

**SITE ENVIRONMENTAL MANAGEMENT PLAN
(SEMP)**

Diana Lodge Falls Creek

Prepared by Biosis Pty Ltd

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A Site Environmental Management Plan (SEMP) is a document detailing the potential environmental impacts of a proposed use and/or development and the ways that these impacts may be reduced by management strategies and practices. The provision of a SEMP is triggered under Schedule 1 of the Comprehensive Development Zone contained within the Alpine Resorts Planning Scheme.

OBJECTIVES OF A SEMP

The objectives of a SEMP are to address environmental, planning scheme and rehabilitation requirements and ensure that applicants are accountable for preventing or mitigating any environmental impacts.

THE PROCESS

A SEMP must be endorsed by the responsible authority (the Minister for Planning) prior to the commencement of any buildings or works. Endorsement may include approval by the relevant Resort Management Board (Alpine Resorts Victoria- Falls Creek (ARV-FC)) and the Department of Energy, Environment and Climate Action (DEECA).

SUBMISSION

Ensure that you submit the following as part of your SEMP package:

Part A - SEMP Cover Form, including supporting attachments such as photographs and reports, if required – SEE ATTACHED

Part B - Site Construction Management Plan, including a detailed drawing identifying environmental measures referenced in the SEMP Cover Form and documentation addressing the performance standards – SEE MAP ATTACHED

Part C - Site Rehabilitation Plan detailing site rehabilitation and site monitoring requirements – See Part C

Attachment 1 – Architectural Designs prepared by Send it Architecture (2024)

Attachment 2 - Falls Creek Alpine Resort Work Practice – Works in Hawkweed Sites (FCRM 2021)

Please note:

The planning scheme may require additional information to be attached to fully describe the site and works for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- Geotechnical Risk Assessment (C3 Construction Group Pty Ltd 2024)
- Bushfire Management Plan (Crowther & Sadler Pty Ltd 2024)
- Fauna and Flora Report (Biosis 2024)

Special requirements apply to buildings and works carried out in Hawkweed areas within the Falls Creek Alpine Resort

A copy of the endorsed SEMP must be kept on site at all times during the construction period.

Failure to comply with a SEMP can result in enforcement action.

Document control

Version **FINAL**

Internal reviewer **CE**

Date issued **04 September 2024**

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PART A

SITE ENVIRONMENTAL MANAGEMENT PLAN:

Diana Lodge Falls Creek

Site Location

The Site for development is Diana Alpine Lodge located at 6 Falls Creek Road, Falls Creek, approximately 600 metres west-south-west of the Police Station and approximately 17.5 kilometres south-east of Mount Beauty. Diana Alpine Lodge occurs along the north-western margin of Falls Creek Village. It is downslope of Falls Creek Road which runs along the southern and eastern boundary of the site. It is bound by an access track on the northern boundary and the Falls Creek Country Club beyond. An existing building named 'The Hub' abuts the site on the western boundary.

The site encompasses approximately 0.16 hectares of privately leased Crown land. It is currently zoned Comprehensive Development Zone – Schedule 1 (CDZ1). The overlays which apply to the study area include a Bushfire Management Overlay – Schedule 1 (BMO1), Design and Development Overlay – Schedule 2 (DDO2) and the Erosion Management Overlay – Schedule 1 (EMO1).

The site is located near identified Mountain Pygmy-possum *Burrhamys parvus* habitat protected under the Environmental Significance Overlay – Schedule 2 (ESO2).

Project Description

The Canzoneri Family intend to undertake buildings and works and vegetation removal for the purpose of redeveloping Diana Alpine Lodge.

The existing building on the site is proposed for redevelopment into apartments and associated infrastructure. The proposed redevelopment involves the demolition of the existing lodge and the construction of a new four-storey building, comprising of 13 apartments and a basement. The site area of the new building will extend to the north and into a new adjoining parcel of land to the north-east. The preliminary designs include communal areas, deck areas and other associated infrastructure within the building's overall footprint.

Based on the current design, the proposed development will require the removal of 0.015 hectares of native vegetation, comprising entirely patch vegetation. Two large trees within patches are proposed to be removed. Trees to be retained adjacent to the development are to be trimmed, as indicated on the architectural plans prepared by Send it Architecture (TP SET_240724[C]).

Project Management

Send it Architecture represent the project proponent and have led the design and planning phases of the project.

The construction phase of the project will be managed by personnel from C3 Construction Group Pty Ltd and they will be contactable on a 24-hour basis during the works.

Project Manager:

Sebastian Canzoneri

Director

C3 Construction Group Pty Ltd

Mobile: 0413 022 427

Email: c3constructiongroup.com.au

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If the Project Manager is not on site during works a Site Supervisor must be appointed.

The Project Manager or Site Supervisor must:

- Be present at a site induction.
- Ensure all personnel (including contractor/sub-contractors) are aware of the contents of SEMP.
- Be available for on-site meetings when required.
- Ensure compliance with the SEMP.

Construction Schedule

An indicative construction schedule is outlined in Table 1; these timeframes will be subject to change and dependent on obtaining relevant approvals. It is proposed to commence the proposed works in October 2025.

Table 1: Construction schedule

Stage	Date/timing
Commence works	October 2025
Cold shell works	Summer 2025/26
Fit-out – Internal works	Summer 2026/27
Complete works	May 2027
Contingency for schedule overrun	Not applicable

Construction will be halted where severe weather conditions are forecast or experienced (e.g. fire, flood, severe thunderstorm or wind warnings issued by the Bureau of Meteorology).

A site induction will be held consistent with standards outlined in the accompanying CMP prior to the commencement of the project.

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Construction Techniques/Activities

Construction of the lodge will require the permanent removal of 0.015 hectares of vegetation and two large trees.

The construction stages are to occur over Summer of 2025/26 and 2026/27.

Summer 2025/26 will involve construction of the lodge cold shell. This will involve construction of:

- Foundations
- Tilt Panel wall system (closing of the Falls Creek Road will be required during times of crane use).
- Apartment light weight flooring infill system
- Roof
- Glazing

Summer 2026/27 will involve the fit-out of the cold shell. This includes installation of:

- Heating and cooling systems
- Plumbing
- Electrical
- Hard and soft furnishings
- External timber cladding

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Construction Phases

The following recommendations to minimise environmental impacts during planning, pre-construction, construction, and post-construction phases of the project must be complied with:

Planning and pre-construction

- Ground disturbance outside of the designated project footprint is to be avoided. Allowance will be made in existing disturbed sites for all storage areas and ancillary areas.
- Protect all areas of native vegetation in and adjacent to the project footprint by inducting all personnel to the No-Go zones, protective fencing and other management actions indicated in the SEMP. Temporary exclusion fencing must be installed before work commences.
- Appropriate sediment management must be installed before work commences as shown on the CMP.
- Ensure all environmental constraints are clearly communicated to construction personnel and incorporated into the workforce induction program.

Construction

- A geotechnical inspection must be undertaken of the exposed cut slopes to confirm the ground conditions anticipated in the design. Without inspection there may be impacts to Falls Creek Road and the cut slopes may require reinstatement and remediation.
- Enforce access tracks so disturbances from plant are minimal. Access tracks will be limited to Falls Creek Road and the existing driveway in the Northeast corner of the site.
- All contractors will be inducted by the project manager prior to commencing works.
- Prevent access to No-Go zones for all construction personnel and equipment.

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- Manage works to minimise discharge of sediments and other pollutants.
 - Suitable sediment control measures are provided in Construction Techniques for Sediment Pollution Control (EPA 1991) and Guideline for Environmental Management: Doing it right on subdivisions, Temporary environmental protection measures for subdivision construction sites (EPA 2004).
- Refuel vehicles and equipment, and store chemicals and other equipment on stable surfaces and not within 30 metres of a waterway or associated waterbody (e.g. a dam, drainage line).
- Provide spill kits.
- Maintain all protective fencing or markers in good repair for the duration of the works period.
- Maintain all sediment control measures in good repair and regularly inspected to ensure adequate performance for the duration of the works period.
- Monitor for weed establishment during construction and adhere to hygiene procedures for all vehicles, equipment and PPE.

Post-construction

- Sediment control measures and exclusion fencing are to be removed in a sensitive manner to avoid disturbing retained native vegetation. Follow up inspections of the retained vegetation are to occur to ensure there are no permanent disturbance impacts.
- Ensure all construction tools, temporary fencing, sediment controls, and waste are removed from site post works.

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Environmental Risks

Each environmental risk is described below in Table 2 with relevant responses.

Table 2: Environmental risk, Diana Lodge Falls Creek project

<u>Risk</u>	<u>Measures to address risk</u>
<p>1. Local erosion and sedimentation</p>	<p>Erosion control is important in Alpine areas. The vegetation must be stripped only where necessary during site preparation.</p> <p>Construction or earthworks should be undertaken during the dry months and are not to take place after significant rainfall events.</p> <p>Exposed batter slopes will be stabilised with vegetation or other means to prevent surface erosion.</p> <p>Maintain effective drainage across the site during construction.</p> <p>Sediment controls in the form of sediment fencing will be in place to protect areas of native vegetation and the surrounding dwellings.</p> <p>Sediment control measures will be checked and maintained after rainfall events greater than 10 mm in a 24-hour period.</p>
<p>2. Disturbance or removal of native vegetation</p>	<p>Construction of the lodge will require the permanent removal and/or lopping of vegetation. The extent of native vegetation to be removed for this project is 0.015 hectares.</p> <p>Two large trees are to be removed and trees to be retained adjacent to the development are to be trimmed.</p> <p>Avoid and minimise removal of valuable habitat features for listed fauna species, such as dense shrub and understorey layer, dense grassy patches, and large canopy trees.</p> <p>All areas of vegetation/habitat nominated in the overall final design plan as 'retained' and the Tree Protection Zone (TPZ) and 15 metre protection buffers of retained vegetation where possible (and that adjoining the site) will be delineated as a No-Go zone. These zones are not to be encroached upon as development progresses. Parking and stockpile areas are to occur outside of No-Go Zones, as shown on the CMP.</p> <p>Parking will be located on Falls Creek Road, as marked in the CMP, so as to not disturb existing vegetation.</p> <p>Temporary exclusion fencing will be installed around the No-Go as marked in the CMP. They will be installed around native patch vegetation to prevent disturbance to these areas. Appropriate signage such as 'Environmental Protection Area' will be installed.</p> <p>Contractors on site are to be inducted by the project manager with the SEMP to ensure that the disturbance</p>

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	<p>footprint and No-Go zones are adhered to.</p> <p>Access/egress to the work areas will be via Falls Creek Road and the existing driveway in the Northeast corner of the site. No new access tracks will be created.</p> <p>The TPZ of the trees at the southern end of the site have been modified as per the arborist report prepared for this project (Tru Tree Care 2024). During construction, care should be taken to avoid cutting further into the batter within the TPZs of these trees, and to avoid changing the soil levels within the TPZs.</p> <p>If excavation is required within the TPZ's of retained trees, it must be undertaken with root sensitive methodology to minimise the impact to tree roots. Incursions greater than 10% should be discussed with the arborist after the set out of the building footprint, and levels of excavation have been marked out.</p>
<p>3. Introduction of weeds and soil pathogens</p>	<p>Prior to works commencing any machinery, equipment and PPE introduced into the Resort will be washed down to remove soil and weed seeds, using a wash down facility approved by ARV-FC. All equipment that has been previously contaminated with soil material will be washed down off-site with Phytoclean anti-fungal solution prior to works commencing.</p> <p>Soil disturbance and subsequent weed invasion will be minimised through construction management and follow up weed control.</p> <p>All machinery, plant, tools, and footwear will be washed down onsite or as soon as reasonably practicable in accordance with the Works in Hawkweed Sites Work Practice (Attachment 2).</p>
<p>4. Management of Hawkweed <i>Hieracium</i> species during construction</p>	<p>The project Flora and Fauna Assessment (Biosis 2024) did not record any Hawkweed in the project area. Any Hawkweed sites outside the project area will be No-Go Zone during the construction period. Procedures as documented in Section 6 and 7 of the Works in Hawkweed Sites Work Practice (FCRM 2021) (Attachment 2) must be adhered to.</p> <p>All machinery, plant, tools, and footwear will be washed down onsite or as soon as reasonably practicable in accordance with the Works in Hawkweed Sites Work Practice (Attachment 2).</p> <p>Equipment hygiene procedures from the Work Practice include:</p> <ul style="list-style-type: none"> • All vehicles, machinery, equipment and footwear must be washed down after removing contaminated soil or working in a known Hawkweed site. • Machinery and tools must be washed down onsite directly after removing contaminated soil or before

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moving to a different location if they have been accessing a Hawkweed site.

