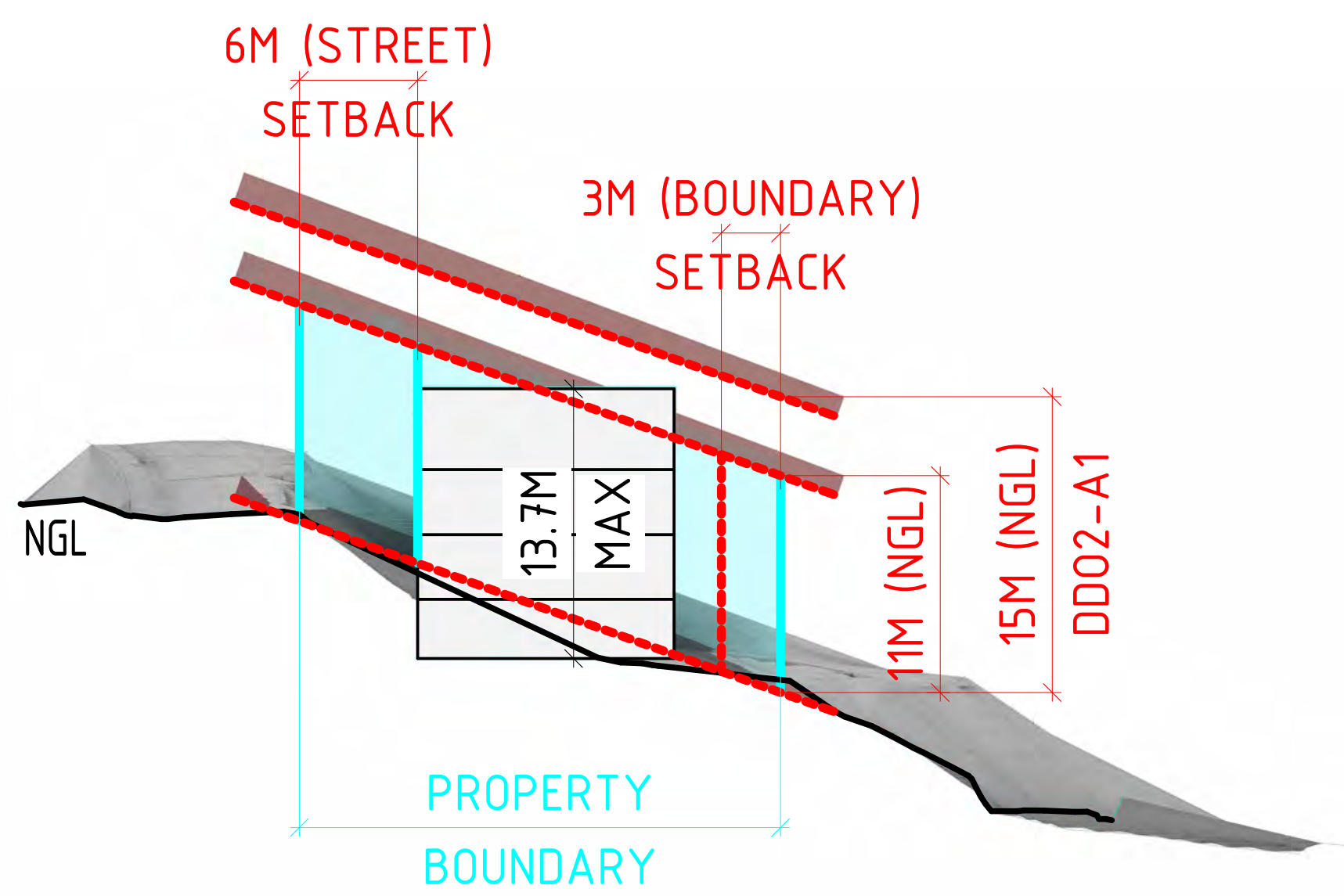
DD02-A1 - PLAN DIAGRAM

HEIGHT > 11M	$(181/549) \times 100 = 32.97\%$
SETBACKS	6M FROM BOUNDARY WITH ROAD 3M FROM ANY OTHER SITE BOUNDARY
SITE COVERAGE	$(549/1388) \times 100 = 39.55\%$

DD02-A1 - DEVELOPMENT SUMMARY

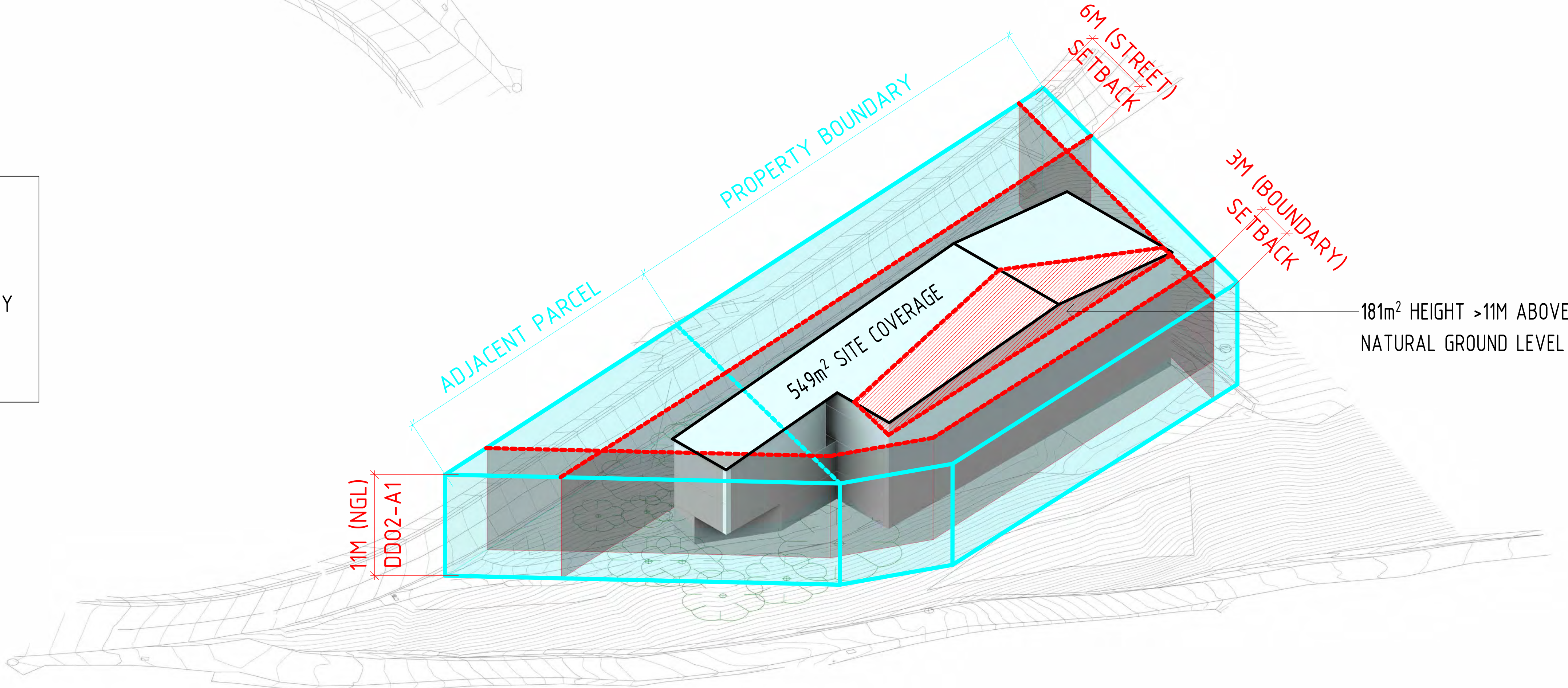
1 DD02-A1 (DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 2)  
1 : 300

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DD02-A1 - SECTION DIAGRAM

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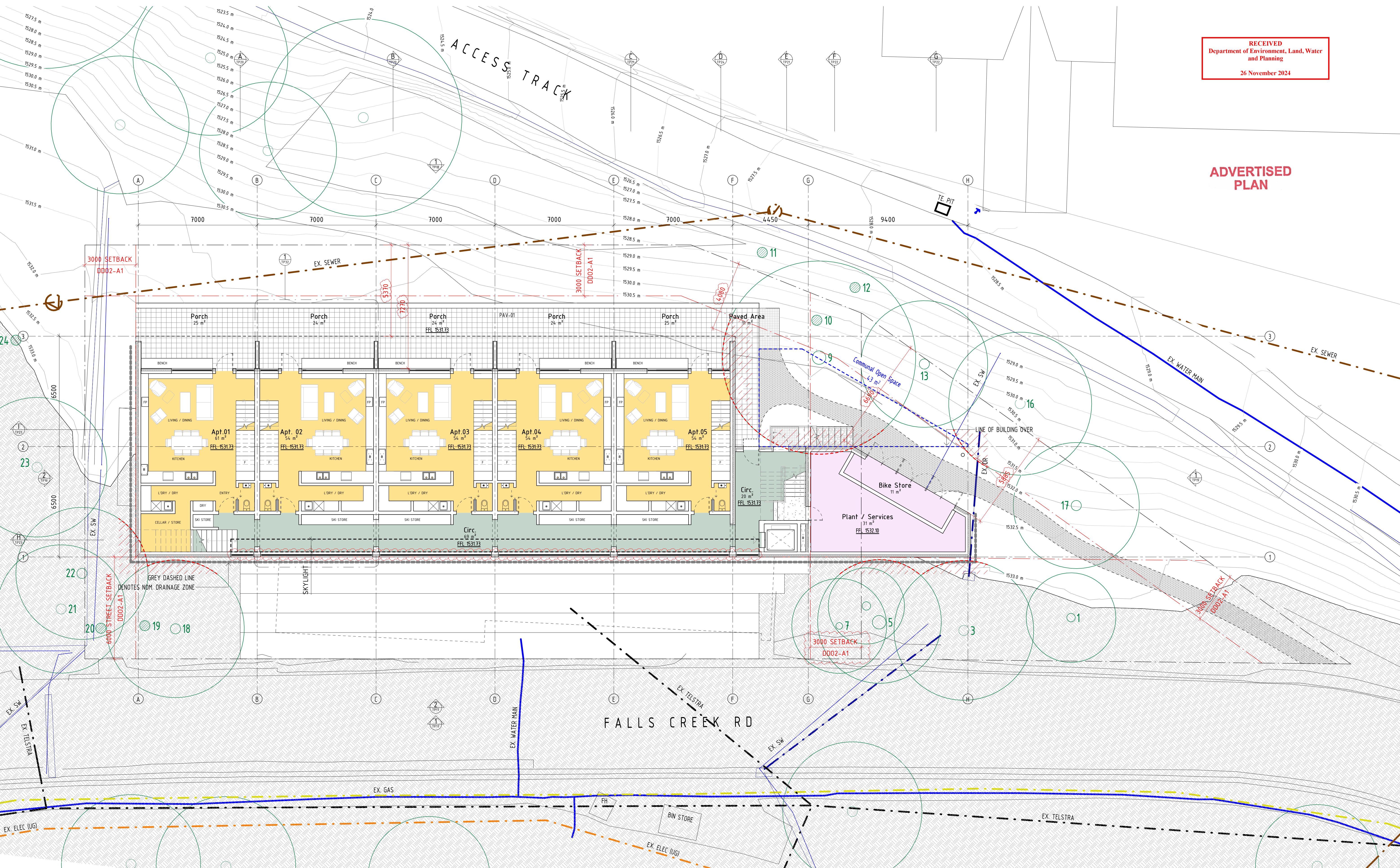


DD02-A1 - 3D DIAGRAM

ISSUES	24.07.2024	GENERAL NOTES Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.	RECEIVED Department of Environment, Land, Water and Planning 26 November 2024	NMBW NMBW Architecture Studio NMBW Pty Ltd ACN No. 679 825 488 2/74 Kerr Street Fitzroy Victoria 3065 Tel: +61 3 9608 7808 Email: nmbw@nmbw.com.au	SENDIT.ARCHI Sendit.Archi ABN 82 641 365 618 PO Box 624 Mount Brandy Victoria 3699 Tel: +61 3 9449 044 084 Email: andy@sendit.archi	6 FALLS CREEK RD  for CANZONERI FAMILY
- ISSUED FOR TOWN PLANNING				TP11	PROJECT No: 23 DATE: 24.07.2024 SCALE: 1 : 300@A1	DD02-A1 SUMMARY



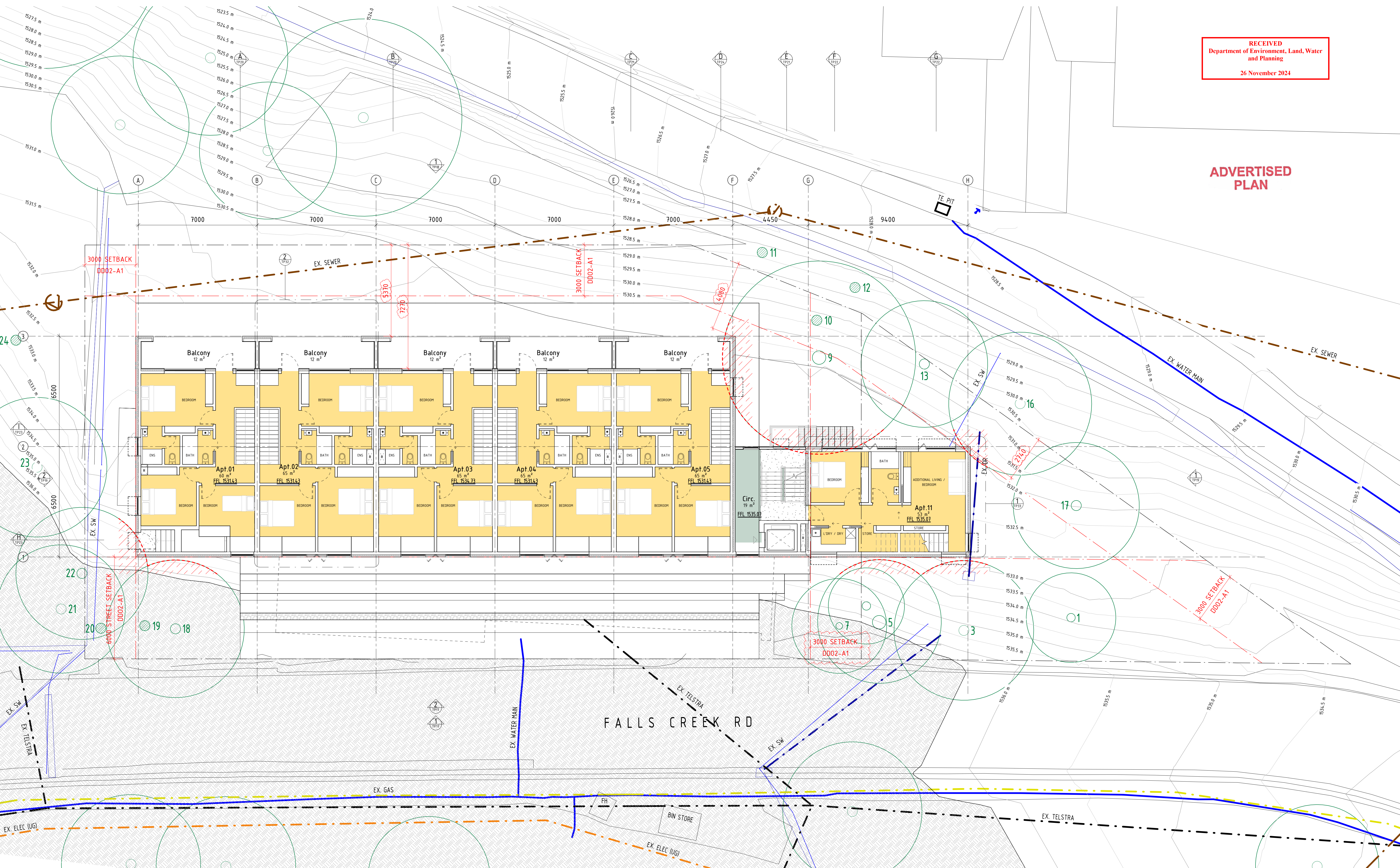
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ISSUES		GENERAL NOTES		LEGEND		SERVICES LEGEND		NMBW		SENDIT.ARCHI		6 FALLS CREEK RD	
ISSUED FOR TOWN PLANNING TOWN PLANNING RFI		24.07.2024 20.11.2024		CO-01 Precast Concrete STR-TM Structural Timber TC-01 Timber Cladding GL Glass FT-01 Facade Type 01 ST-01 Stone Wall ST-02 Gabion Wall		MC-01 Metal Cladding 01 MC-02 Metal Flat Sheet MD-01 Metal Deck 01 BA-01 Balustrade 01 MG-01 Metal Grating PAV-01 Permeable Paving WH Window (+Door) Hood		<div><div></div><div>DENOTES 1M ZONE FOR TREE PRUNING</div></div> <div>TELSTRA CABLE/ PIT SEWER DRAINAGE U/GROUND ELECTRICITY GAS MAIN WATER MAIN STORMWATER</div> <div>NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY</div>		<div>NMBW Architecture Studio NMBW Pty Ltd ACN No. 079 825 488 2 / 78 Kerr St, Apt 424 Fitzroy Victoria 3065 Tel: +61 3 9590 4400 Email: nmbw@nmbw.com.au</div> <div>Sendit.Arch ABN: 62 641 365 618 PO Box 424 Mount Beauty Victoria 3699 Tel: +61498 444 804 Email: andy@sendit.archi</div>		for CANZONERI FAMILY	
A								TP12		PROJECT No: 23 DATE: 20.11.2024 SCALE: As indicated@A1		GFL PLAN	