- Areas to be washed down include all parts of machinery or tools that have come into contact with contaminated soil including machinery and vehicle tyres. All soil and vegetation must be washed from the vehicle.
- Footwear must be washed down prior to leaving a known Hawkweed site, including developed areas of the Falls Creek Resort.

Soil or plant materials will not be removed from the site.

Procedures for soil remaining onsite include:

- Clearly mark all Hawkweed plants onsite.
- Ensure that no material stockpiles, access routes, waste receptacles or equipment storage are placed on or within a 2-metre radius of marked Hawkweed site.
- Erect protective fencing to clearly mark the boundary within 2 metres of each Hawkweed Site. The fencing will form the threshold of the exclusion zone surrounding the site.
- No pedestrian machine or plant access is permitted in the exclusion zone.
- Ensure that access to the site remains open and safe for weekly monitoring by either ARV-FC or Park Victoria

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5. Destruction of threatened flora or their habitats. Impacts to threatened ecological communities.

Whilst no threatened fauna species were recorded on site during the Flora and Fauna Assessment (Biosis 2024), the retained vegetation within the site may provide potential habitat for the following listed fauna species which are known to occur in the area:

- Tussock Skink *Pseudemoia pagenstecheri*
- Gang-gang Cockatoo *Callocephalon fimbriatum*
- Broad-toothed Rat *Mastacomys fuscus mordicus*
- Alpine Bog Skink *Pseudemoia cryodroma*
- Mountain Pygmy-possum *Burramys parvus*

The project has avoided impacts to several areas of habitat for listed fauna species, such as dense shrub and understorey layer, dense grassy patches, and large canopy trees. These will be delineated by temporary exclusion fencing and are not to be encroached upon as development progresses.

The following FFG Act listed flora species were recorded on the site:

- Bogong Sally *Eucalyptus pauciflora* subsp. *Hedraia* (Critically Endangered).

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	<ul style="list-style-type: none"> • Royal Grevillea <i>Grevillea victoriae</i> (Endangered). • Bogong Daisy-bush <i>Olearia frostii</i> (Endangered). • Dusty Daisy-bush <i>Olearia phlogopappa</i> subsp. <i>flavescens</i> (Endangered). <p>A protected flora permit from DEECA will be required as some of these species are proposed for removal.</p> <p>The remaining of these species occur in the No-Go zones which will be delineated by temporary exclusion fencing.</p>
<p>6. Disturbance or injury to terrestrial wildlife</p>	<p>Prior to tree removal any subject tree must be inspected by an appropriately qualified zoologist to determine the presence of any native animals living or nesting in the tree. Should any native animals be detected they must be caught and relocated to a site deemed appropriate by the zoologist.</p> <p>All open trenches and footings will be filled in at the end of each day where possible. Where this is not possible open trenches or footings will be inspected by the site supervisor each morning to ensure no wildlife has been trapped.</p> <p>Any wildlife found within the project footprint at the start of each workday will be encouraged to exit the area or be removed by a licenced wildlife handler. DEECA Hume Region (Natural Environment Program) will be notified that day via email (humeregion.planning@delwp.vic.gov.au) of any wildlife removed and relocated within proximity of the project area in habitat that is of similar or better quality to that of the project area. No further than 100 meters away.</p> <p>If any wildlife is encountered the project manager will be immediately notified and a licenced wildlife handler/carer or a veterinarian will be consulted.</p> <p>Wildlife in particular danger during construction are resident and relatively sedentary species such as reptiles and frogs.</p> <p>Wildlife mortality is to be avoided, however where wildlife mortality occurs DEECA Hume Region (Natural Environment Program) will be notified within three months via email (humeregion.planning@delwp.vic.gov.au) of any wildlife mortality.</p> <p><i>Wildlife Victoria – ph. 1300 094 535</i></p>
<p>7. Bushfire</p>	<p>Project works will not take place on days of total fire ban (TFB). No fires will be lit for cooking or warmth by the contractor within or near the construction corridors.</p> <p>Cigarette smoking also poses a risk of bushfire ignition and is not permitted within the project area.</p> <p>A Bushfire Management Plan has been prepared by Crowther & Sadler for the project. Vegetation within the defendable space of the development is to be managed in accordance with this plan, prior to construction commencing.</p>

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	<p>This includes:</p> <ul style="list-style-type: none"> • Trees to be removed. • Shrubs to be removed from under the canopy of trees (in accordance with the vegetation removal indicated on the CMP). • Trees must not overhang or touch elements of the building (trimmed in as indicated on the architectural plans prepared by Send it Architecture (TP15 3FL PLAN)). • Clearance of at least 1 metre between the building and tree canopies.
<p>8. Pollution and litter</p>	<p>All litter and materials introduced to the construction area will be removed on a daily basis, this includes items such as flagging tape, contractor equipment and materials packaging. Contractor equipment is to be stored at the site facility.</p> <p>Machinery servicing, refueling and oil changes are not to occur on-site. Bulk fuels and oil are not to be stored on site.</p> <p>Spill kits will be provided on site in case of any chemical accidents.</p>
<p>9. Landslip or other geotechnical incident.</p>	<p>Construction or earthworks should be undertaken during the dry months and are not to take place after significant rainfall events.</p> <p>Maintain effective drainage across the site during construction. Permanent effective surface drainage of the site must be installed which diverts surface water away from cut slopes.</p> <p>A suitable geotechnical site investigation must be undertaken to understand the expected subsurface conditions to inform design of batter slopes, retention systems and identify other potential geotechnical risks. Minimum geotechnical site investigation requirements are provided in the Geotechnical Risk Assessment prepared for this project (C3 Construction Group Pty Ltd 2024).</p> <p>A geotechnical inspection must be undertaken of the exposed cut slopes during construction to confirm the ground conditions anticipated in the design. Without inspection there may be impacts to Falls Creek Road and the cut slopes may require reinstatement and remediation.</p> <p>Equipment/vehicles are not to be placed close to slope crest. No stockpiling is to occur on-site. Earth works will be 'self-contained' and any necessary soil removal/stockpiling can be stored in Lower Slalom car park with the permission of ARV-FC. Ancillary facilities and parking for vehicles are indicated on the CMP.</p>

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Site Environmental Values

Diana Lodge is located along the north-western margin of the Falls Creek Village between an approximate elevation of 1530 m RL to 1538 m RL. The site has been modified to incorporate a cut bench which has steep batters above to Falls Creek Road and below to the abutting access track. The geotechnical assessment determined no obvious signs of significant instability of these batter slopes (C3 Construction Group Pty Ltd 2024). The geology of the project area is predominantly underlain by the East Kiewa Granodiorite with Cobungra Granite extending to the north and west of the property.

The surface drainage around the site was identified as being relatively poor.

Groundwater levels within the broader site area are between approximately 1.0 metres and 10 metres below ground level. The groundwater level on site has remained relatively static since 2000 and any fluctuations have reasonable correlation with rainfall patterns.

The site and surrounding area assessed has a moderate to steep slope. The area on the north side of the existing ski lodge is flat, graduating to a steep slope on the southern side, adjacent to Falls Creek Road.

The site supports patch vegetation consistent with Sub-alpine Woodland Ecological Vegetation Class (EVC) 43. This EVC has a Bioregional Conservation Status (BCS) of Least Concern within the Victorian Alps Bioregion. These patches of vegetation are in moderate condition with a native canopy and shrub layer. The ground layer is interspersed with native and introduced herb species, with predominantly introduced grass species. Eucalypts and shrub layer species in these areas offer possible foraging habitat for many arboreal and avian species.

Most of the site has been highly modified due to removal of native vegetation and the development of the ski lodge. Small areas of native vegetation persist on the north-eastern edge and slope at the northern end of the site. These small patches contain a moderate number of the understory species that define this vegetation type. Many of the midstorey and ground layer species create protective dense vegetation for fauna shelter. The area adjacent to and behind the existing building is more disturbed, the introduced plant cover is high, and the canopy species are mostly absent. These areas are of negligible habitat value for any significant fauna but may provide habitat for locally common fauna species. Thirteen large trees were recorded within vegetation surrounding the existing building.

The site contains potential habitat for listed species under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) and/or *Flora and Fauna Guarantee Act 1988* (FFG Act). These include:

- Broad-toothed Rat *Mastacomys fuscus mordicus* (Endangered, EPBC Act; Vulnerable FFG Act).
- Gang-gang Cockatoo *Callocephalon fimbriatum* (Endangered, EPBC Act; FFG Act).
- Alpine Bog Skink *Pseudemoia cryodroma* (Endangered, EPBC Act; FFG Act).
- Tussock Skink *Pseudemoia pagenstecheri* (Endangered, FFG Act).

The site is located near identified Mountain Pygmy-possum *Burramys parvus* habitat protected under the Environmental Significance Overlay – Schedule 2 (ESO2). The site presents no core habitat for this species, but as they are known to occur in the area they may move through the site on rare occasions. It has been considered to have a low likelihood of occurrence within the site.

The following FFG Act listed flora species were recorded on the site:

- Bogong Sally *Eucalyptus pauciflora* subsp. *hedraia* (Critically Endangered).
- Royal Grevillea *Grevillea victoriae* (Endangered).

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- Bogong Daisy-bush *Olearia frostii* (Endangered).
- Dusty Daisy-bush *Olearia phlogopappa* subsp. *flavescens* (Endangered).

There are no threatened ecological communities present on the site.

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Project Monitoring

The environmental risks associated with construction will be monitored on a regular basis, as required. The Project Manager and Site Supervisor will be responsible for undertaking a general daily assessment of positive and negative impacts during the construction program and appropriate photographic records will be kept. Specialist advice on environmental issues will be sought as required from a suitably qualified environmental professional as required during the construction period.