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20.11.2024

GENERAL NOTES

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LEGEND

CO-01	Precast Concrete	MC-01	Metal Cladding 01
STR-TM	Structural Timber	MC-02	Metal Flat Sheet
TC-01	Timber Cladding	MD-01	Metal Deck 01
GL	Glass	BA-01	Balustrade 01
FT-01	Facade Type 01	MG-01	Metal Grating
ST-01	Stone Wall	PAV-01	Permeable Paving
ST-02	Gabion Wall	WH	Window (+Door) Hood

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DENOTES 1M ZONE FOR TREE PRUNING

SERVICES LEGEND

TELSTRA CABLE/ PIT
SEWER
DRAINAGE
U/GROUND ELECTRICITY
GAS MAIN
WATER MAIN
STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

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6 FALLS CREEK RD

for CANZONERI FAMILY

TP13

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PROJECT No: 23  
DATE: 20.11.2024  
SCALE: As indicated@A1

1FL PLAN





24.07.2024  
20.11.2024

dimensions and  
report any  
discrepancies to  
the Architect  
prior to the  
commencement of  
work on site.  
Read only figured  
dimensions - DO  
NOT SCALE FROM  
DRAWINGS.

CO-01	Precast Concrete	MC-01	Metal Cladding 01
STR-TM	Structural Timber	MC-02	Metal Flat Sheet
TC-01	Timber Cladding	MD-01	Metal Deck 01
GL	Glass	BA-01	Balustrade 01
FT-01	Facade Type 01	MG-01	Metal Grating
ST-01	Stone Wall	PAV-01	Permeable Paving
ST-02	Gabion Wall	WH	Window (+Door) Hood

MC-01	Metal Cladding 01
MC-02	Metal Flat Sheet
MD-01	Metal Deck 01
BA-01	Balustrade 01
MG-01	Metal Grating
PAV-01	Permeable Paving
WH	Window (+Door) Hood

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DENOTES 1M ZONE  
FOR TREE PRUNING

### SERVICES LEGEND

— . — . — . — . —	TELSTRA CABLE/ PIT
— . — . — . — . —	SEWER
— . — . — . — . —	DRAINAGE
— . — . — . — . —	U/GROUND ELECTRICITY
— . — . — . — . —	GAS MAIN
—————	WATER MAIN
—————	STORMWATER

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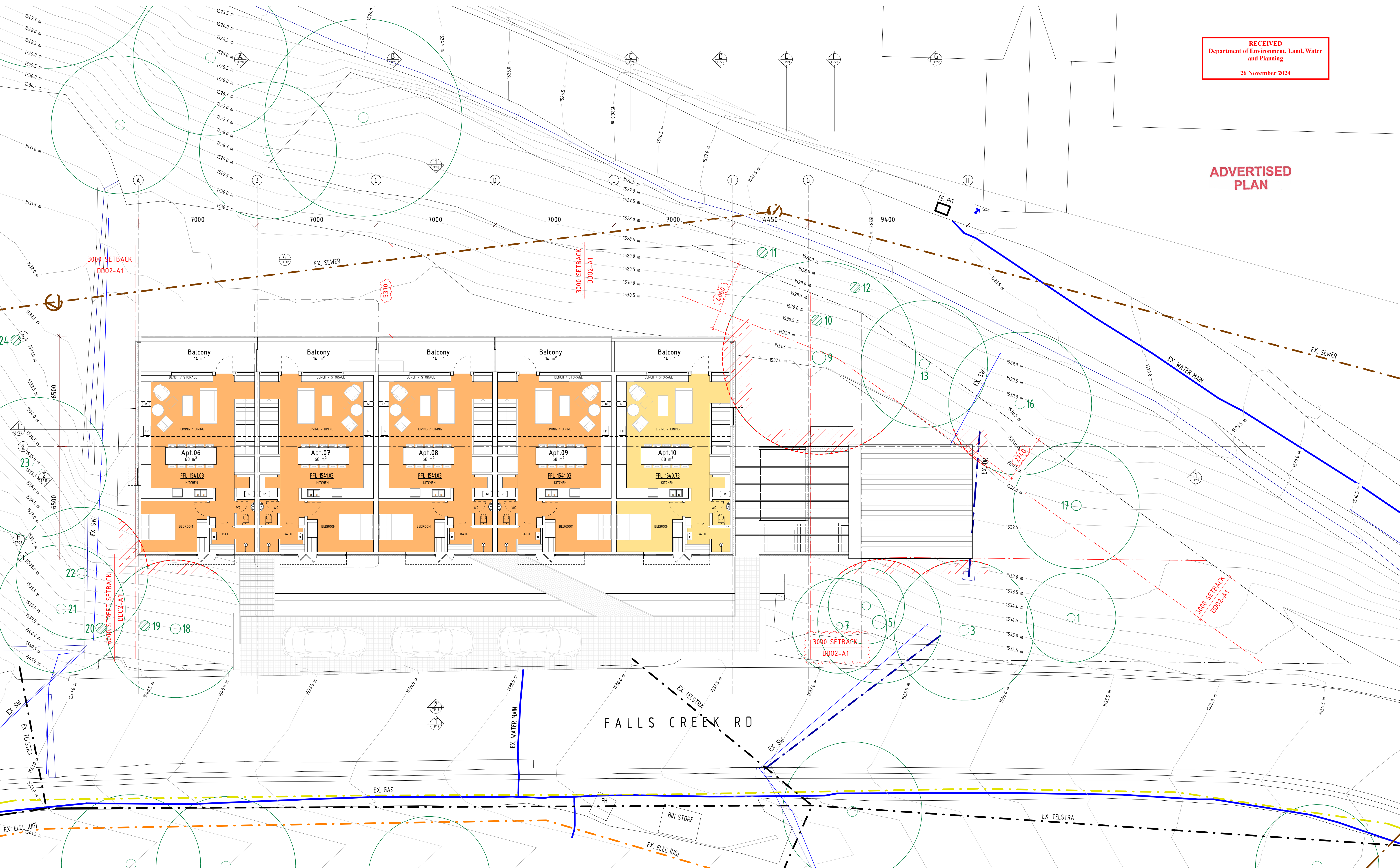
2FL (STREET) PLAN

PROJECT No: 23  
DATE: 20.11.2024  
SCALE: As indicated@A1

2FL (STREET) PLAN



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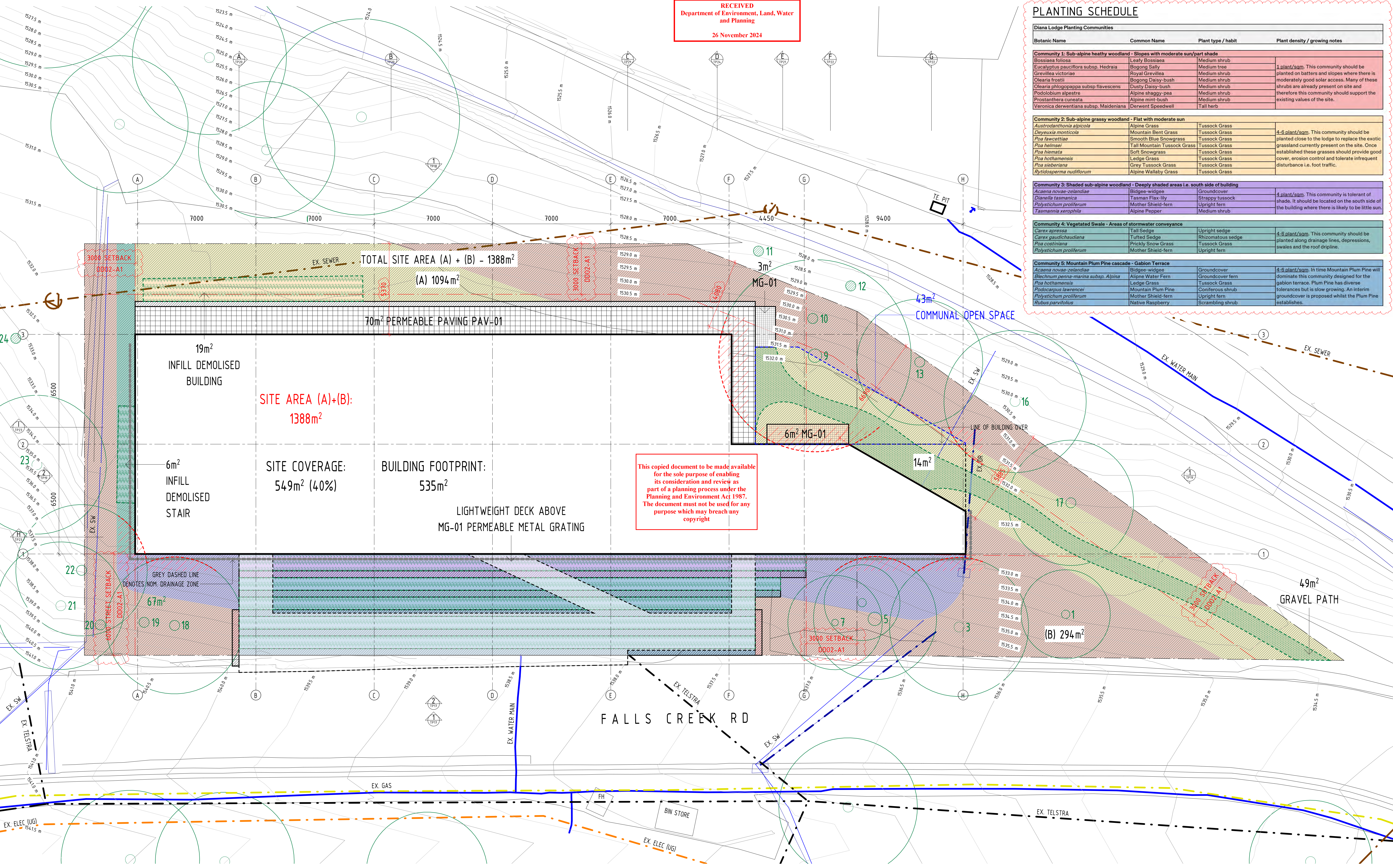


<b>ISSUES</b> <div><div></div><div>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</div></div>	<b>GENERAL NOTES</b> 24.07.2024 20.11.2024 Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions – DO NOT SCALE FROM DRAWINGS.	<b>LEGEND</b> CO-01 Precast Concrete STR-TM Structural Timber TC-01 Timber Cladding GL Glass FT-01 Facade Type 01 ST-01 Stone Wall ST-02 Gabion Wall MC-01 Metal Cladding 01 MC-02 Metal Flat Sheet MD-01 Metal Deck 01 BA-01 Balustrade 01 MG-01 Metal Grating PAV-01 Permeable Paving WH Window (+Door) Hood	<div><div>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</div><div><div></div><div>Denotes 1m zone for tree pruning</div></div></div>	<b>SERVICES LEGEND</b> TELSTRA CABLE/ PIT SEWER DRAINAGE U/GROUND ELECTRICITY GAS MAIN WATER MAIN STORMWATER NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY	<b>NMBW</b> NMBW Architecture Studio NMBW Pty Ltd ACN No. 079 825 488 2/ 74 Kerr Street Fitzroy Victoria 3060 Tel: +61 3 9808 7500 Email: nmbw@nmbw.com.au <b>SENDIT.ARCHI</b> Sendit.Archi ABN 82 641 365 618 PO Box 424 Mount Beauty Victoria 3699 Tel: +61 3 499 344 084 Email: andy@sendit.archi	<b>6 FALLS CREEK RD</b>  <b>for CANZONERI FAMILY</b>  <b>TP15</b> PROJECT No: 23 DATE: 20.11.2024 SCALE: As indicated@A1 <b>3FL PLAN</b>
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PLANTING SCHEDULE

Diana Lodge Planting Communities			
Botanic Name	Common Name	Plant type / habit	Plant density / growing notes
<b>Community 1: Sub-alpine heathy woodland - Slopes with moderate sun/part shade</b>			
Bossiaea foliosa	Leafy Bossiaea	Medium shrub	1 plant/sqm. This community should be planted on batters and slopes where there is moderately good solar access. Many of these shrubs are already present on site and therefore this community should support the existing values of the site.
Eucalyptus pauciflora subsp. Hedraia	Bogong Sally	Medium tree	
Grevillea victoriae	Royal Grevillea	Medium shrub	
Olearia frostii	Bogong Daisy-bush	Medium shrub	
Olearia phlogopappa subsp. flavescens	Dusty Daisy-bush	Medium shrub	
Podolobium alpestre	Alpine shaggy-pea	Medium shrub	
Prostanthera cuneata	Alpine mint-bush	Medium shrub	
Veronica derwentiana subsp. Maideniana	Derwent Speedwell	Tall herb	
<b>Community 2: Sub-alpine grassy woodland - Flat with moderate sun</b>			
Austrodanthonia alpicola	Alpine Grass	Tussock Grass	4-6 plant/sqm. This community should be planted close to the lodge to replace the exotic grassland currently present on the site. Once established these grasses should provide good cover, erosion control and tolerate infrequent disturbance i.e. foot traffic.
Deyeuxia monticola	Mountain Bent Grass	Tussock Grass	
Poa lawcettiae	Smooth Blue Snowgrass	Tussock Grass	
Poa helmsei	Tall Mountain Tussock Grass	Tussock Grass	
Poa hiemata	Soft Snowgrass	Tussock Grass	
Poa hothamensis	Ledge Grass	Tussock Grass	
Poa sieberiana	Grey Tussock Grass	Tussock Grass	
Rytidosperma nudiflorum	Alpine Wallaby Grass	Tussock Grass	
<b>Community 3: Shaded sub-alpine woodland - Deeply shaded areas i.e. south side of building</b>			
Acmena novae-zelandiae	Bidgee-widgee	Groundcover	4 plant/sqm. This community is tolerant of shade. It should be located on the south side of the building where there is likely to be little sun.
Dianella tasmanica	Tasman Flax-lily	Strappy tussock	
Polystichum profliferum	Mother Shield-fern	Upright fern	
Tasmanina xerophila	Alpine Pepper	Medium shrub	
<b>Community 4: Vegetated Swale - Areas of stormwater conveyance</b>			
Carex appressa	Tall Sedge	Upright sedge	4-6 plant/sqm. This community should be planted along drainage lines, depressions, swales and the roof dripline.
Carex gaudichaudiana	Tufted Sedge	Rhizomatous sedge	
Poa costiniana	Prickly Snow Grass	Tussock Grass	
Polystichum profliferum	Mother Shield-fern	Upright fern	
<b>Community 5: Mountain Plum Pine cascade - Gabion Terrace</b>			
Acmena novae-zelandiae	Bidgee-widgee	Groundcover	4-6 plant/sqm. In time Mountain Plum Pine will dominate this community designed for the gabion terrace. Plum Pine has diverse tolerances but is slow growing. An interim groundcover is proposed whilst the Plum Pine establishes.
Blechnum penna-marina subsp. Alpina	Alpine Water Fern	Groundcover fern	
Poa hothamensis	Ledge Grass	Tussock Grass	
Podocarpus lawrencei	Mountain Plum Pine	Coniferous shrub	
Polystichum profliferum	Mother Shield-fern	Upright fern	
Rubus parvifolius	Native Raspberry	Scrambling shrub	



ISSUES

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GENERAL NOTES

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LANDSCAPE LEGEND + PERMEABLE AREAS

535m <sup>2</sup>	BUILDING FOOTPRINT	150m <sup>2</sup>	PLANTING / GARDEN BED	9m <sup>2</sup>	METAL GRATING
70m <sup>2</sup>	PERMEABLE PAVING	75m <sup>2</sup>	GABION / STONE WALLS	49m <sup>2</sup>	GRAVEL PATH
		500m <sup>2</sup>	RETAIN EX. / POSSIBLE PLANTING		

TOTAL SITE AREA: 1388m<sup>2</sup>  
PERMEABLE AREA: 853m<sup>2</sup>  
TOTAL 61.5%

SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

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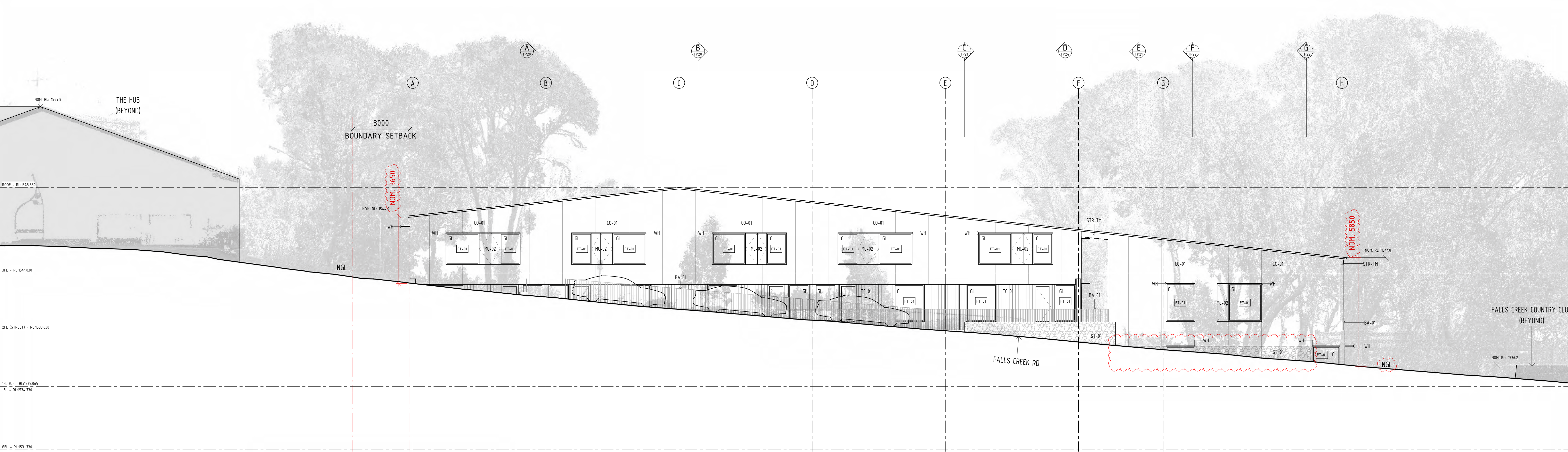
6 FALLS CREEK RD  
for CANZONERI FAMILY

TP16

PROJECT No: 23  
DATE: 20.11.2024  
SCALE: As indicated@A1

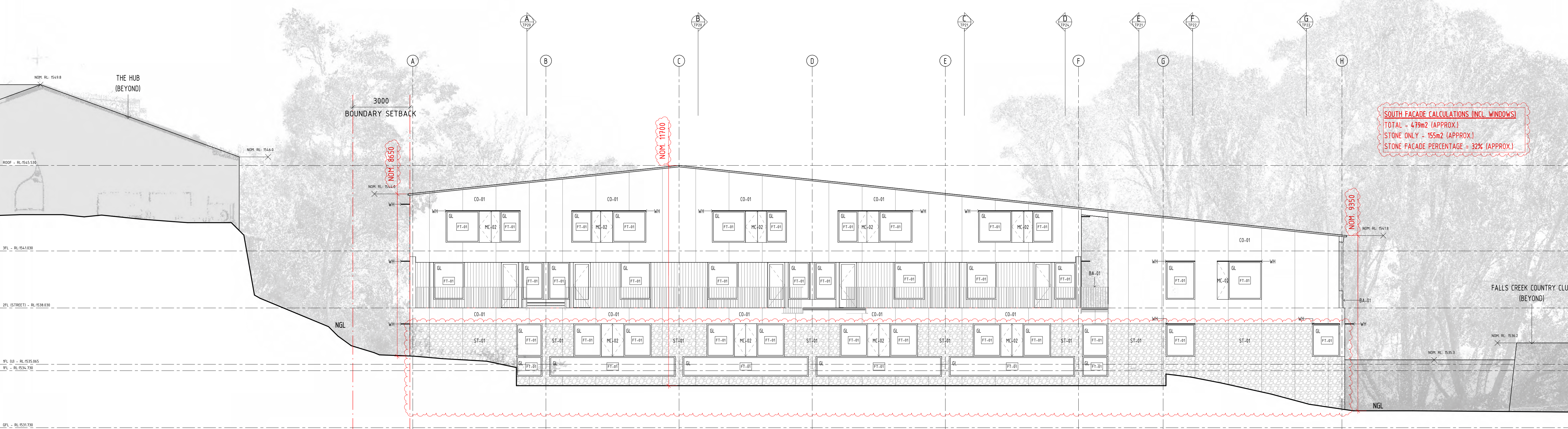
LANDSCAPE PLAN





1 SOUTH (STREET) ELEVATION  
SS34 1:100

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2 SOUTH ELEVATION  
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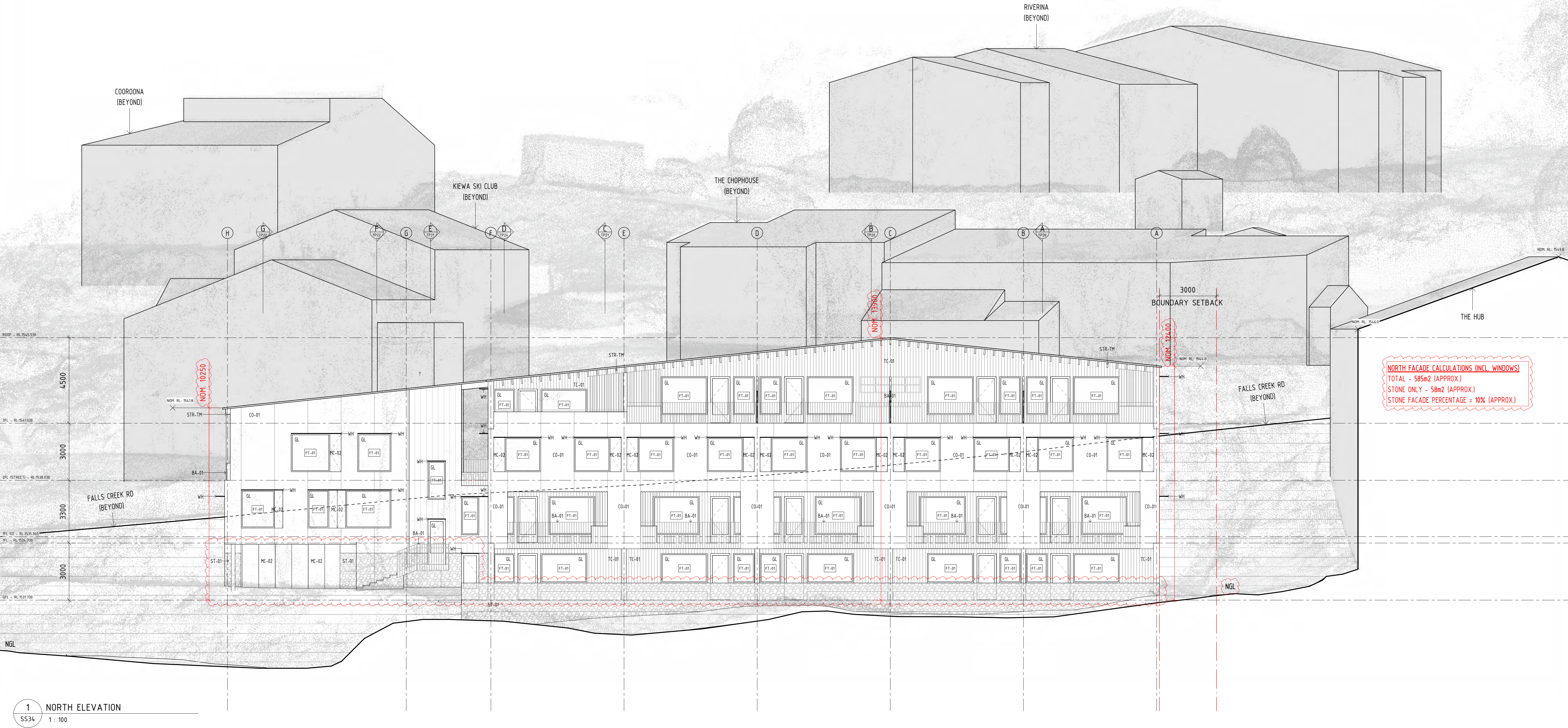
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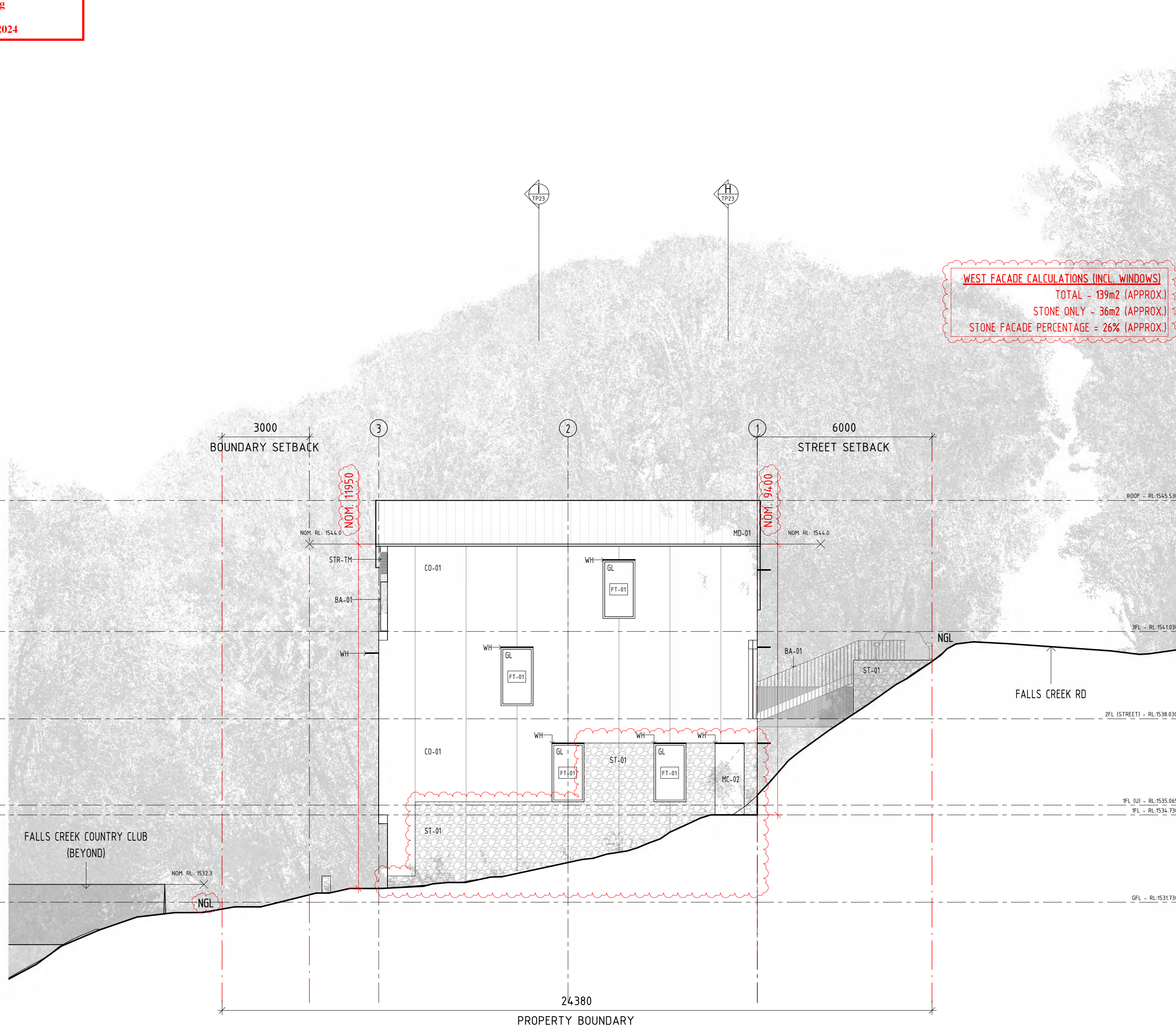
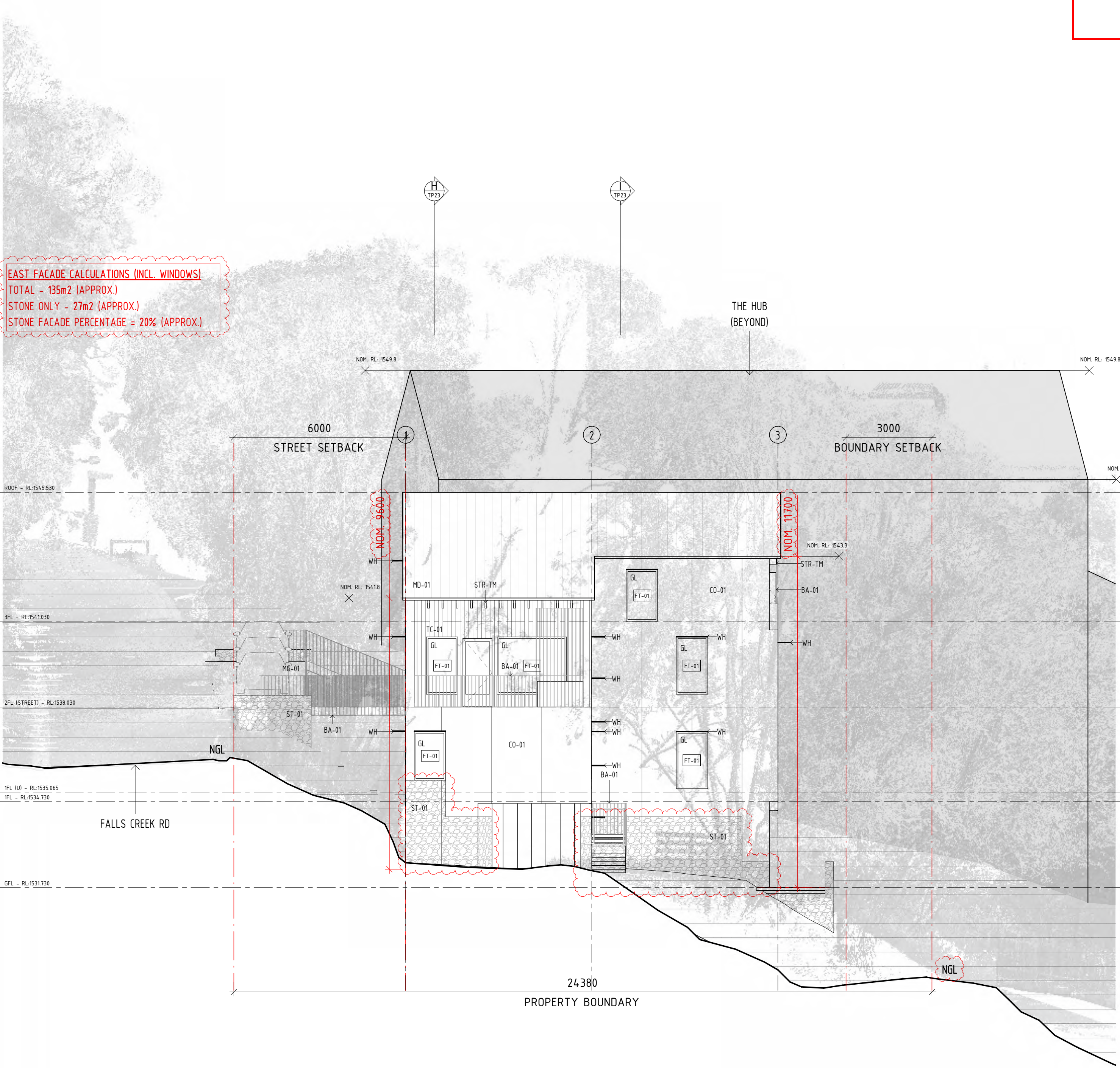


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EAST FACADE CALCULATIONS (INCL. WINDOWS)  
TOTAL - 135m2 (APPROX.)  
STONE ONLY - 27m2 (APPROX.)  
STONE FACADE PERCENTAGE = 20% (APPROX.)