The Project Manager will supply an informal report to DEECA during each phase of construction. This report will take the form of an email or phone call, and cover issues such as:

- Construction progress.
- Timelines.
- Any environmental issues encountered.
- Responses implemented to address issues.
- Dated photographs of key issues and responses.

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The construction monitoring program for identified environmental risks is outlined in Table 3.

Table 3: Site and environmental risk monitoring, Diana Lodge Falls Creek

Risk	Monitoring response	Frequency of monitoring	Responsibility
1. Local erosion and sedimentation	Visual inspections of installation/maintenance of sediment controls (sediment fences). Stabilisation of exposed batter slopes.	Daily during works and after rainfall events greater than 10 mm in a 24-hour period. Stabilisation will occur daily during construction with monthly follow-up inspections for 1 year after construction completion (unless under snow).	Project Manager or Site Supervisor
2. Disturbance or removal of native vegetation	Visual inspection and photo record of installed temporary exclusion fencing around the No-Go Zone, and the condition of native vegetation pre- and post-works. Visual inspections of construction activities within root protection zones of retained trees to ensure root	Daily inspections and pre- and post-photographs Monthly follow up inspections for 1 year after construction completion	Project Manager and Site Supervisor

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	<p>sensitive methodology is being utilised.</p> <p>Follow up inspections of the retained vegetation to ensure no permanent disturbance impacts.</p>		
3. Introduction of weeds and soil pathogens	<p>Visual inspections of machinery, equipment and PPE during work to ensure hygiene protocols are followed.</p> <p>Follow up visual inspections to detect weed germination and signs of soil pathogen infection.</p>	Daily during works and monthly for 1 year after construction completion.	Project Manager
4. Introduction of Hawkweed <i>Hieracium</i> species during construction	<p>Visual inspections of machinery, equipment and PPE during work to ensure hygiene protocols are followed.</p> <p>Visual inspections to detect weed germination.</p> <p>Hawkweed plants found on or near the site during inspections will be reported for management by ARVFO in conjunction with DEECA.</p>	Daily during works and monthly for 1 year after construction completion.	Project Manager
5. Destruction of threatened flora or their habitats. Impacts to threatened ecological communities.	<p>Visual inspections of vegetation to be removed prior to removal and prior to installation/maintenance of sediment controls.</p>	Daily during construction.	Project Manager
6. Disturbance or injury to terrestrial wildlife	<p>Any open trenches will be inspected each morning to ensure no wildlife has been trapped.</p> <p>Visual inspections by the Project Manager / site supervisor daily during works. Any wildlife found within the project footprint at the start of each workday will be encouraged to exit the area or be removed by a licensed wildlife handler.</p> <p>Prior to tree removal any subject tree must be inspected by an appropriately qualified zoologist to determine the</p>	Daily during construction. Prior to tree removal.	Project Manager or Site Supervisor

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	presence of any native animals living or nesting in the tree.		
7. Bushfire	Visual inspections to ensure the work site remains smoke free.	As required	Site Supervisor
8. Pollution and litter	Visual inspections of storage and machinery/equipment lay down areas. Visual inspections of site to ensure all litter is removed at the conclusion of every workday. Ensure there are spill kits on site each day.	Daily	Site Supervisor
9. Landslip or other geotechnical incident.	Examine surface drainage across the site to ensure it is occurring effectively and is being diverted from cut slopes. Drainage should be kept free of detritus. Batter slopes to be examined to monitor stability.	Daily during construction. Batter slopes examined weekly during construction and after rainfall events greater than 10 mm in a 24-hour period.	Project Manager or Site Supervisor

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Declaration

I agree to ensure that:

- ✓ All site and environmental protection measures outlined within the approved SEMP will be adhered to.
- ✓ All endorsed plans will be adhered to.
- ✓ All site rehabilitation and revegetation works will be undertaken in accordance with the approved SEMP.
- ✓ Prior to construction personnel commencing work, the site supervisor will ensure:
 - ✓ An appropriate site induction has been undertaken.
 - ✓ Equipment/Plant will be serviced off-site.
 - ✓ All equipment will be cleaned and free of vegetation, soil and seed prior to being brought on to the site.
 - ✓ Approval from the Resort Management Board will be obtained prior to any out-of-hours work occurring. Written notification will be provided to local residents when out-of-hours work is occurring.
- ✓ Provision of new service connections and upgrading of existing services will be undertaken in a timely manner with minimal on-site and off-site impacts and with prior approval of the RMB and services providers.
- ✓ Advice will be obtained from the Dial Before You Dig service to determine the location of existing services onsite.

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Full Name: Andy Mero

Signature



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Date: 25 / 11 / 2024

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PART B

SITE CONSTRUCTION MANAGEMENT PLAN

Diana Lodge Falls Creek

One figure addressing the CMP requirements for the project is attached to the end of this document and the relevant requirements have been noted in the list below. The CMP map accompanies the SEMP and will be provided to the contractor.

The Site Construction Management Plan must include the following information and address all the Performance Standards within Part B:

a) Construction zone

The Site for development is Diana Alpine Lodge located at 6 Falls Creek Road, Falls Creek. The lodge occurs along the north-western margin of Falls Creek Village, on the downslope (north) side of Falls Creek Road and is bound by an access track running along its northern boundary. The site encompasses approximately 0.16 hectares of privately leased Crown land. The construction zone is indicated on the CMP.

b) The location of:

- o neighbouring buildings (including setbacks) – Neighbouring buildings and setbacks from streets are indicated on the architectural plans provided by Send it Architecture (Attachment 1).
- o surrounding street network – Vehicle access provided on CMP map, existing roads and access tracks to be used.
- o waterways – Indicated on CMP.
- o site access points – Indicated on CMP.
- o surface water drainage – Indicated on the architectural plans provided by Send it Architecture (Attachment 1).
- o vegetation/trees – The construction footprint and vegetation removal are identified on the CMP. Removal of 0.015 hectares of vegetation to occur. Two large trees are to be removed and trees to be retained adjacent to the development are to be trimmed. A No-Go area is identified on the CMP and exclusion fencing is to be installed prior to construction and maintained throughout.
 - o on site/off site: Native vegetation identified on the CMP.
 - o to be retained and protected - All vegetation outside of the construction zone to be retained – indicated on CMP.
 - o to be removed or lopped – Removal indicated on the CMP map.

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c) Proximity to areas such as:

- o rare or threatened species habitat – Indicated on CMP map as retained vegetation and ESO2.
- o soil and geotechnical hazards – Steep slopes indicated by 1:25k topography layer on CMP. See above for geotechnical hazards assessed (C3 Construction Group Pty Ltd 2024)
- o any other significant sensitive natural features – Not applicable.

d) Easements – Not applicable.

e) Existing service locations and protection measures – Not applicable.

f) Storage areas for:

- o construction vehicles – Only applicable for parking and access of vehicles. Indicated on CMP map.
- o construction materials – Site facility indicated on CMP map.
- o waste – Indicated on CMP.
- o stockpiles – Indicated on CMP.

g) Location of any temporary site offices/lunchrooms (if applicable) – Indicated on CMP as site facility.

h) Topography/slope of the land – Indicated on CMP maps, 1:25k topography layer.

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Diana Lodge Falls Creek, September 2024

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- i) Sediment control measures – See CMP maps and sediment control section of SEMP.
- j) Stormwater drainage measures – Indicated on the architectural plans provided by Send it Architecture (Attachment 1).
- k) Staging of works (if applicable) – See Construction schedule above.
- l) Location of onsite green waste storage – Indicated on CMP map.
- m) Location of onsite vehicle wash down location – Vehicle hygiene hold point indicated on CMP. Other vehicle wash down procedures to occur in accordance with the Works in Hawkweed Sites Work Practice (Attachment 2).

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**PART B - SITE CONSTRUCTION MANAGEMENT PLAN
PERFORMANCE STANDARDS**

Site Induction

An induction must be undertaken by the site supervisor as required by the responsible authority. Prior to the commencement of any building or works the site supervisor is responsible for ensuring that an appropriate induction is provided to all construction personnel in conjunction with the relevant RMB.

Construction Zone and Vehicle Access

- Prior to the commencement of any building or works, the extent of the construction zone, including pedestrian, vehicle and machinery access must be clearly defined both on the plan and physically on the site.
- All buildings and works must be confined to the defined construction zone.
- Access should be confined to designated access tracks and pathways, and as far as practical utilise existing disturbed areas. Access must not be over adjoining leasehold sites. Access areas, both vehicular and pedestrian, must be stabilised to prevent sediment loss (e.g. with crushed rock).
- If using porous materials (e.g. crushed rock) it should be contained by edging or boxing. Where suitable, porous material should be free of fines to allow for free drainage and to minimise the risk of sediment transport.
- Vehicular and machinery maintenance is not to occur on site.

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Threatened Species

- The presence of rare/vulnerable/threatened species should be recognised on site and the necessary protection measures put in place.
- If any threatened species are identified on the site, as listed in the *Flora and Fauna Guarantee Act 1988* (FFG Act) or the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), there are specific requirements that must be included in the planning permit or associated assessment process. These requirements must be defined and adhered to as applicable.
- If the FFG Act is triggered, consultation with DEECA is required and if the EPBC Act is triggered, consultation with the relevant Federal Government Department is required.

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Easements and existing service locations

- Contact the 'Before you Dig Australia' service (phone 1100 or web www.1100.com.au) and the relevant RMB to identify where all existing services and infrastructure are located on site.
- Contact the relevant service utility/planning authorities to determine what measures need to be implemented to best protect the asset. (For Information regarding Telstra: Telstra Network Integrity Services 1800 810 443).

Storage Areas for Building Materials and Waste Storage (on and off site)

- The storage of all equipment, waste and building materials must be contained within the areas defined on the Construction Management Plan.
- Construction areas must be kept free of litter at all times.
- Adequate and appropriate waste bins must be provided on site, with locations to be determined in conjunction with the relevant RMB. If waste bins are to be located off site, written approval from the RMB is required.
- Waste must be transported to an appropriate off-site transfer station, recycling centre or land fill, to be determined in consultation with the relevant RMB.
- Waste is to be collected when waste bins are full.

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- Waste is to be reduced by selecting, in order of preference, avoidance, reduction, reuse and recycling methods. Construction should involve the reuse of materials and the recycling of waste wherever possible.
- No waste may be disposed of on site.
- Chemicals and fuels stored on site must be kept to a minimum. If stored on site, bunds must be installed to reduce the potential damage caused by spills.
- All equipment, construction materials and waste must be removed from the site as part of site cleanup works.
- Preparation of a Waste Management Plan in conjunction with the relevant RMB is encouraged to help achieve compliance with the relevant performance standards.
- No fire is to be lit on site without RMB approval.

Sediment Control Measures

- Sediment run-off controls and drainage around all construction areas must be established prior to commencement of any building or works.
- Sediment traps must be designed, installed and maintained to maximise the volume of sediment trapped from the site during construction.
- A mulch of fibre matting, shredded plant material from the site or certified weed free sterile straw, preferably from a pasture fescue crop, must be maintained on exposed areas until adequate plant cover is produced.
- Grading, excavation and construction must not proceed during periods of heavy rainfall.
- Sediment control measures must have a size and capacity to withstand the flow of a one in five-year storm event.
- All sediment control measures must be maintained during construction and inspected prior to (and after) rain events to ensure they are functioning properly.
- Topsoil must be kept separate from sub-soil when stockpiling soil and covered with an appropriate fabric to minimise loss and sedimentation.
- All loads of soil being taken off-site for disposal must be covered.
- Drainage is to be returned to previously existing flow paths, except where specified by a separate drainage report.
- All stockpiles of soil, sand, fertiliser, cement or other fine, loose material must be placed in locations away from drainage lines, roadside channels and culverts unless adequately protected from erosion by diversion drains, bunds or similar works. All stockpiles must be covered.