WEST FACADE CALCULATIONS (INCL. WINDOWS)  
TOTAL - 139m2 (APPROX.)  
STONE ONLY - 36m2 (APPROX.)  
STONE FACADE PERCENTAGE = 26% (APPROX.)



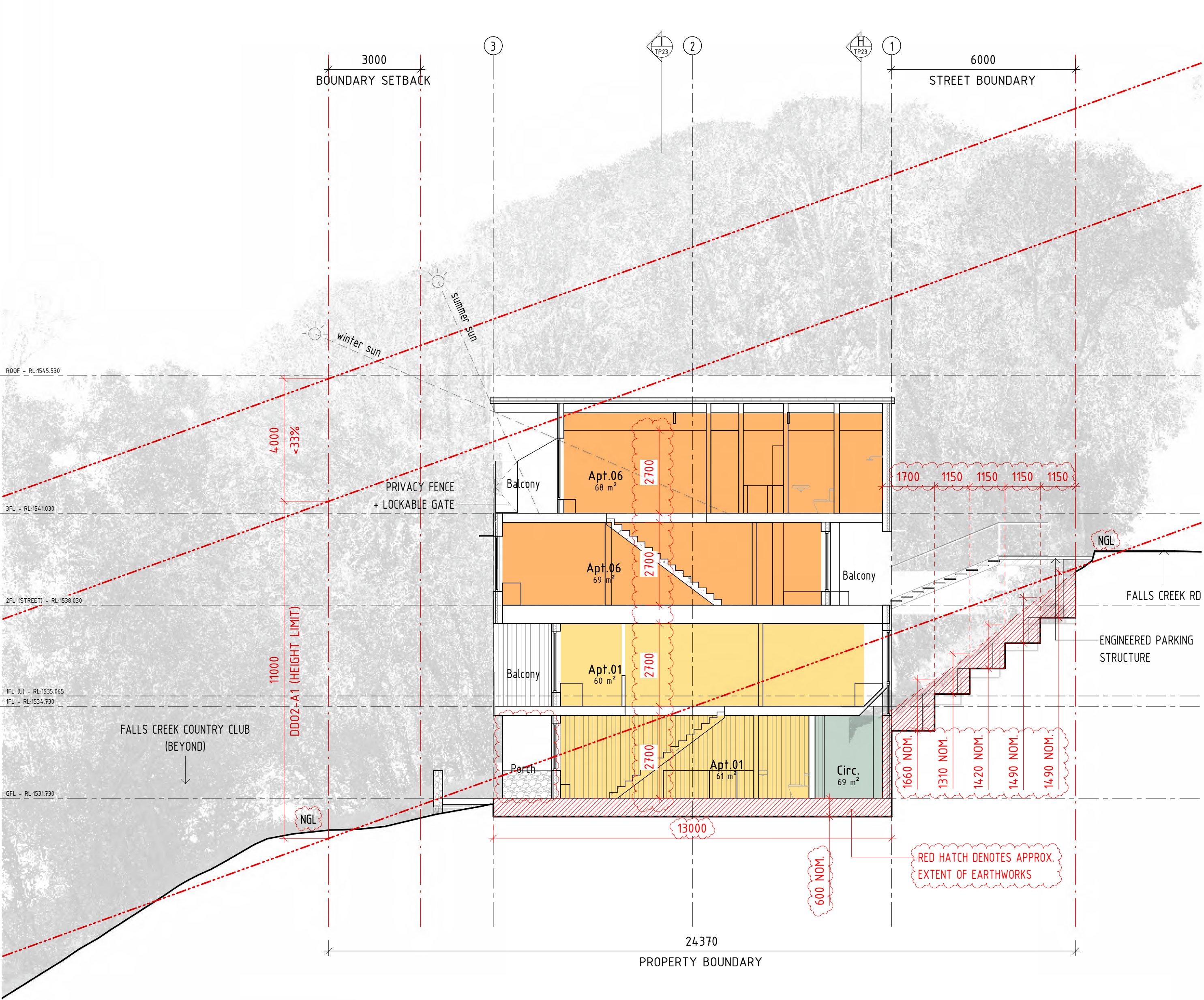
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ISSUES		GENERAL NOTES		LEGEND		NMBW		SENDIT.ARCHI		6 FALLS CREEK RD	
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TP19		PROJECT No: 23		DATE: 20.11.2024		SCALE: 1 : 100@A1		ELEVATIONS			

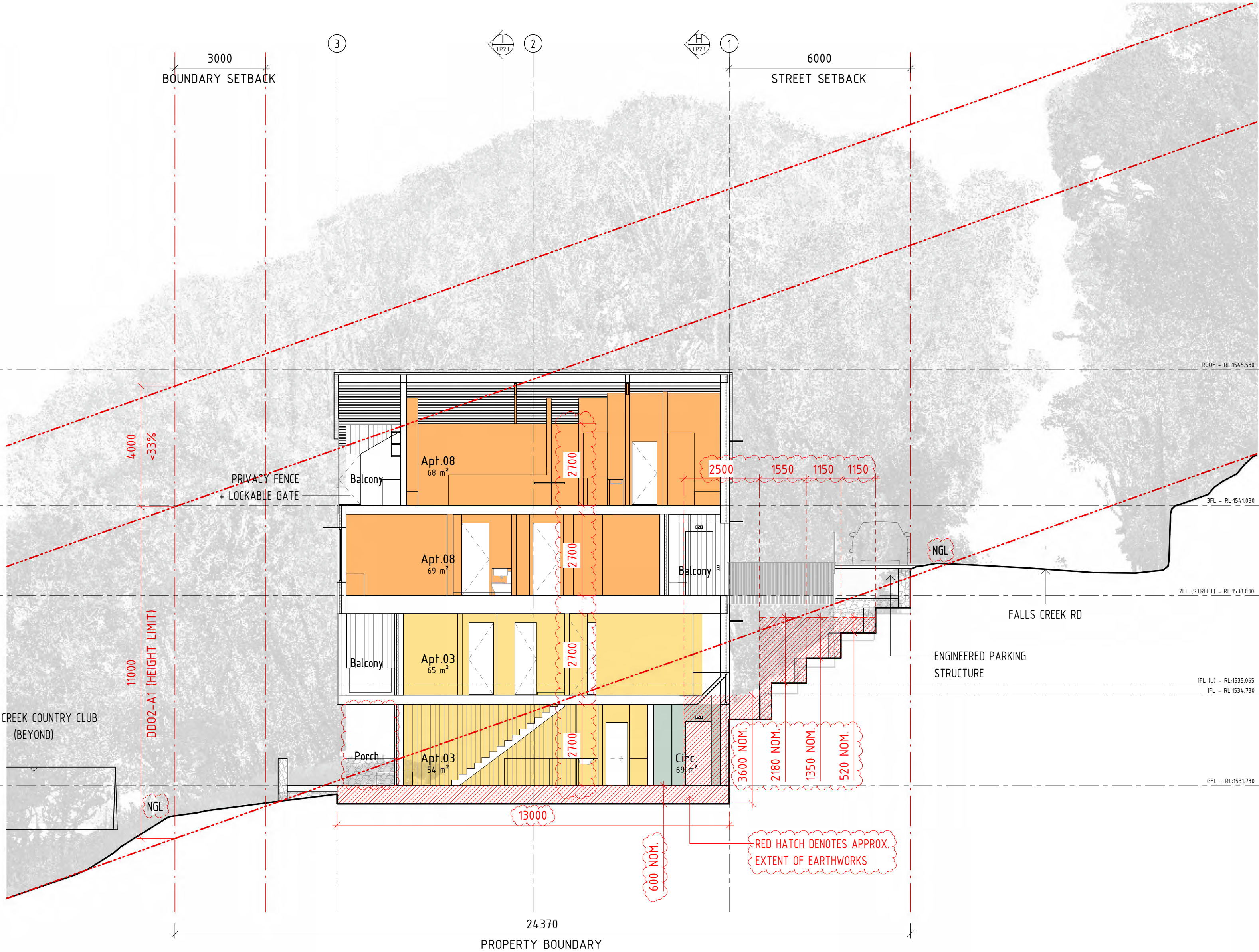


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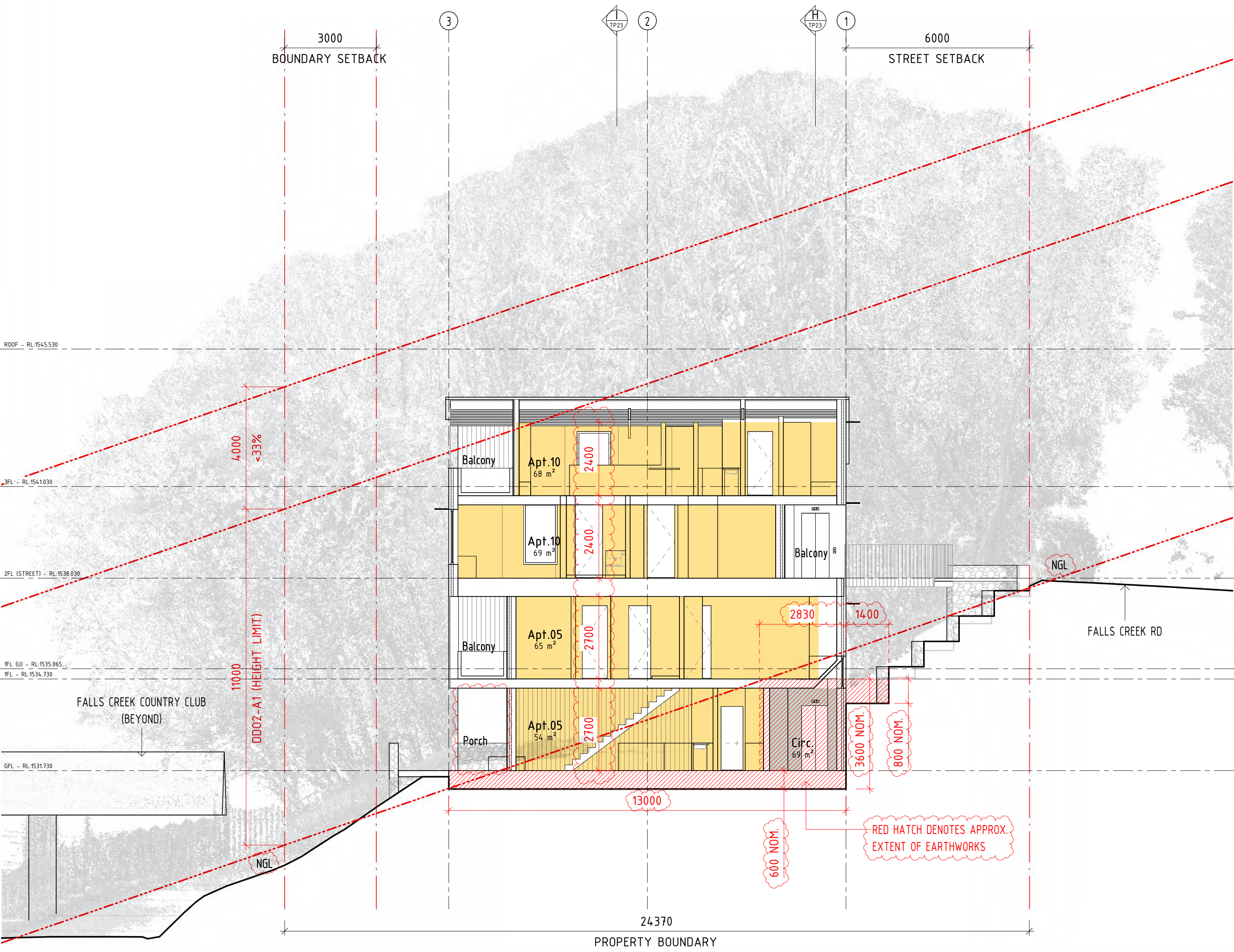
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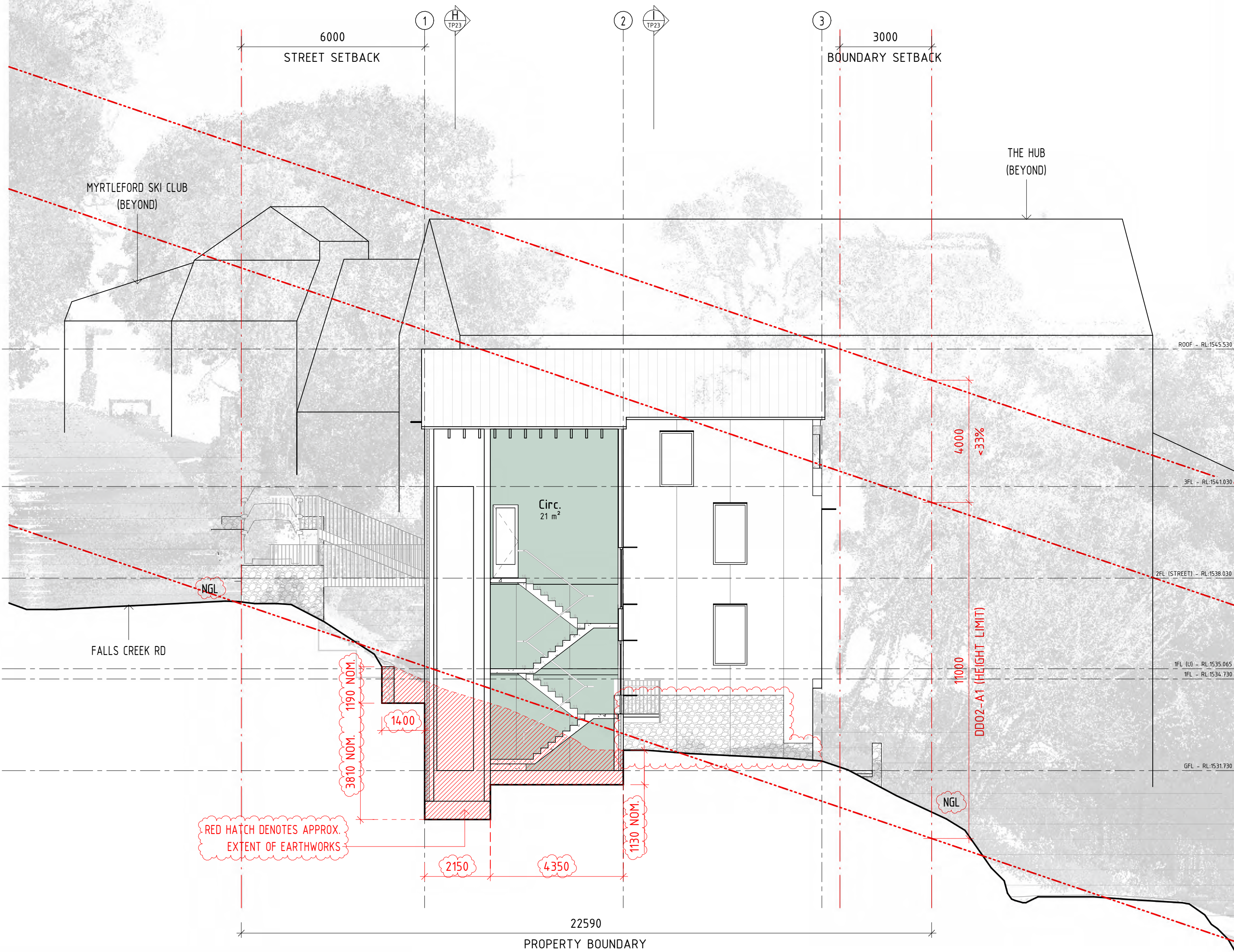
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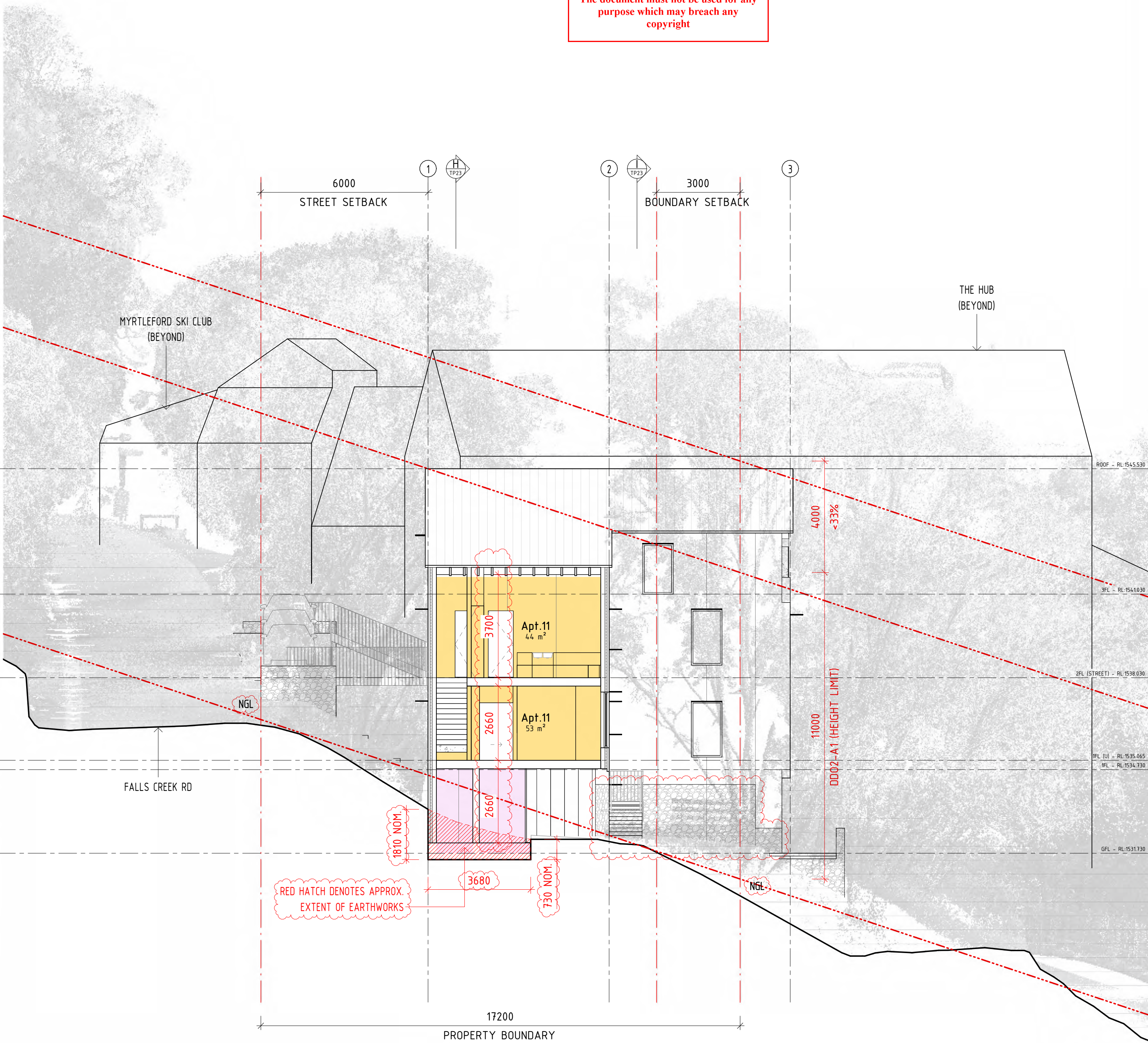
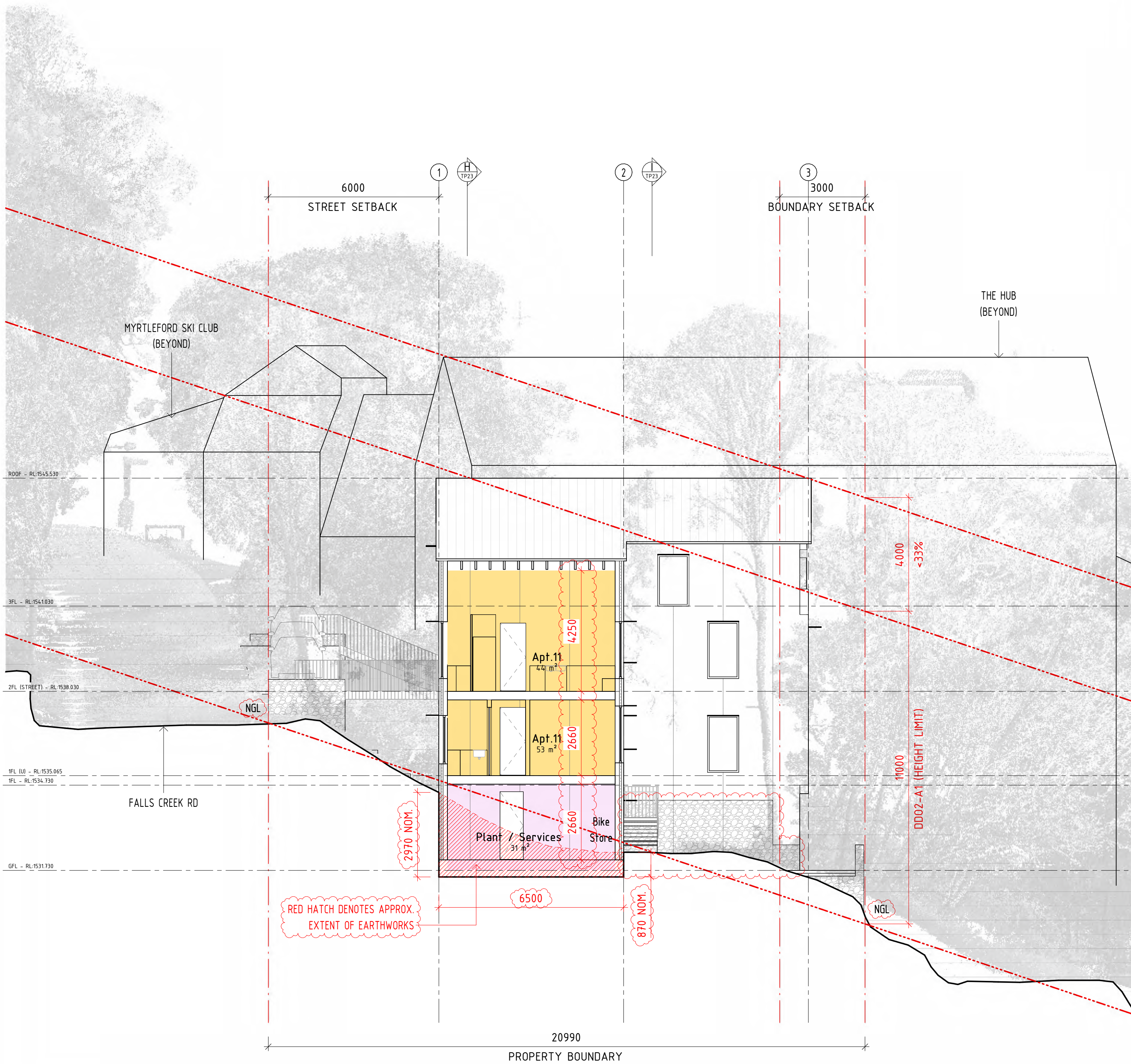
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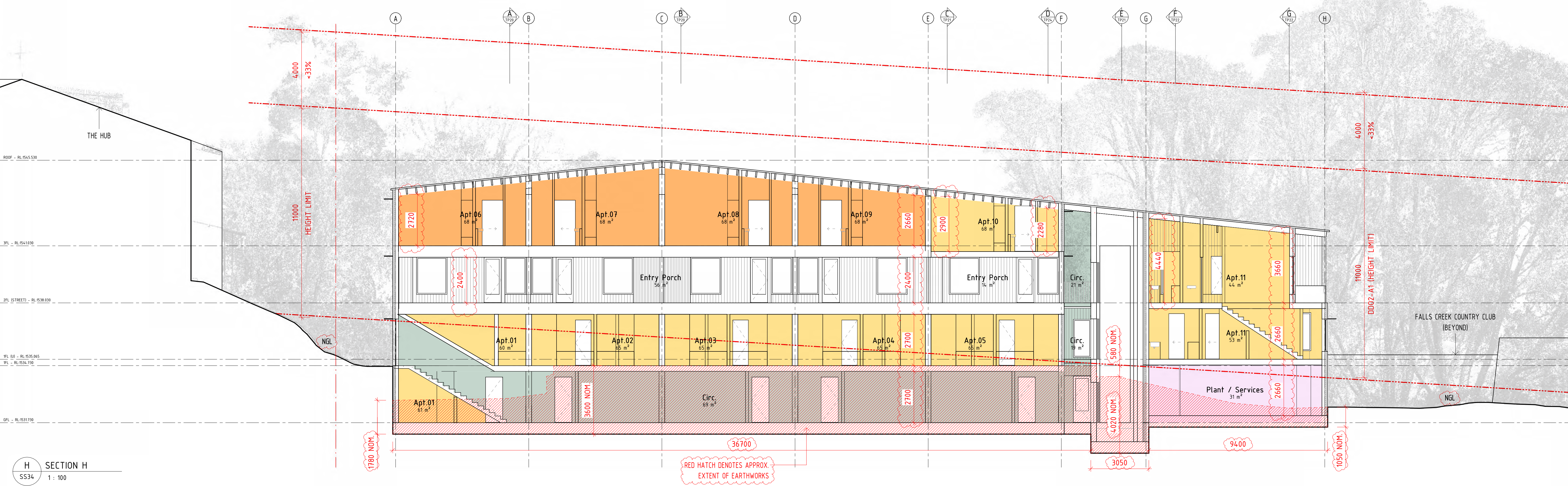
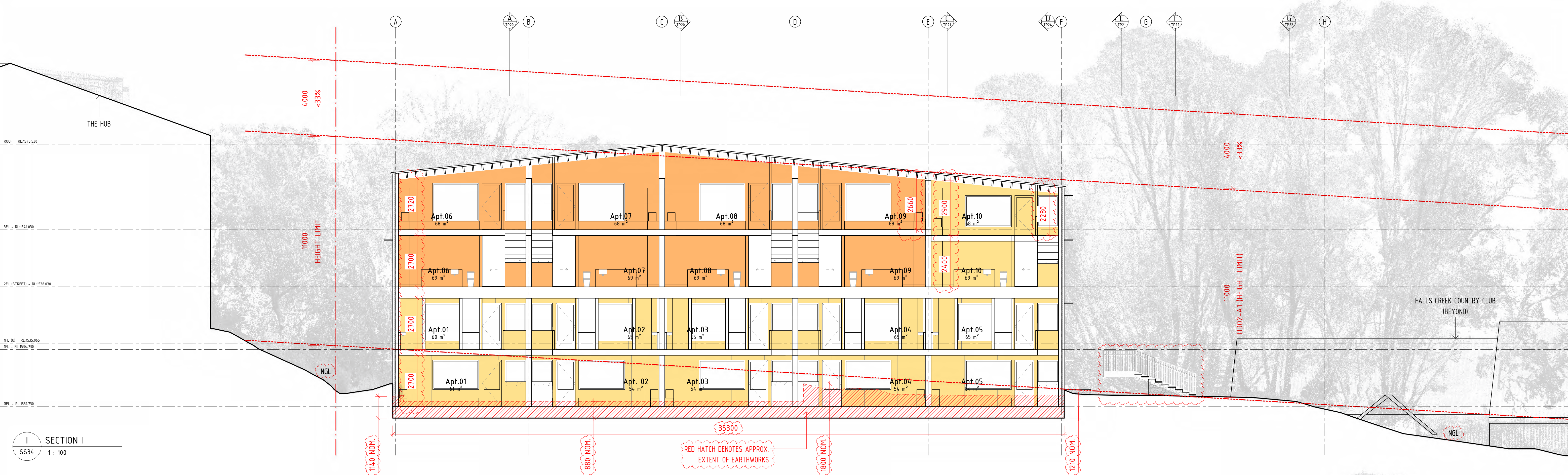
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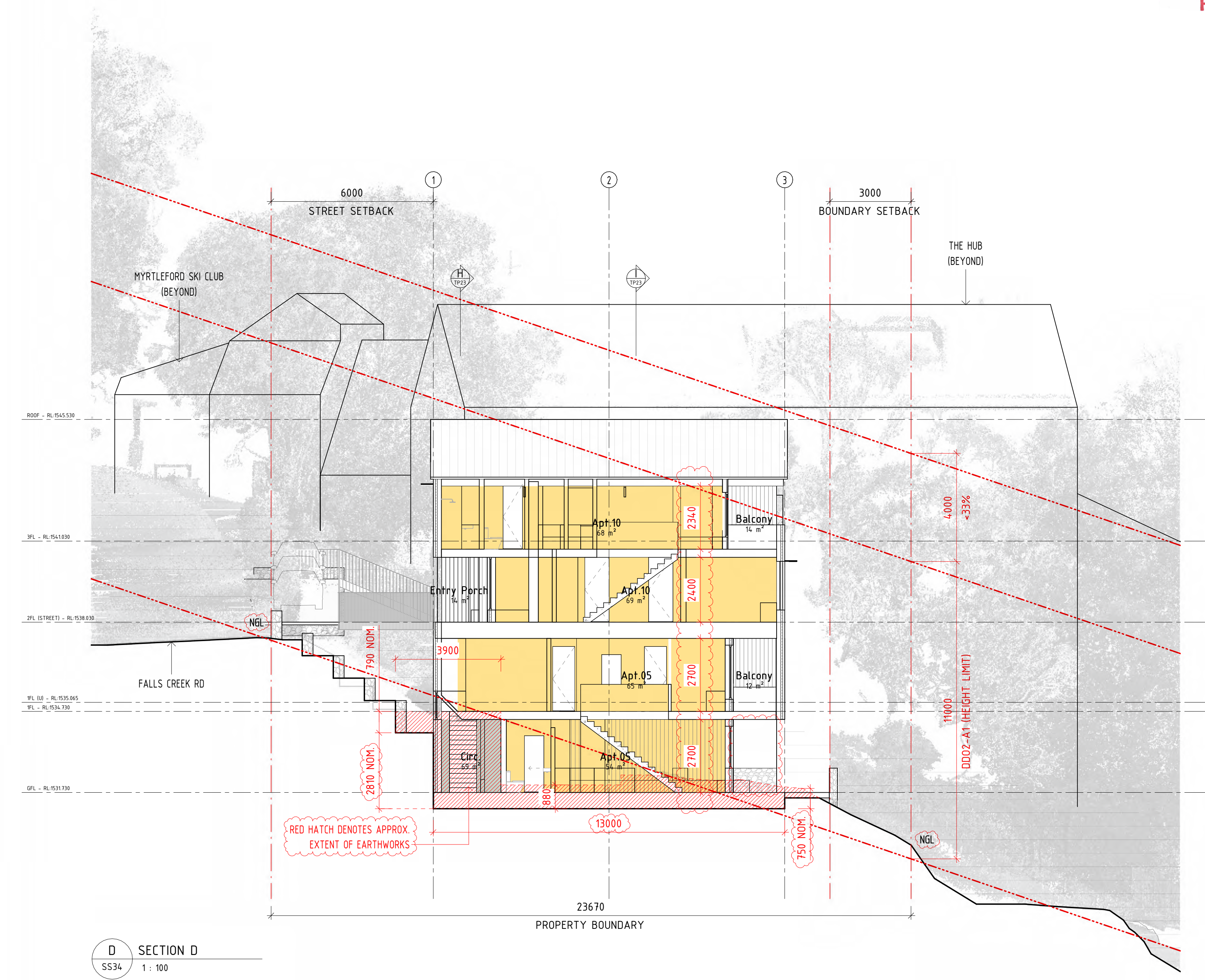