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Stormwater Drainage Measures

- Any water to be pumped from the site should be filtered before release to ensure that no sediment or weed seeds enter the stormwater system. Energy dissipation measures also need to be in place to guard against potential scouring.
- Natural drainage patterns must not be altered post construction, except through an approved drainage plan.
- Cut-off or intercept drains must be established during construction to redirect stormwater away from cleared areas and slopes to stable (vegetated) areas.
- Stormwater collected by impervious surfaces during construction must be drained via sediment traps to the road drainage system where possible.
- Drip line drainage, including energy dissipation measures, must be installed under eaves to minimise erosion caused by raindrop action and snow shedding.

Management of Pests and Animals

- All construction vehicles and equipment must be cleared of soil and organic matter to remove seeds prior to arriving on site to prevent the introduction and/or spread of weeds and pathogens.
- Site inspections must be conducted by the site supervisor during and after construction to identify weed species requiring control.
- Building work that uses transported gravel and soil must be monitored to prevent the introduction of exotic species.
- No animals (including dogs) are permitted on site without the prior written consent of the relevant RMB.

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Management of Hawkweed (*Hieracium Species*) (Falls Creek Only)

All external works within the Falls Creek Alpine Resort must be assessed for the presence of Hawkweed in conjunction with the RMB's Natural Resource Manager. A Works Practice, in accordance with the Works in Hawkweed Sites Procedures, must be provided as part of the SEMP.

Contact the Natural Resource Manager, Falls Creek Resort Management for a copy of the Hawkweed Sites Procedures.

Hieracium plants, parts of plants and soil containing seed must not be removed from the construction site(s) without a current permit issued under *the Catchment and Land Protection Act 1994* by the Department of Primary Industries (DPI). Failure to obtain a permit may result in legal action.

Hieracium sightings must be reported to DPI on telephone 136 186. For information regarding hawkweeds and their identification contact DPI on 136 186 or go to:

[http://www.dpi.vic.gov.au/DPI/nrenfa.nsf/LinkView/7157B82C7ECBF5CCCA2575BE0024551C2B72296A5108C4FFCA25734F0009F96F/\\$file/hawkweed.pdf](http://www.dpi.vic.gov.au/DPI/nrenfa.nsf/LinkView/7157B82C7ECBF5CCCA2575BE0024551C2B72296A5108C4FFCA25734F0009F96F/$file/hawkweed.pdf)

Further Guidance:

Department of Sustainability and Environment

<http://www.dse.vic.gov.au/dse/index.htm>

Guidelines for Minimising Soil Erosion and Sedimentation from Construction Sites in Victoria, compiled under the guidance of the Land Disturbance Working Party; by R.J. Garvin, M.R. Knight, T.J. Richmond

Water Sensitive Urban Design Guidelines for Alpine Environments, Dec 2005

EPA's publication 275 'Construction Techniques for Sediment and Pollution Control', available online: www.epa.vic.gov.au, link – Publications and Library

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PART C

SITE REHABILITATION PLAN

This section outlines the steps that will be taken to stabilise and rehabilitate the project area during and after construction. A description of the rehabilitation process is outlined below.

Type of soil stabilisation to be used on disturbed areas

Locations for planting and garden beds are indicated on the Architectural plans prepared by Send it Architecture (Attachment 1).

Indigenous species of local provenance will be used for revegetation purposes.

The interval between clearing, soil stabilisation and replanting will be kept to a minimum.

Areas of exposed soil will be stabilised progressively as works are completed, and adequate stabilisation will be maintained until plant cover is established.

Location of on-site replanting (if applicable), indicating the species and number to be used and approximate area (in square metres) of ground cover species

Location of on-site replanting is indicated Architectural plans prepared by Send it Architecture (Attachment 1).

Schedule of works to undertake:

Soil stabilization

Daily during construction with ongoing management.

Maintenance and extent of monitoring and follow-up works on site

The works area will be monitored monthly for the first 12 months after commissioning (unless under snow).

Further Guidance:

Department of Sustainability and Environment

<http://www.dse.vic.gov.au/dse/index.htm>

The Australian Alps Rehabilitation Manual, available online:

<http://www.australionalps.environment.gov.au/publications/research-reports/rehabilitation.html>

Rehabilitation Guidelines for the Resort Areas of Kosciuszko National Park August 2008, available online:

http://www.environment.nsw.gov.au/parkmanagement/knp_resortrehab.htm (*This is a NSW publication, but it has valuable information that can be applied to the Victorian alpine areas)

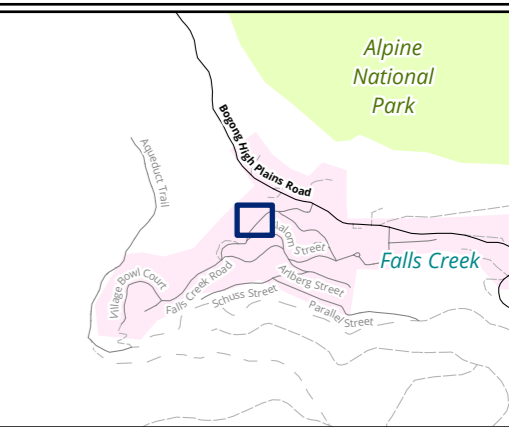
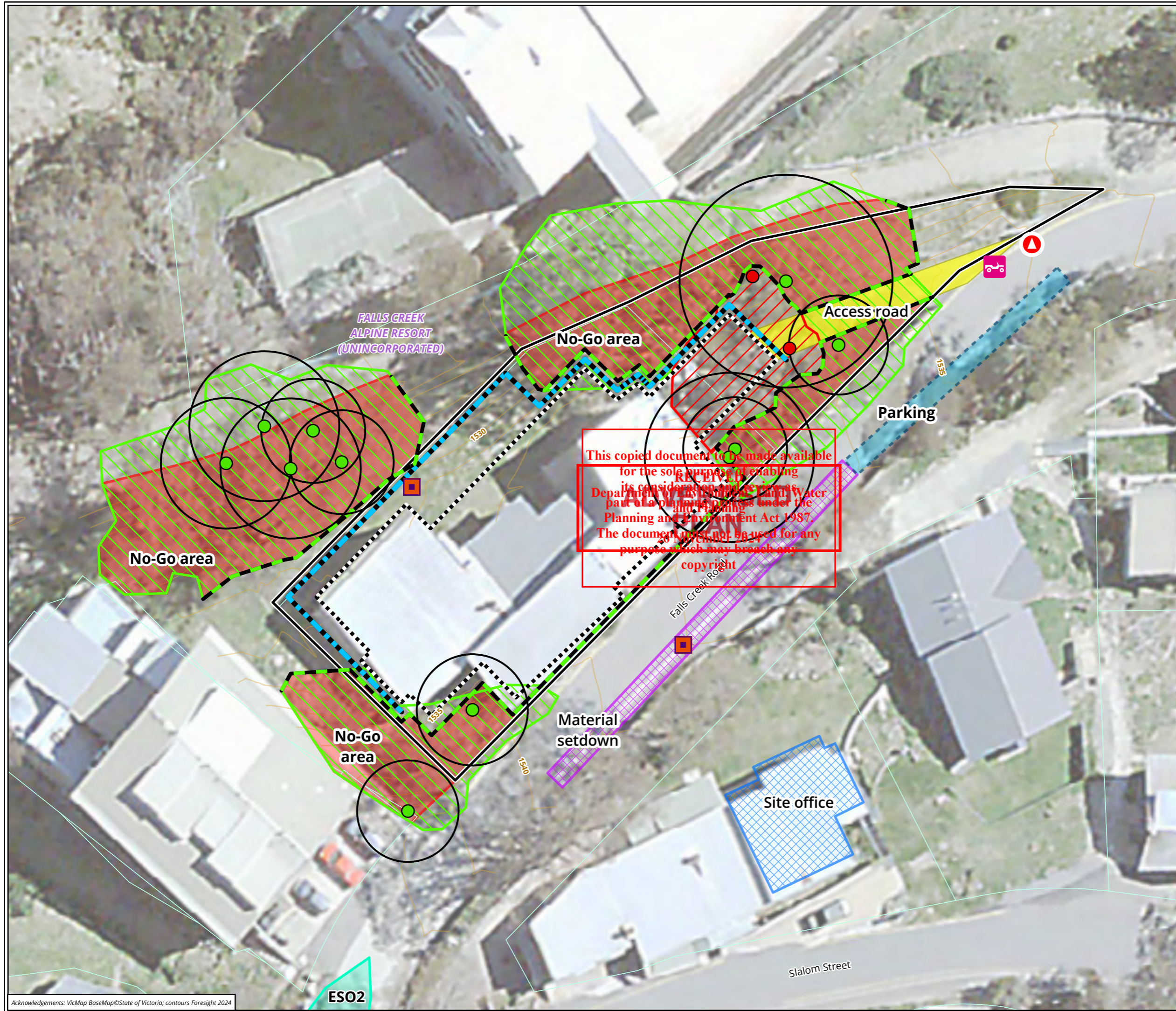
Contact the relevant RMB for indigenous plant suppliers and advice.

Note: Site rehabilitation is separate to any native vegetation offset requirements for native vegetation removal authorised by the planning permit.

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- Legend**
- Study area
 - Impact area
 - Environmental Significance Overlay (ESO)
 - Current parcel boundary
 - Contour (1 m)
- Construction management plan**
- Existing access road
 - Material setdown
 - Site office
 - No-Go Area
 - Parking
 - Construction exclusion fence
 - Sediment fence
 - Sealed rubbish and recycle bins
 - Site access
 - Vehicle hygiene hold point
- Native vegetation (EVC 43: sub-alpine woodland)**
- To be retained
 - Permitted to be removed
- Large patch trees**
- To be retained
 - Permitted to be removed
 - Tree protection zone (TPZ)

Figure 1 Construction management plan

0 5 10 15 20 N
Metres
Scale: 1:350 @ A3
Coordinate System: GDA2020 MGA Zone 55



Matter: 40067,
Date: 04 September 2024,
Prepared for: SH, Prepared by: SP, Last edited by: spanter
Layout: 40067_SEMP_F1_CMP
Project: P:\40000s\40067\Mapping\40067_Diana_Lodge_SEMP.aprx

ESO2

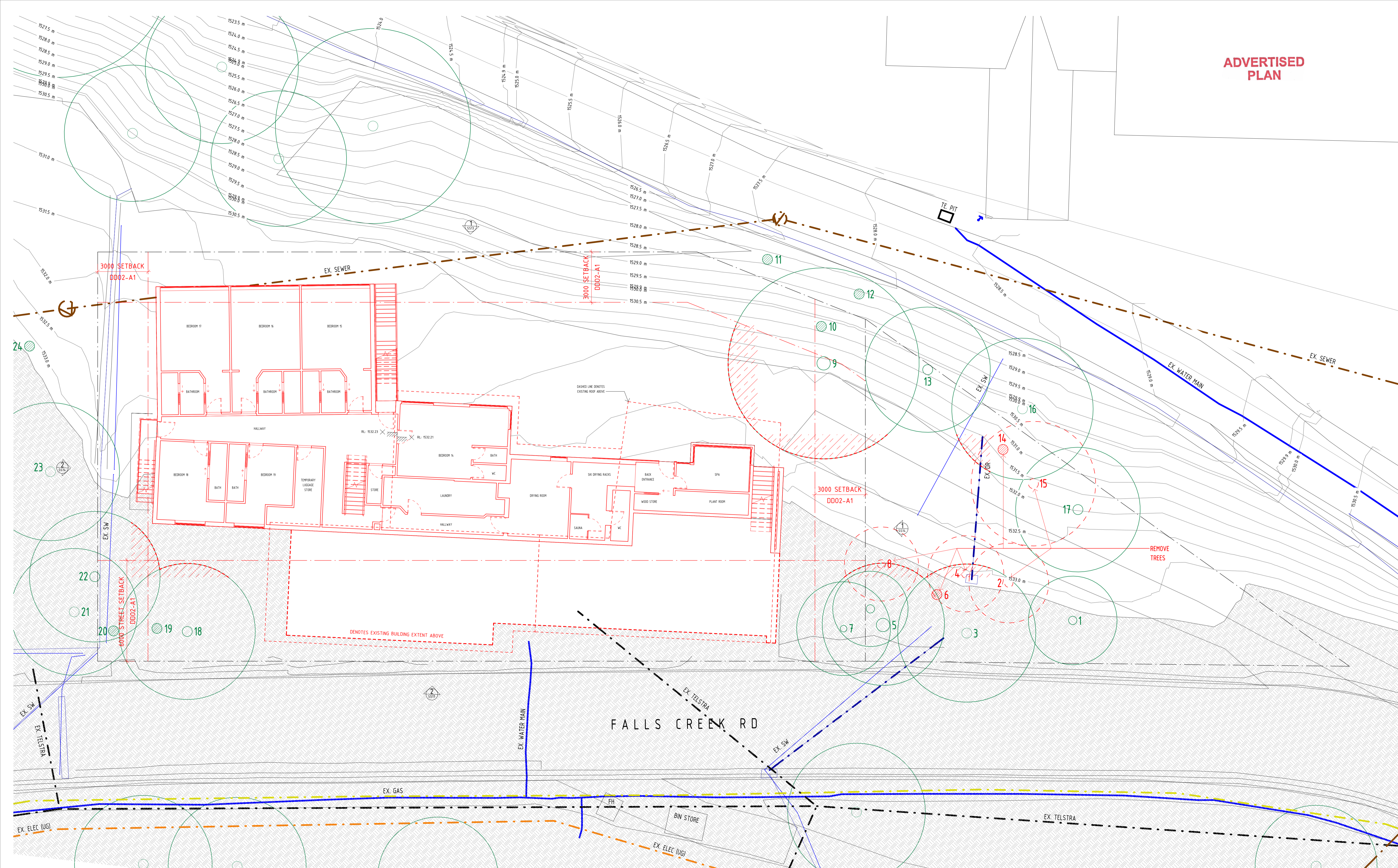
**ATTACHMENT 1:
Architectural Designs prepared by Send it Architecture (2024)**

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DENOTES 1M ZONE FOR TREE PRUNING

SERVICES LEGEND

	TELSTRA CABLE/ PIT
	SEWER
	DRAINAGE
	U/GROUND ELECTRICITY
	GAS MAIN
	WATER MAIN
	STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

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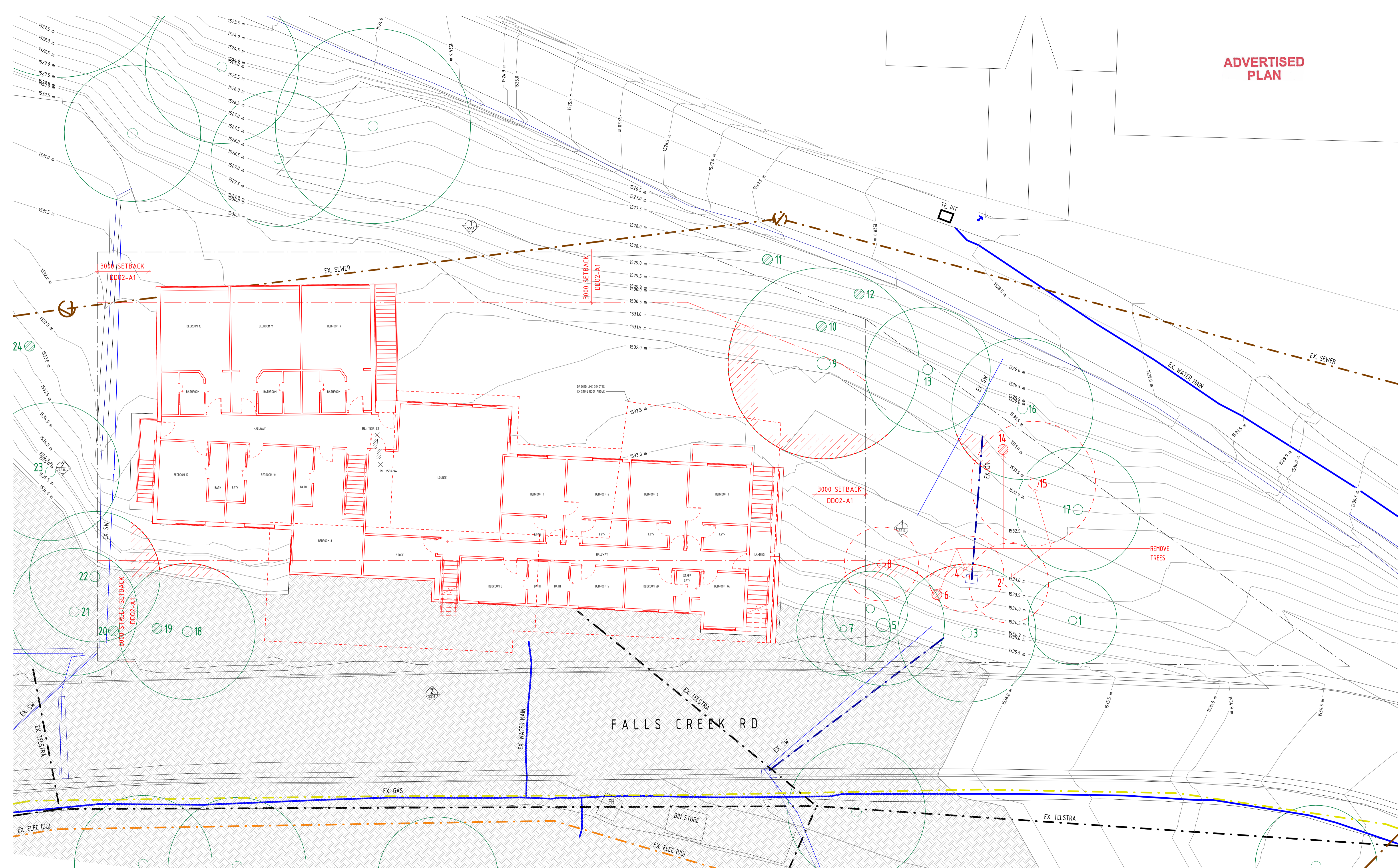
EX01 PROJECT No: 23
DATE: 24.07.2024
SCALE: As indicated@A1

6 FALLS CREEK RD

for **CANZONERI FAMILY**

EX./DEMO - GFL PLAN

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DENOTES 1M ZONE FOR TREE PRUNING

SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

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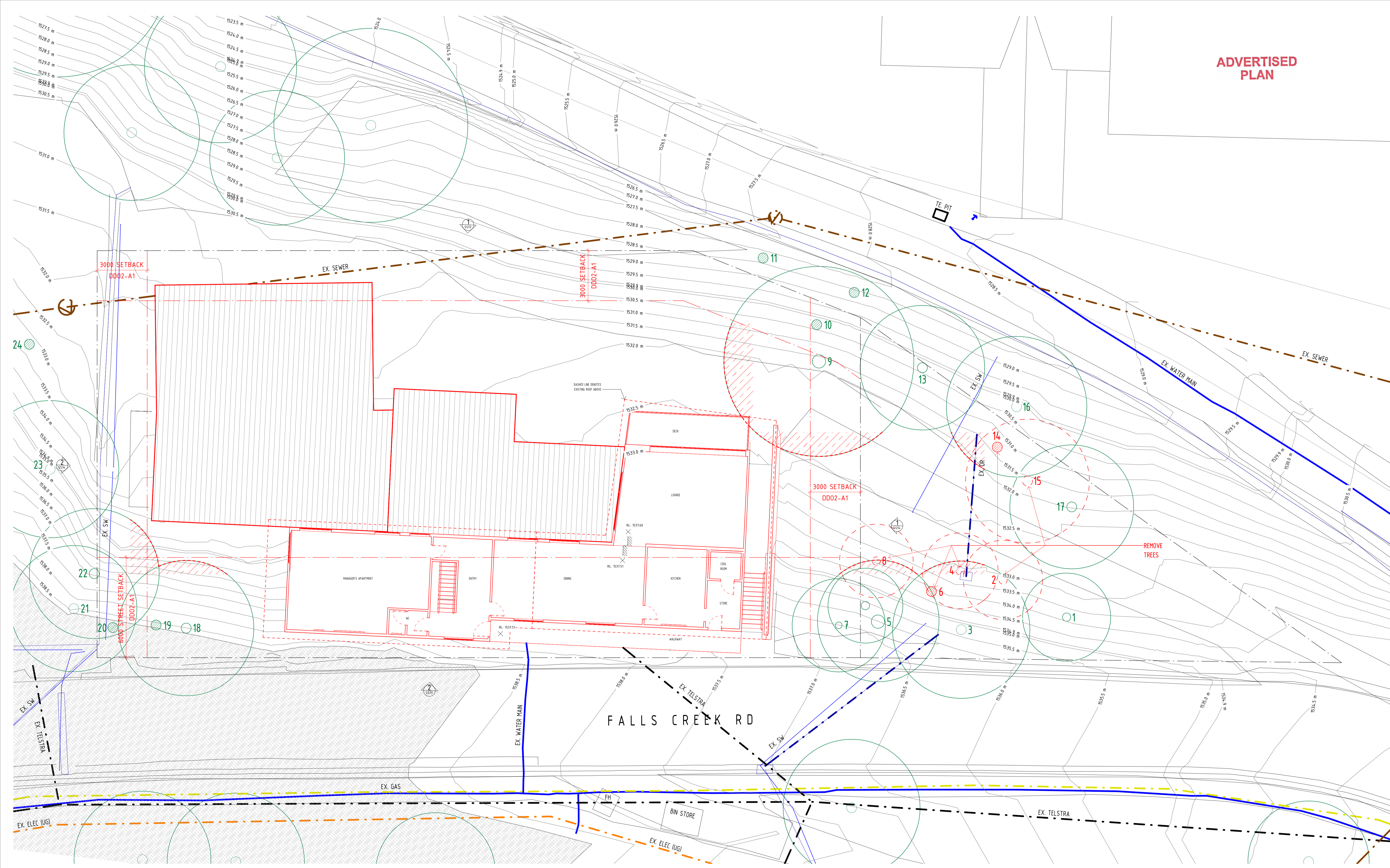
EX02 PROJECT No: 23
DATE: 24.07.2024
SCALE: As indicated@A1