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TP23		PROJECT No: 23								TP23		PROJECT No: 23		SECTIONS	
A		DATE: 20.11.2024								A		DATE: 20.11.2024			
		SCALE: 1 : 100@A1										SCALE: 1 : 100@A1			



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CO-01

PRECAST CONCRETE



TEXTURED INSULATED CONCRETE PANELS  
Timber Board Off-Form Pattern (Vertical Joints)

TC-01

VERTICAL CLADDING



VERTICAL CLADDING  
Recycled Wood & Plastic (Modwood or similar)  
Colour: Black Bean (or similar)

GL

GLASS



CLEAR GLAZING  
Double Glazing to Insulated Areas  
(in accordance with AS 1288)

ST-01

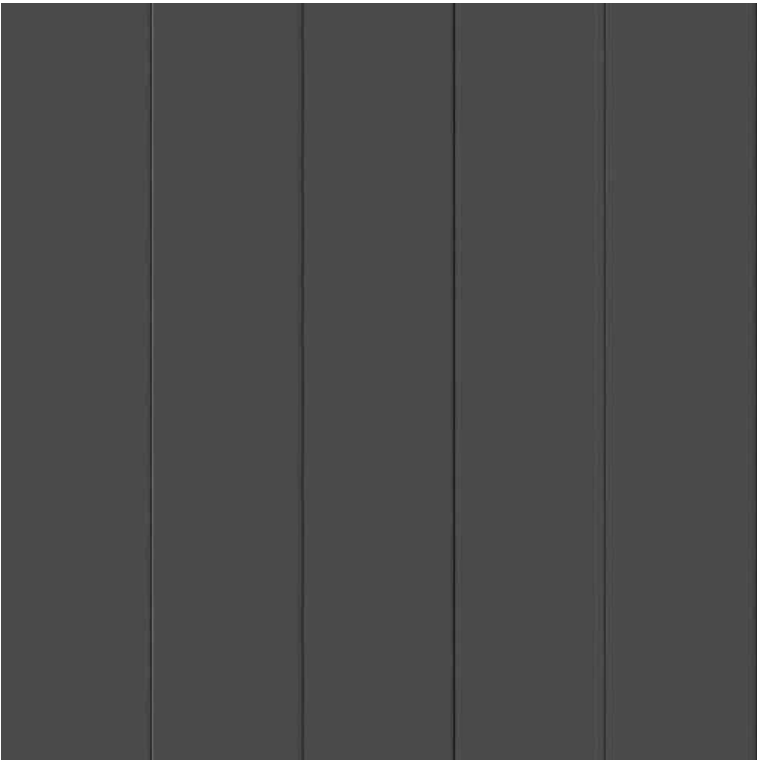
STONE WALL



STONE WALL  
Hornfels Rock Mawsons Quarry (or similar)

MC-01

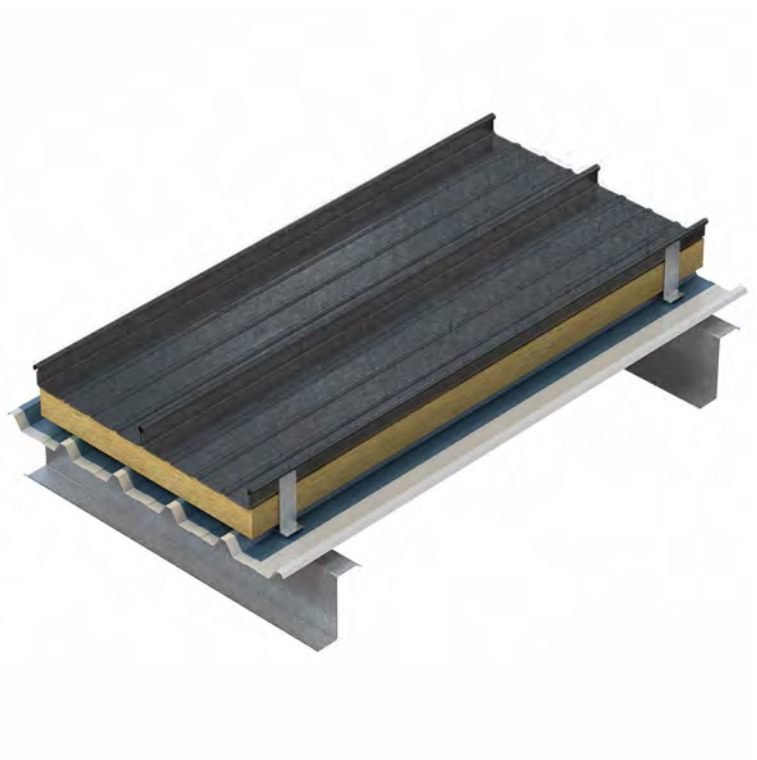
METAL CLADDING 01



METAL WALL CLADDING  
Longline 305 (or similar profile)  
Colour: Monument Matt (or similar)

MD-01

METAL DECK 01



METAL ROOF DECKING  
Longline 305 (or similar profile)  
Colour: Monument Matt (or similar)

BA-01

BALUSTRADE 01



METAL BALUSTRADES  
Hot Dip Galvanised

STR-TM

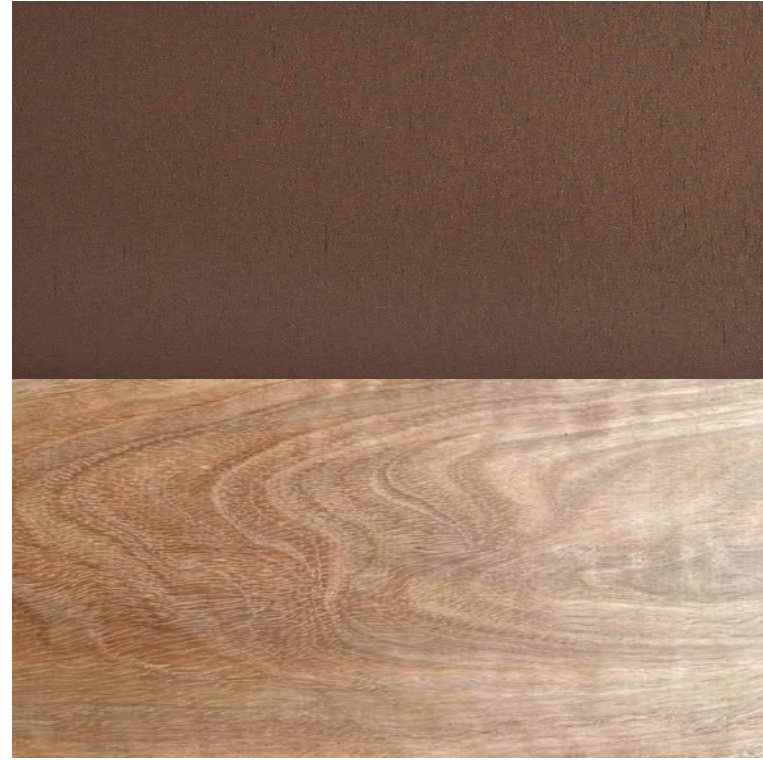
STRUCTURAL PURLINS



STRUCTURAL TIMBER PURLINS w/ GALVANISED FLAT SHEET FLASHINGS  
Australian Class 1 Hardwood - 65x295 Spotted Gum (or similar)  
Note: all external purlins flashed in galvanised flat sheet

FT-01

FACADE TYPE 01



THERMALLY BROKEN ALUMINIUM WINDOW FRAMES  
FT-01 (Double Glazed Unit)  
Timber Internal, Aluminium External  
Colour: Bronze Anodised Finish (or similar)

ST-02

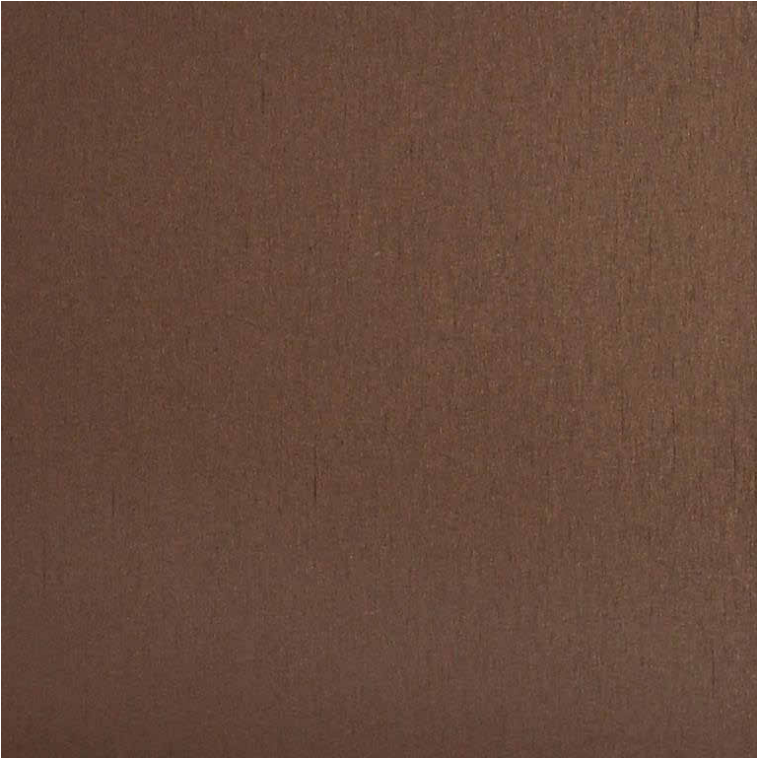
GABION WALL



GABION WALL  
Hornfels Rock Mawsons Quarry (or similar)

MC-02

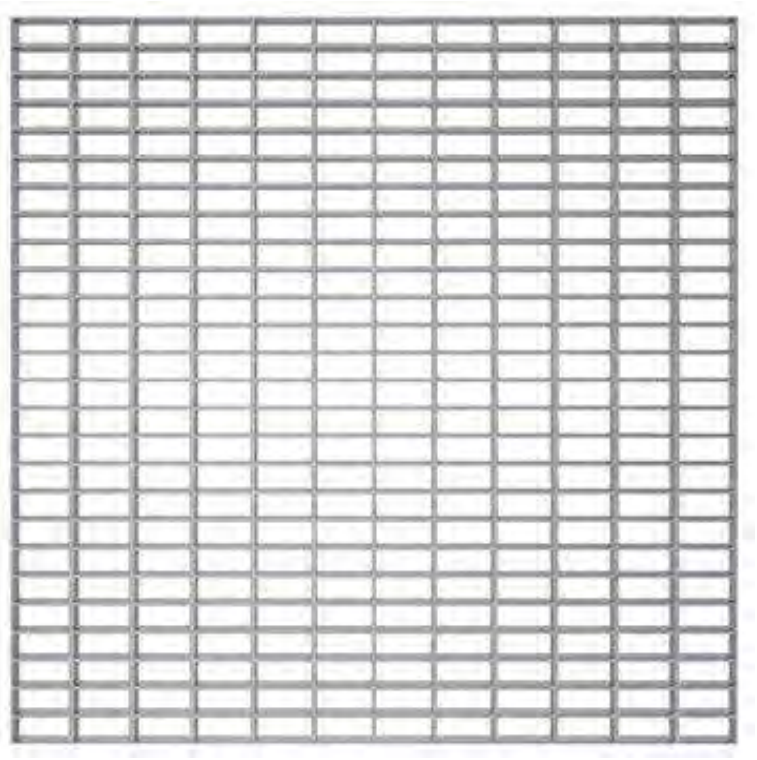
METAL FLAT SHEET



FLAT ALUMINIUM SHEET (SOLID CORE) WINDOW SHUTTERS + HOODS  
Colour: Bronze Anodised Finish (or similar)

MG-01

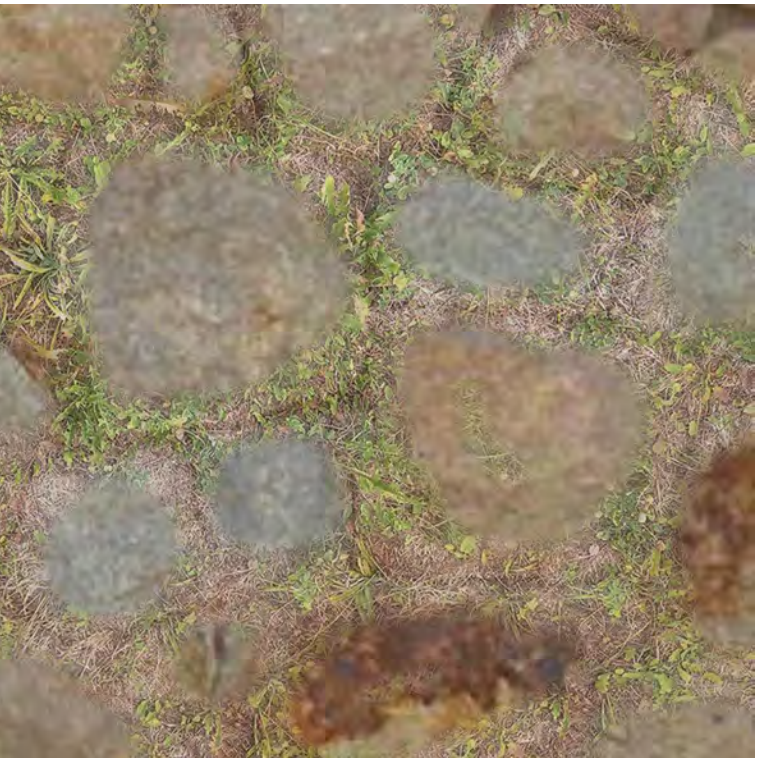
METAL GRATING



METAL GRATING, EXTERNAL STAIRS AND CROSSINGS  
Hot Dip Galvanised, Webforge (or similar)

PAV-01

PERMEABLE PAVING



PERMEABLE STONE PAVING  
Glenrowan Granite Stone (or similar)

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24.07.2024		Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions – DO NOT SCALE FROM DRAWINGS.	CO-01 Precast Concrete STR-TM Structural Timber TC-01 Timber Cladding GL Glass FT-01 Facade Type 01 ST-01 Stone Wall ST-02 Gabion Wall MC-01 Metal Cladding 01 MC-02 Metal Flat Sheet MD-01 Metal Deck 01 BA-01 Balustrade 01 MG-01 Metal Grating PAV-01 Permeable Paving WH Window (+Door) Hood	NMBW Architecture Studio NMBW Pty Ltd ACN No. 079 825 488 2/ 78 Kerr Street Fitzroy Victoria 3065 Tel: +61 3 9408 7888 Email: nmbw@nmbw.com.au	Sendit.Archi ABN 82 641 365 618 PO Box 624 Mount Beauty Victoria 3699 Tel: +61 3 4469 044 084 Email: andy@sendit.archi	for CANZONERI FAMILY
TP25		PROJECT No: 23	DATE: 24.07.2024		PROPOSED MATERIALS	
-		SCALE:	@A1			