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EX./DEMO - 1FL PLAN

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DENOTES 1M ZONE FOR TREE PRUNING

SERVICES LEGEND

	TELSTRA CABLE/ PIT
	SEWER
	DRAINAGE
	U/GROUND ELECTRICITY
	GAS MAIN
	WATER MAIN
	STORMWATER

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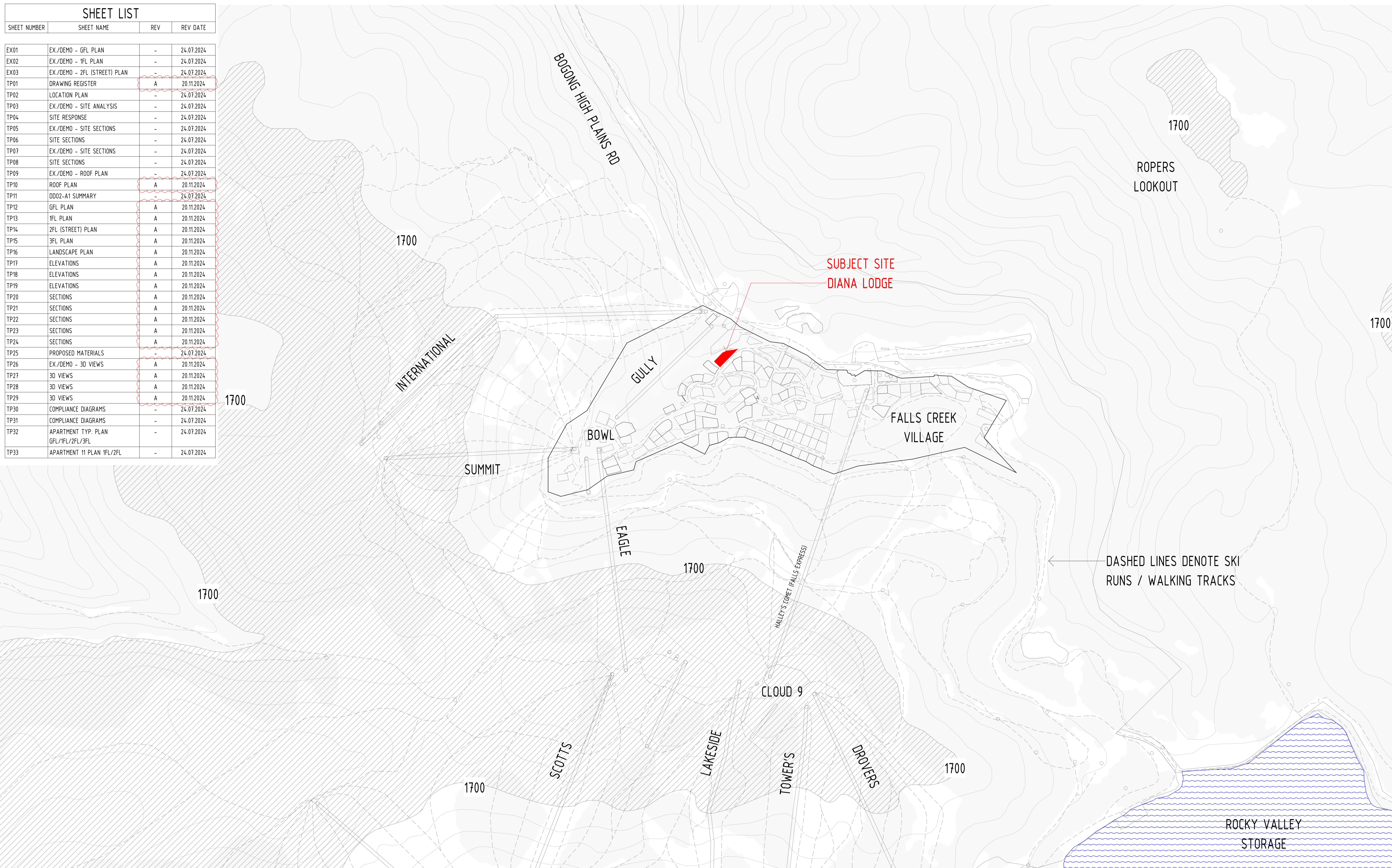
EX03 PROJECT No: 23
DATE: 24.07.2024
SCALE: As indicated@A1

6 FALLS CREEK RD

for CANZONERI FAMILY

EX./DEMO - 2FL (STREET) PLAN

SHEET LIST			
SHEET NUMBER	SHEET NAME	REV	REV DATE
EX01	EX./DEMO - GFL PLAN	-	24.07.2024
EX02	EX./DEMO - 1FL PLAN	-	24.07.2024
EX03	EX./DEMO - 2FL (STREET) PLAN	-	24.07.2024
TP01	DRAWING REGISTER	A	20.11.2024
TP02	LOCATION PLAN	-	24.07.2024
TP03	EX./DEMO - SITE ANALYSIS	-	24.07.2024
TP04	SITE RESPONSE	-	24.07.2024
TP05	EX./DEMO - SITE SECTIONS	-	24.07.2024
TP06	SITE SECTIONS	-	24.07.2024
TP07	EX./DEMO - SITE SECTIONS	-	24.07.2024
TP08	SITE SECTIONS	-	24.07.2024
TP09	EX./DEMO - ROOF PLAN	-	24.07.2024
TP10	ROOF PLAN	A	20.11.2024
TP11	DD02-A1 SUMMARY	-	24.07.2024
TP12	GFL PLAN	A	20.11.2024
TP13	1FL PLAN	A	20.11.2024
TP14	2FL (STREET) PLAN	A	20.11.2024
TP15	3FL PLAN	A	20.11.2024
TP16	LANDSCAPE PLAN	A	20.11.2024
TP17	ELEVATIONS	A	20.11.2024
TP18	ELEVATIONS	A	20.11.2024
TP19	ELEVATIONS	A	20.11.2024
TP20	SECTIONS	A	20.11.2024
TP21	SECTIONS	A	20.11.2024
TP22	SECTIONS	A	20.11.2024
TP23	SECTIONS	A	20.11.2024
TP24	SECTIONS	A	20.11.2024
TP25	PROPOSED MATERIALS	-	24.07.2024
TP26	EX./DEMO - 3D VIEWS	A	20.11.2024
TP27	3D VIEWS	A	20.11.2024
TP28	3D VIEWS	A	20.11.2024
TP29	3D VIEWS	A	20.11.2024
TP30	COMPLIANCE DIAGRAMS	-	24.07.2024
TP31	COMPLIANCE DIAGRAMS	-	24.07.2024
TP32	APARTMENT TYP. PLAN GFL/1FL/2FL/3FL	-	24.07.2024
TP33	APARTMENT 11 PLAN 1FL/2FL	-	24.07.2024



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20.11.2024

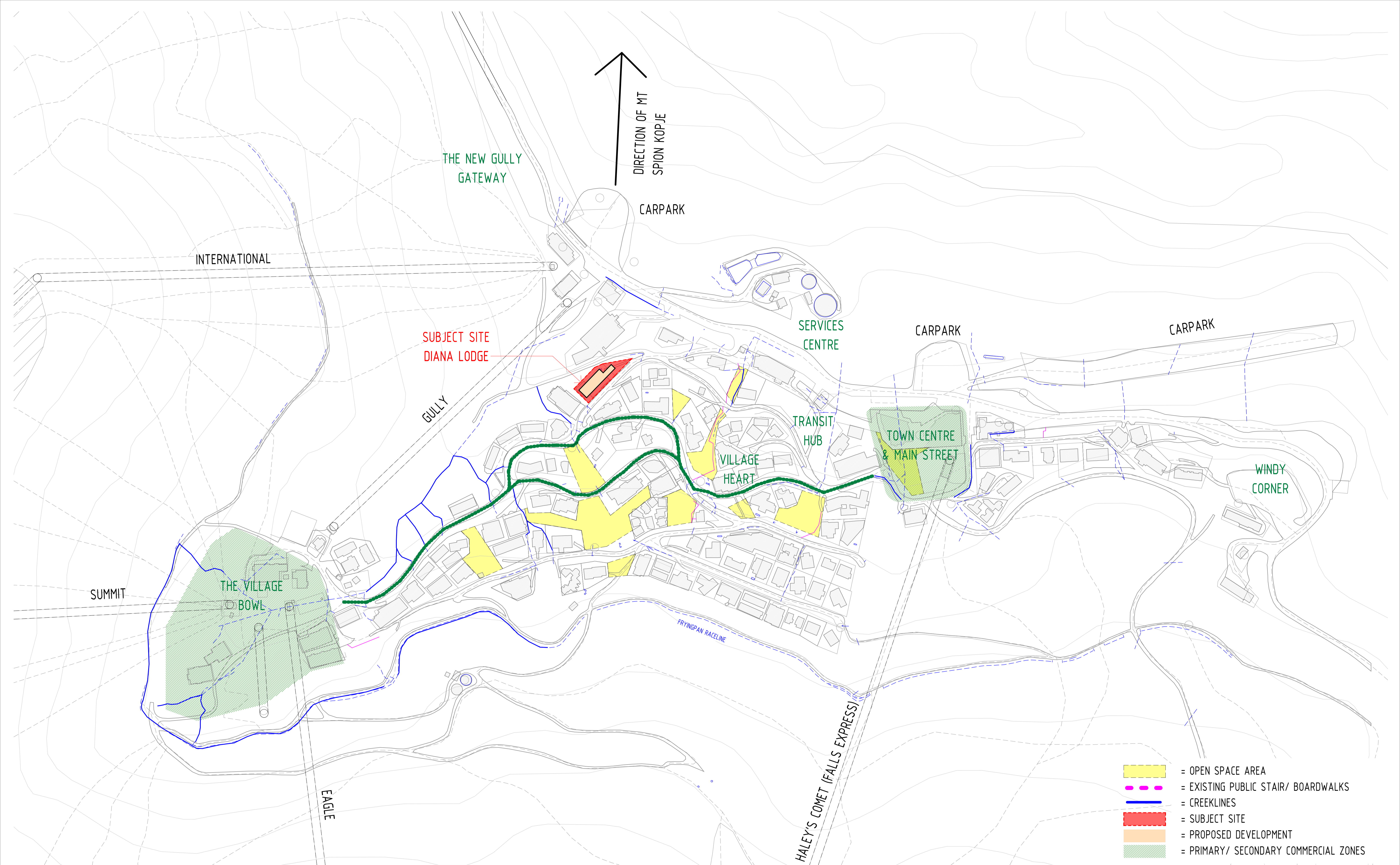
GENERAL NOTES

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		for CANZONERI FAMILY
TP01 <small>A</small>	PROJECT No: 23 DATE: 20.11.2024 SCALE: 1 : 5000@A1	DRAWING REGISTER



- = OPEN SPACE AREA
- = EXISTING PUBLIC STAIR/ BOARDWALKS
- = CREEKLINES
- = SUBJECT SITE
- = PROPOSED DEVELOPMENT
- = PRIMARY/ SECONDARY COMMERCIAL ZONES

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24.07.2024

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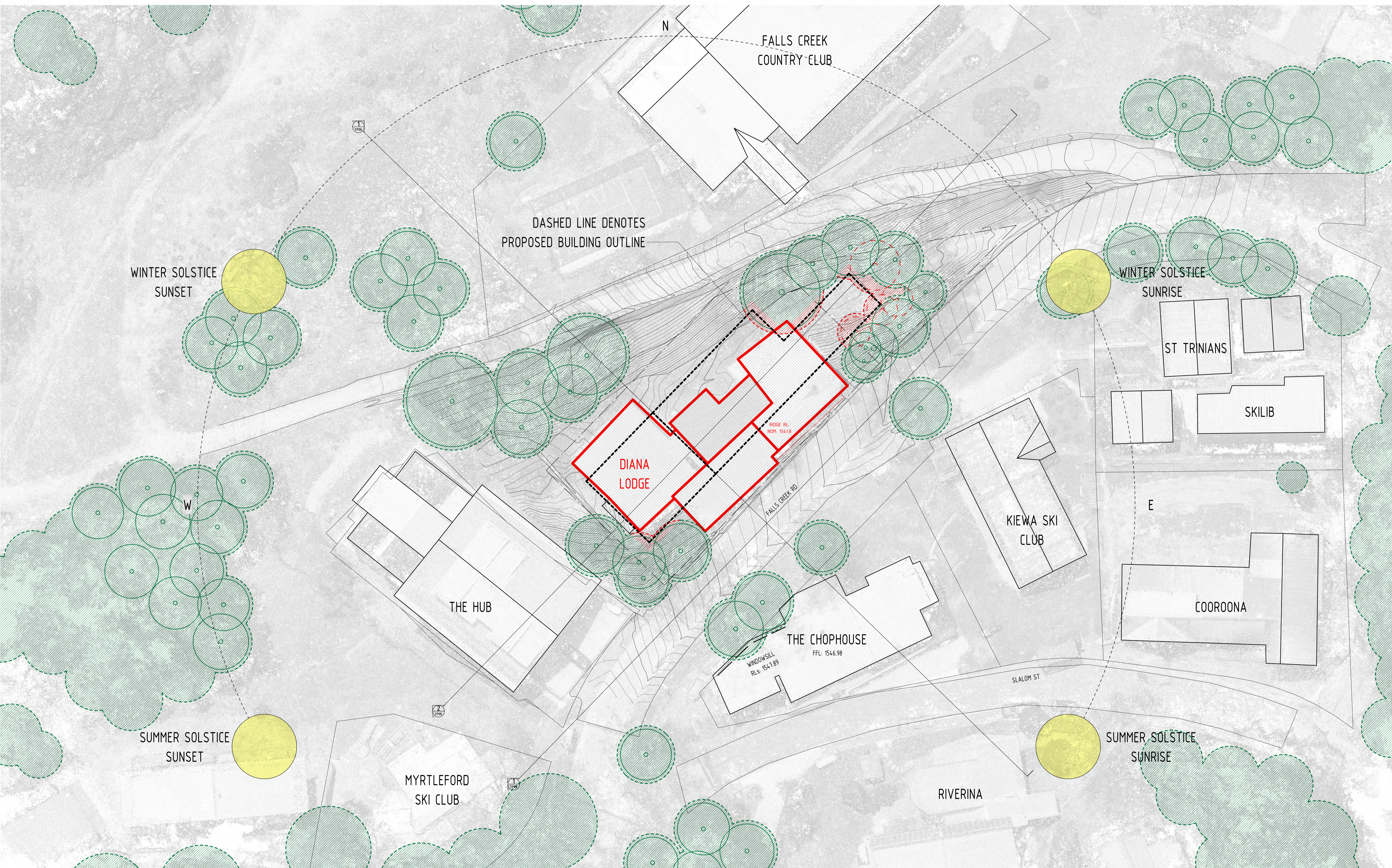
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TP02	PROJECT No: 23 DATE: 24.07.2024 SCALE: 1 : 2000@A1	LOCATION PLAN



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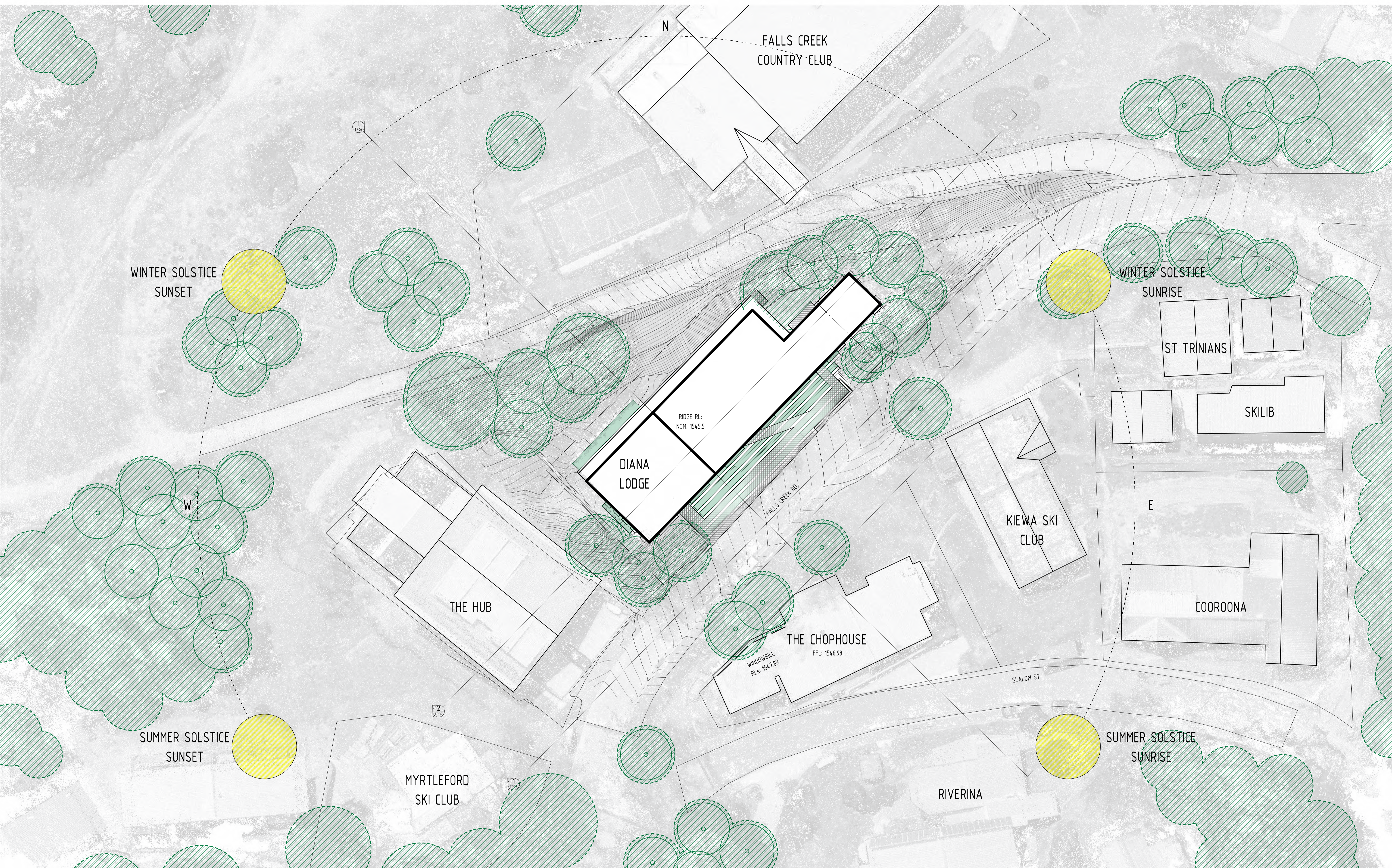
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-  DENOTES SUN
-  DENOTES TREE REMOVAL / PRUNING
-  DENOTES PROMINENT TREE CLUSTERS

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		for CANZONERI FAMILY
<p>TP03</p>	<p>PROJECT No: 23</p> <p>DATE: 24.07.2024</p> <p>SCALE: As indicated@A1</p>	EX./DEMO - SITE ANALYSIS



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GENERAL NOTES

24.07.2024

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- DENOTES SUN
- DENOTES TREE REMOVAL / PRUNING
- DENOTES PROMINENT TREE CLUSTERS

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		<p>TP04</p>	<p>PROJECT No: 23</p> <p>DATE: 24.07.2024</p> <p>SCALE: As indicated@A1</p>

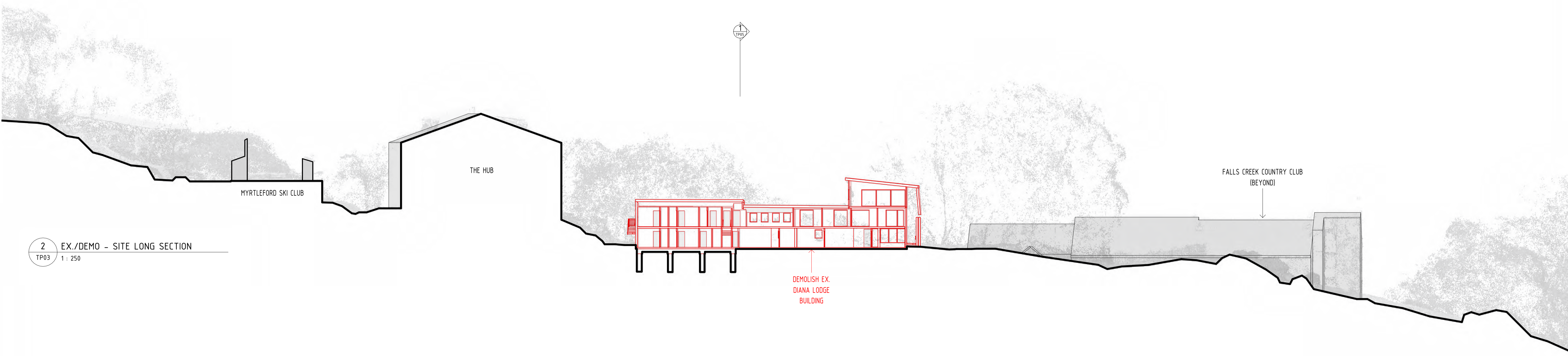
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1 EX./DEMO - SITE CROSS SECTION
TP03 1: 250