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VIEW FROM FALLS CREEK RD LOOKING NORTHEAST



VIEW FROM FALLS CREEK RD LOOKING SOUTHWEST



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VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH ENTRY



VIEW FROM 'THE HUB' LOOKING EAST TOWARDS FALLS CREEK RD (BEYOND)

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					TP26	PROJECT No: 23			EX./DEMO - 3D VIEWS	
						DATE: 20.11.2024				
						SCALE: @A1				



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VIEW FROM FALLS CREEK RD LOOKING NORTHEAST



VIEW FROM FALLS CREEK RD LOOKING SOUTHWEST

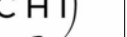
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VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH ENTRY



VIEW FROM 'THE HUB' LOOKING EAST TOWARDS FALLS CREEK RD (BEYOND)

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<div><div>-</div><div>ISSUED FOR TOWN PLANNING</div><div>TOWN PLANNING RFI</div></div>	<div>24.07.2024</div> <div>20.11.2024</div>	<div>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions – DO NOT SCALE FROM DRAWINGS.</div>	for CANZONERI FAMILY			
<div><div>A</div><div>TP27</div></div>	<div>PROJECT No:</div> <div>DATE:</div> <div>SCALE:</div>	<div>23</div> <div>20.11.2024</div> <div>@A1</div>	3D VIEWS			





VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH 'THE HUB' AND DIANA LODGE



VIEW BELOW NEW ENTRY PLATFORM (FALLS CREEK RD) LOOKING SOUTHWEST TOWARD GABION WALL LANDSCAPING

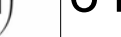
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VIEW FROM 'ADJACENT PARCEL' ACCEESS PATH LOOKING SOUTHWEST (SUMMER ACCESS)



VIEW FROM COUNTRY CLUB LOOKING SOUTH

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<div><div>A</div><div>ISSUED FOR TOWN PLANNING</div><div>TOWN PLANNING RFI</div></div>	<div><div>24.07.2024</div><div>20.11.2024</div></div>	<div>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions – DO NOT SCALE FROM DRAWINGS.</div>			<div><div>NMBW Architecture Studio</div><div>NMBW Pty Ltd ACN No. 679 825 488</div><div>2 / 74 Kerr Street</div><div>Fitzroy Victoria 3065</div><div>Tel: +61 3 9498 7808</div><div>Email: nmbw@nmbw.com.au</div></div> <div><div>Sendit.Archi</div><div>ABN 82 641 365 618</div><div>PO Box 424</div><div>Mount Seaby Victoria 3699</div><div>Tel: +61489 544 084</div><div>Email: andy@sendit.archi</div></div>	for CANZONERI FAMILY	
TP28		PROJECT No: 23		<div>A</div>	DATE: 20.11.2024		3D VIEWS
		SCALE: @A1					



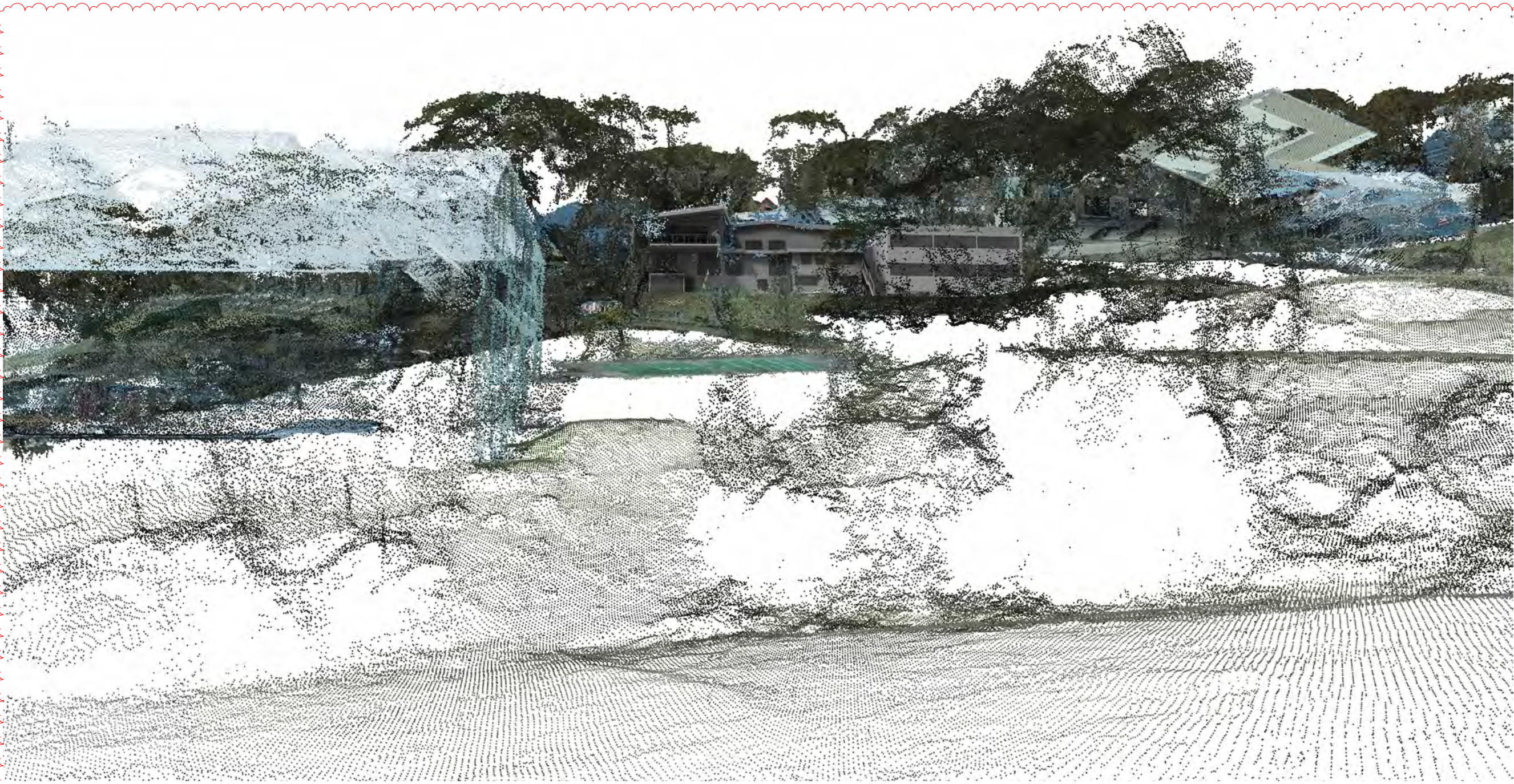


VIEW FROM THE CHOPHOUSE FFL (1546.98) LOOKING NORTHWEST OVER THE EXISTING DIANA LODGE BUILDING

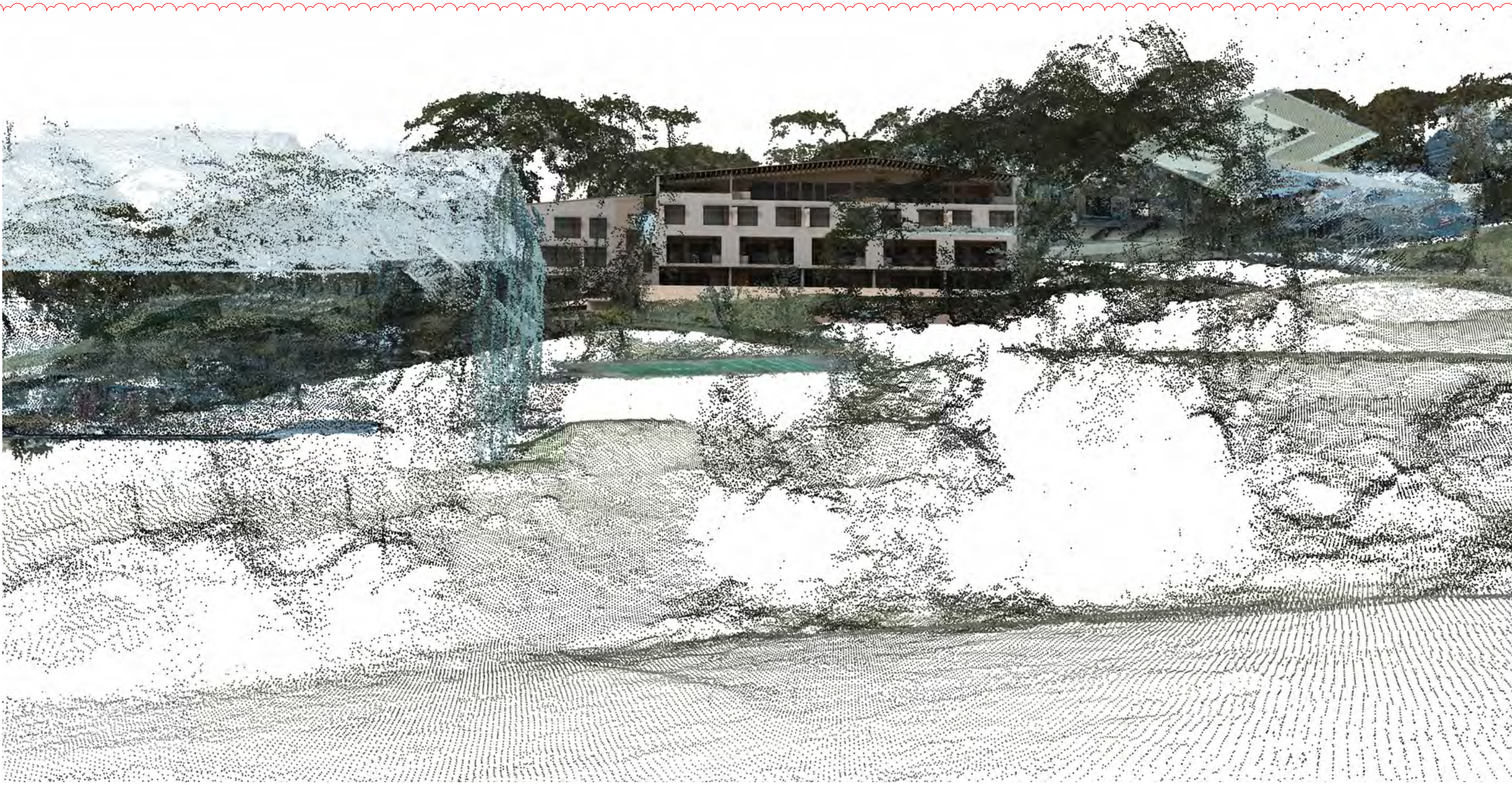


VIEW FROM THE CHOPHOUSE FFL (1546.98) LOOKING NORTHWEST OVER THE PROPOSED DIANA LODGE BUILDING

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VIEW FROM 'GULLY' CHAIRLIFT LOOKING SOUTHEAST TOWARD THE EXISTING DIANA LODGE BUILDING



VIEW FROM 'GULLY' CHAIRLIFT LOOKING SOUTHEAST TOWARD THE PROPOSED DIANA LODGE BUILDING

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ALPINE RESORTS PLANNING SCHEME

CLAUSE 58 - APARTMENT DEVELOPMENTS

STANDARD D18 - ACCESSIBILITY

TABLE D7 - BATHROOM DESIGN  
'DESIGN OPTION B'

STANDARD D20 - PRIVATE OPEN SPACE

TABLE D8 - BALCONY SIZE  
'ANY OTHER ORIENTATION'

PROPOSED BALCONY / PORCH AREA

STANDARD D26 - FUNCTIONAL LAYOUT

TABLE D11 - BEDROOM DIMENSIONS  
TABLE D12 - LIVING AREA DIMENSIONS

STANDARD D27 - ROOM DEPTH

MAX. 9m

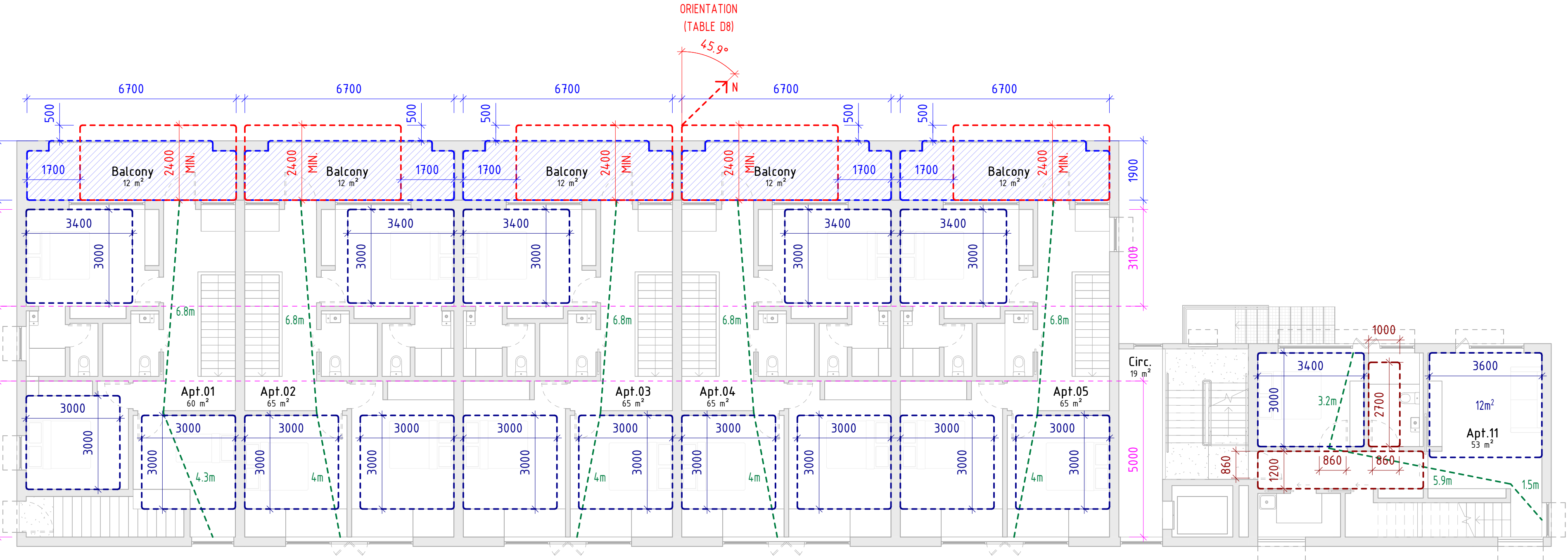
STANDARD D29 - NATURAL VENTILATION

MIN. 5m, MAX. 18m

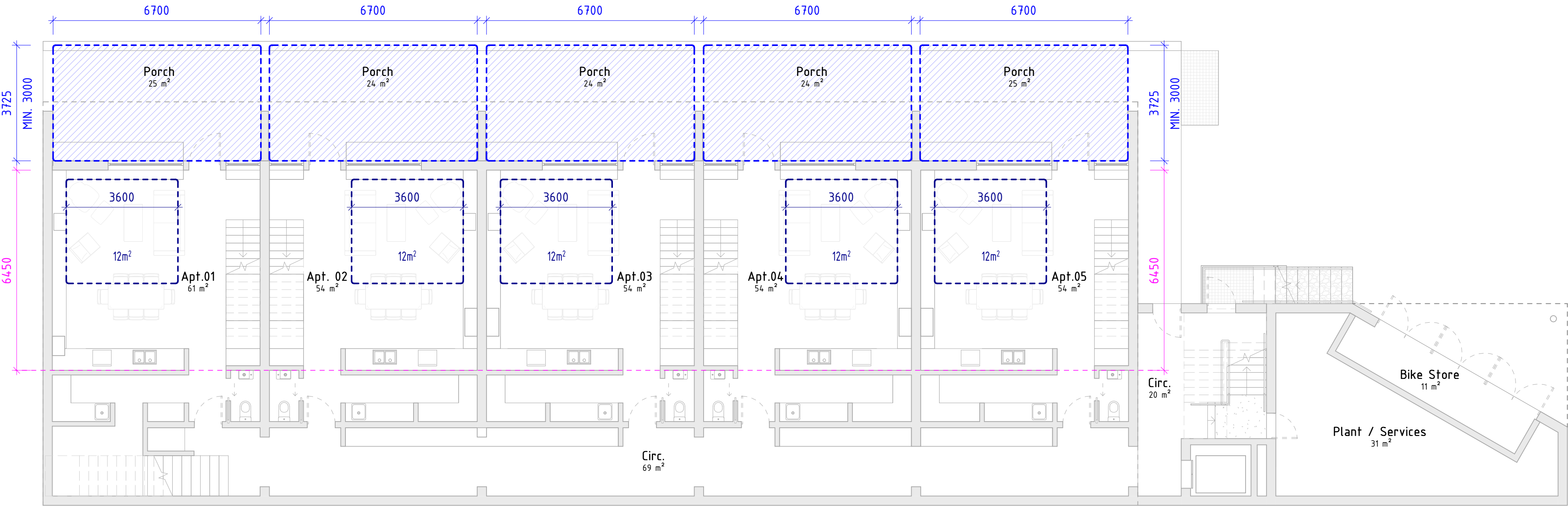
CLAUSE 52.06 - CAR PARKING

PART 9, DESIGN STANDARD 2 - CAR PARKING SPACES

PARALLEL PARKING SPACE



2 1FL - COMPLIANCE DIAGRAM  
TP17 1 : 100



1 GFL - COMPLIANCE DIAGRAM  
TP17 1 : 100

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6 FALLS CREEK RD

for CANZONERI FAMILY

TP30

PROJECT No:  
DATE:  
SCALE:

23  
24.07.2024  
1 : 100@A1

COMPLIANCE DIAGRAMS



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ALPINE RESORTS PLANNING SCHEME

CLAUSE 58 - APARTMENT DEVELOPMENTS

STANDARD D18 - ACCESSIBILITY

TABLE D7 - BATHROOM DESIGN  
'DESIGN OPTION B'

STANDARD D20 - PRIVATE OPEN SPACE

TABLE D8 - BALCONY SIZE  
'ANY OTHER ORIENTATION'

PROPOSED BALCONY / PORCH AREA

STANDARD D26 - FUNCTIONAL LAYOUT

TABLE D11 - BEDROOM DIMENSIONS  
TABLE D12 - LIVING AREA DIMENSIONS

STANDARD D27 - ROOM DEPTH

MAX. 9m

STANDARD D29 - NATURAL VENTILATION

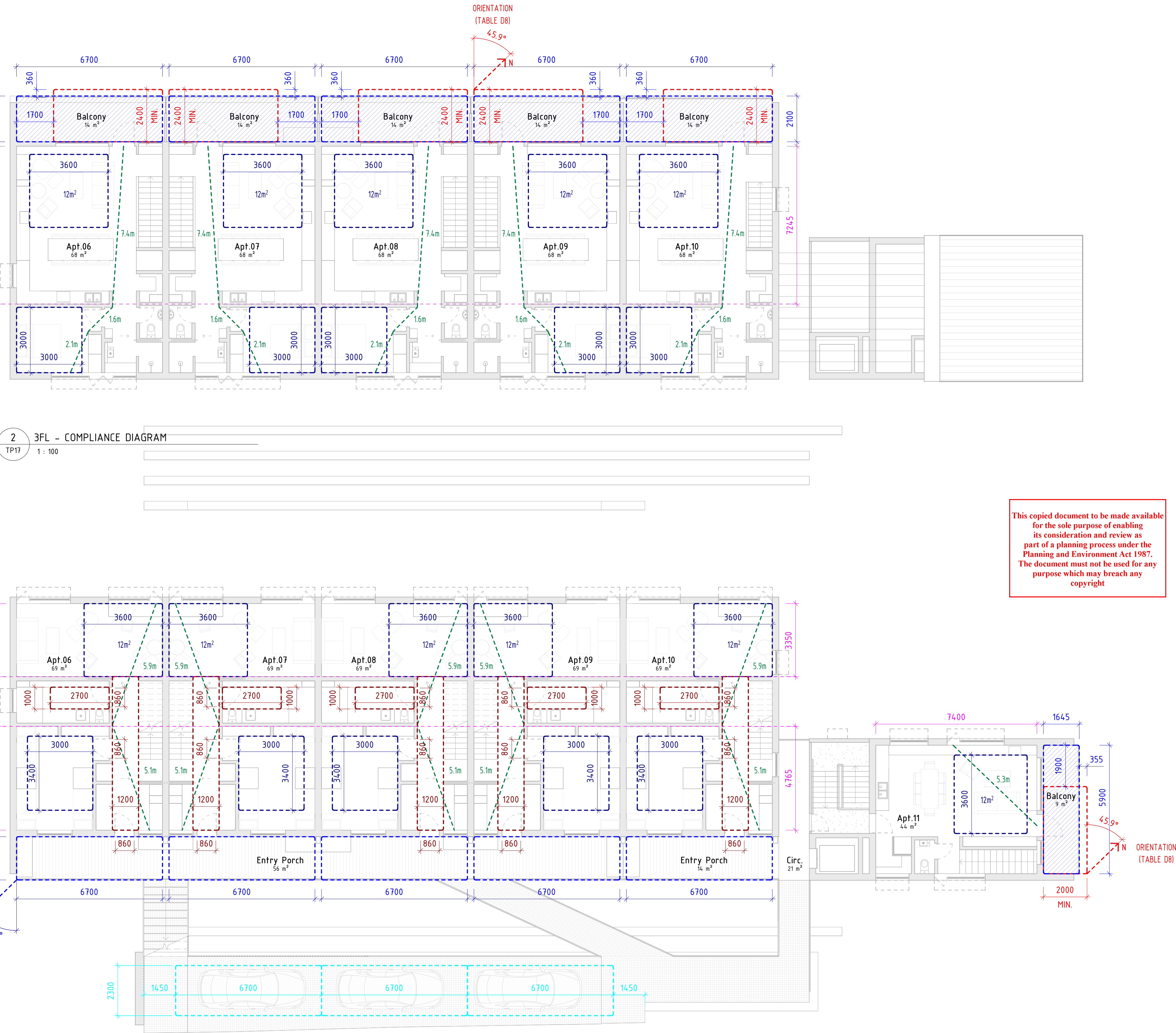
MIN. 5m, MAX. 18m

CLAUSE 52.06 - CAR PARKING

PART 9, DESIGN STANDARD 2 - CAR PARKING SPACES

PARALLEL PARKING SPACE

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2 3FL - COMPLIANCE DIAGRAM  
TP17 1 : 100

1 2FL (STREET) - COMPLIANCE DIAGRAM  
TP17 1 : 100

ISSUES

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24.07.2024

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6 FALLS CREEK RD

for CANZONERI FAMILY

TP31

PROJECT No:  
DATE:  
SCALE:

23  
24.07.2024  
1 : 100@A1

COMPLIANCE DIAGRAMS



APARTMENT TYPE A (3 BDR) x 5

NET INTERNAL AREA: 124.65m<sup>2</sup>  
PORCH/BALCONY AREA: 37m<sup>2</sup>  
**TOTAL AREA:** 161.65m<sup>2</sup>  
  
STORAGE: 29.35m<sup>3</sup>  
*Compliant with Standard D29:  
Alpine Resorts Planning Scheme*



APARTMENT TYPE B (3 BDR) x 5

NET INTERNAL AREA: 139.4m<sup>2</sup>  
PORCH/BALCONY AREA: 27.1m<sup>2</sup>  
**TOTAL AREA:** 166.5m<sup>2</sup>  
  
STORAGE: 30.65m<sup>3</sup>  
*Compliant with Standard D29:  
Alpine Resorts Planning Scheme*

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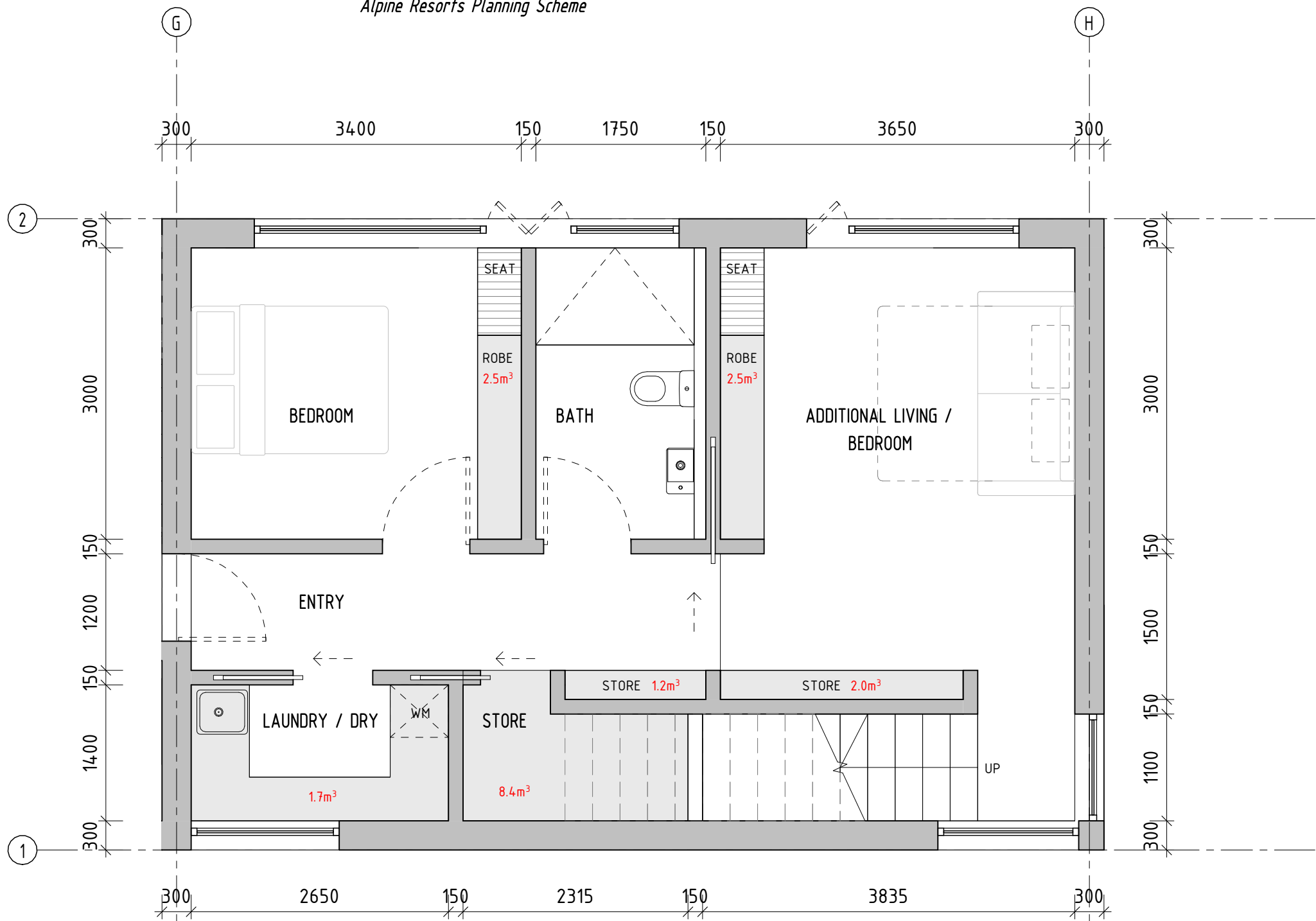
APARTMENT TYPE C (2 BDR) x 1

NET INTERNAL AREA: 91.4m<sup>2</sup>

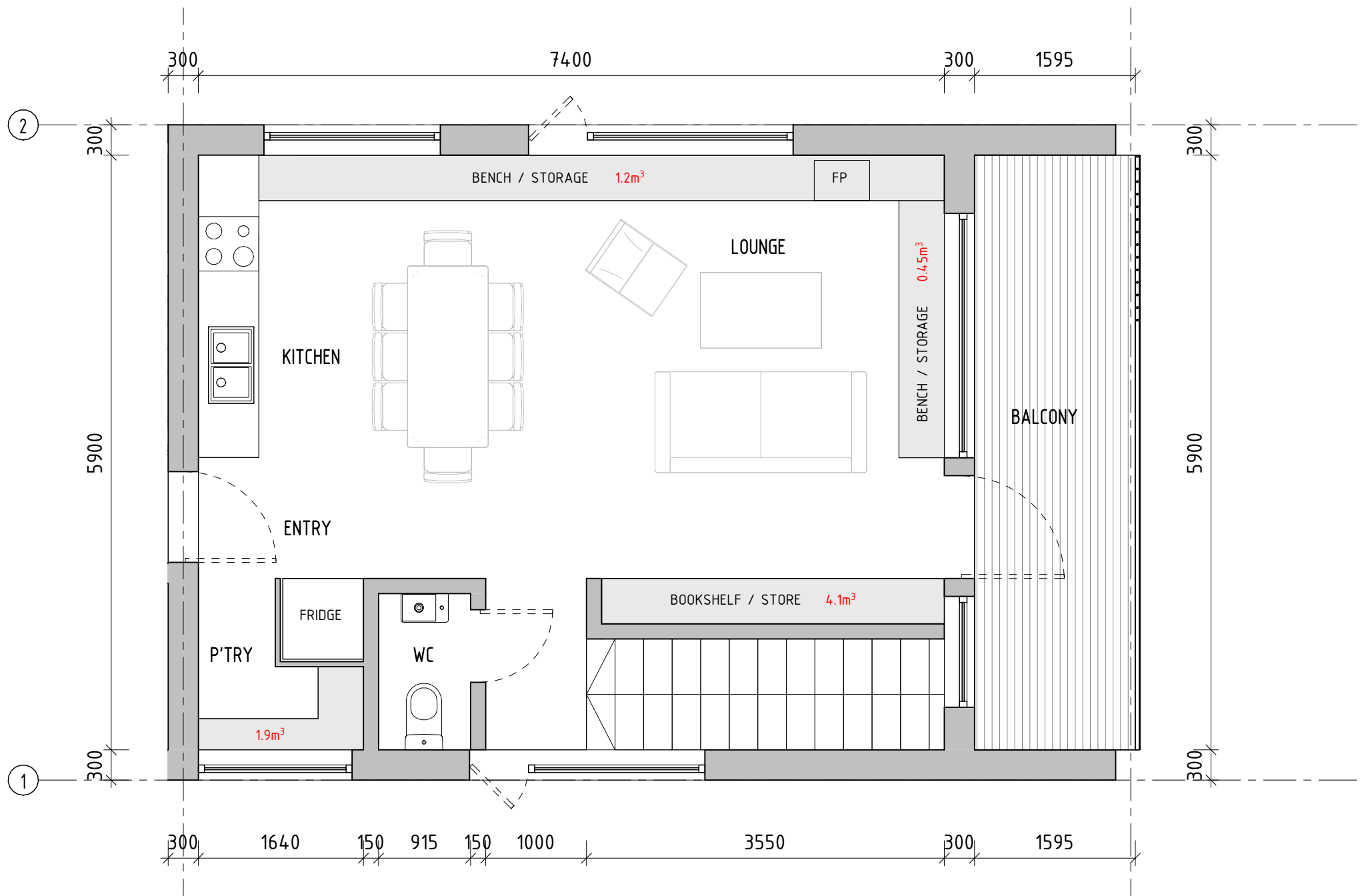
PORCH/BALCONY AREA: 9.45m<sup>2</sup>

TOTAL AREA: 100.85m<sup>2</sup>

STORAGE: 25.95m<sup>3</sup>  
Compliant with Standard D29:  
Alpine Resorts Planning Scheme



1 1FL - APARTMENT 11  
TP13 1 : 50



2 2FL (STREET) - APARTMENT 11  
TP14 1 : 50

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