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2 EX./DEMO - SITE LONG SECTION
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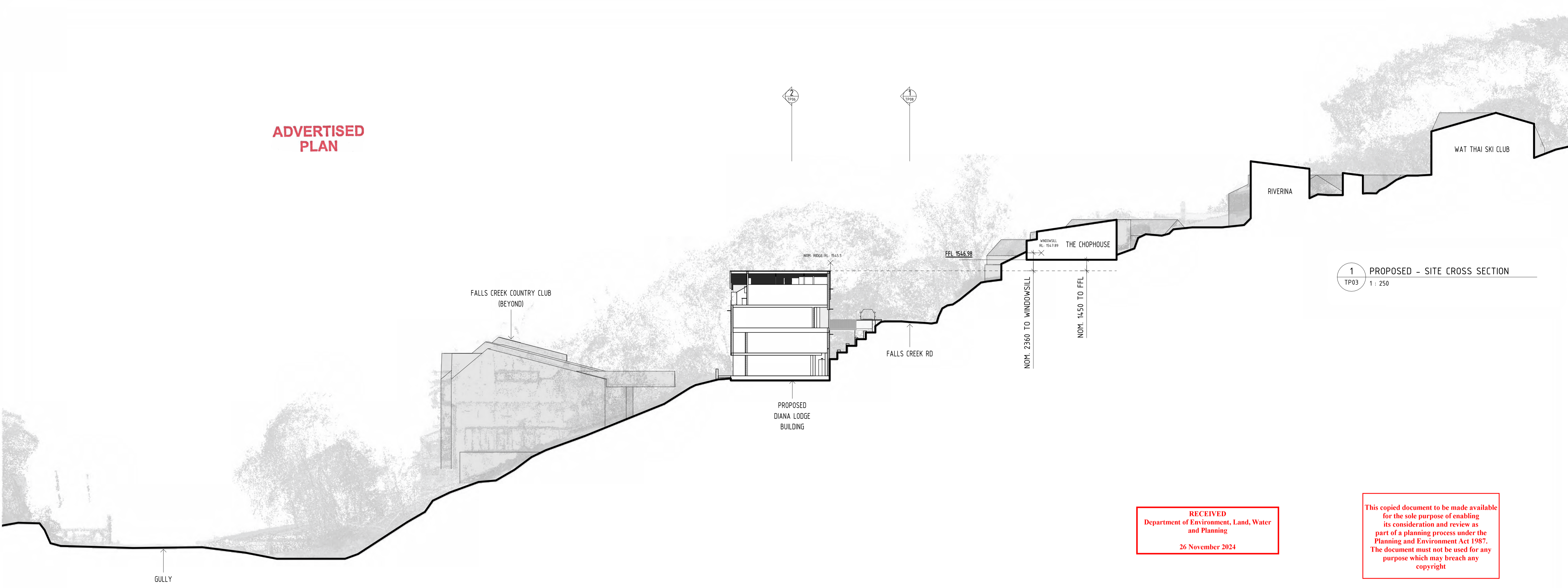
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6 FALLS CREEK RD
for CANZONERI FAMILY
EX./DEMO - SITE SECTIONS

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1 PROPOSED - SITE CROSS SECTION
TP03 1: 250

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2 PROPOSED - SITE LONG SECTION
TP03 1: 250

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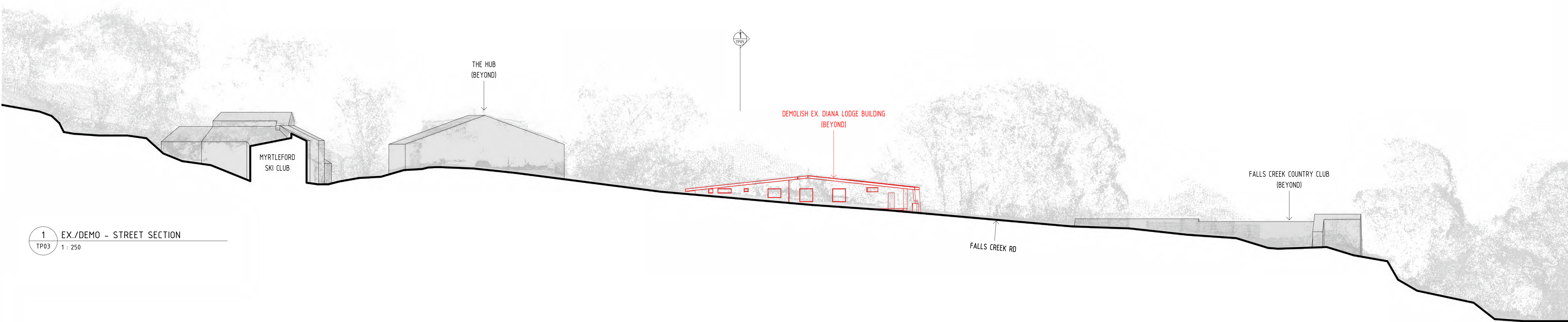
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6 FALLS CREEK RD
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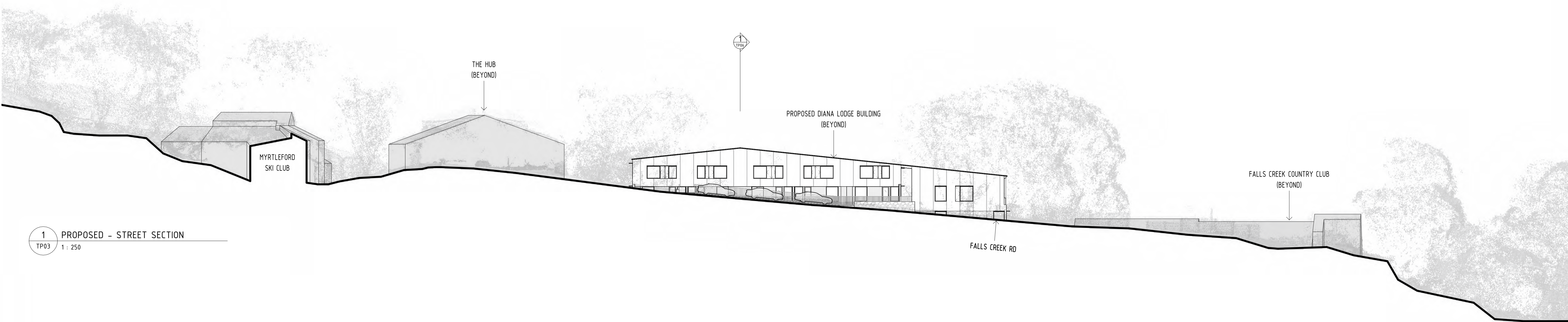
1 EX./DEMO - STREET SECTION
 TP03 1 : 250

<p>ISSUES</p> <p>- ISSUED FOR TOWN PLANNING</p>	<p>GENERAL NOTES</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p> <p>24.07.2024</p>	<p>NMBW</p> <p>SENDIT.ARCHI</p> <p><small>NMBW Architecture Studio NMBW Pty Ltd ACN No. 079 825 488 2 / 78 Warr Street Fitzroy, Victoria 3065 Tel: +61 3 9093 7800 Email: nmbw@nmbw.com.au</small></p> <p><small>Sendit.Architects ABN 85 641 365 618 PO Box 624 Mount Beauty, Victoria 3699 Tel: +61 3 449 344 084 Email: andy@sendit.archi</small></p>	<p>6 FALLS CREEK RD</p> <p>for CANZONERI FAMILY</p> <p>EX./DEMO - SITE SECTIONS</p>
		<p>TP07 PROJECT No: 23</p> <p>DATE: 24.07.2024</p> <p>SCALE: 1 : 250@A1</p>	

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1 PROPOSED - STREET SECTION
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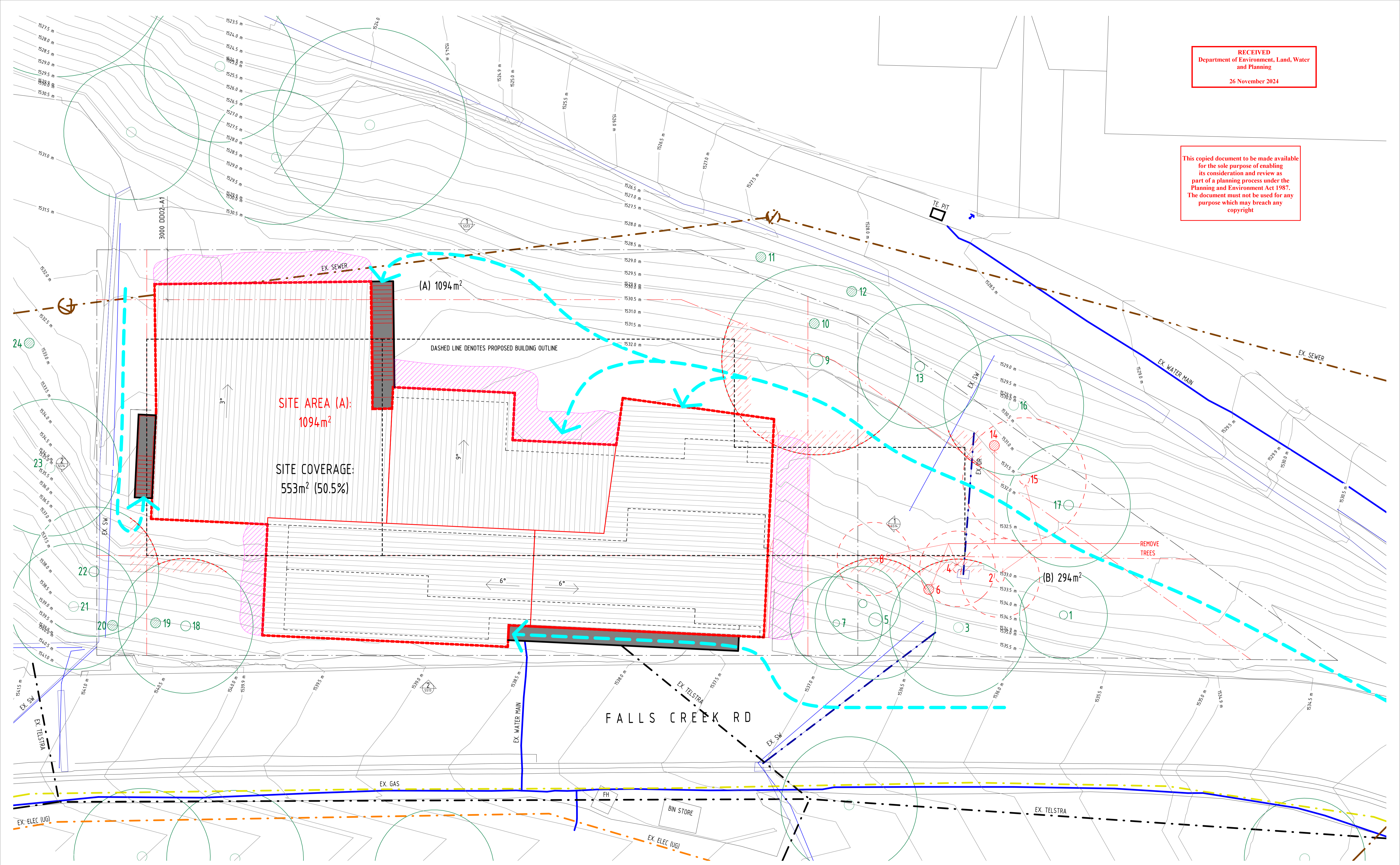
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SNOW + MOVEMENT LEGEND

	SNOW SHED
	PEDESTRIAN PATHWAYS
	PEDESTRIAN PATHWAYS - SUMMER

DENOTES 1M ZONE FOR TREE PRUNING

SERVICES LEGEND

	TELSTRA CABLE/ PIT
	SEWER
	DRAINAGE
	U/GROUND ELECTRICITY
	GAS MAIN
	WATER MAIN
	STORMWATER

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

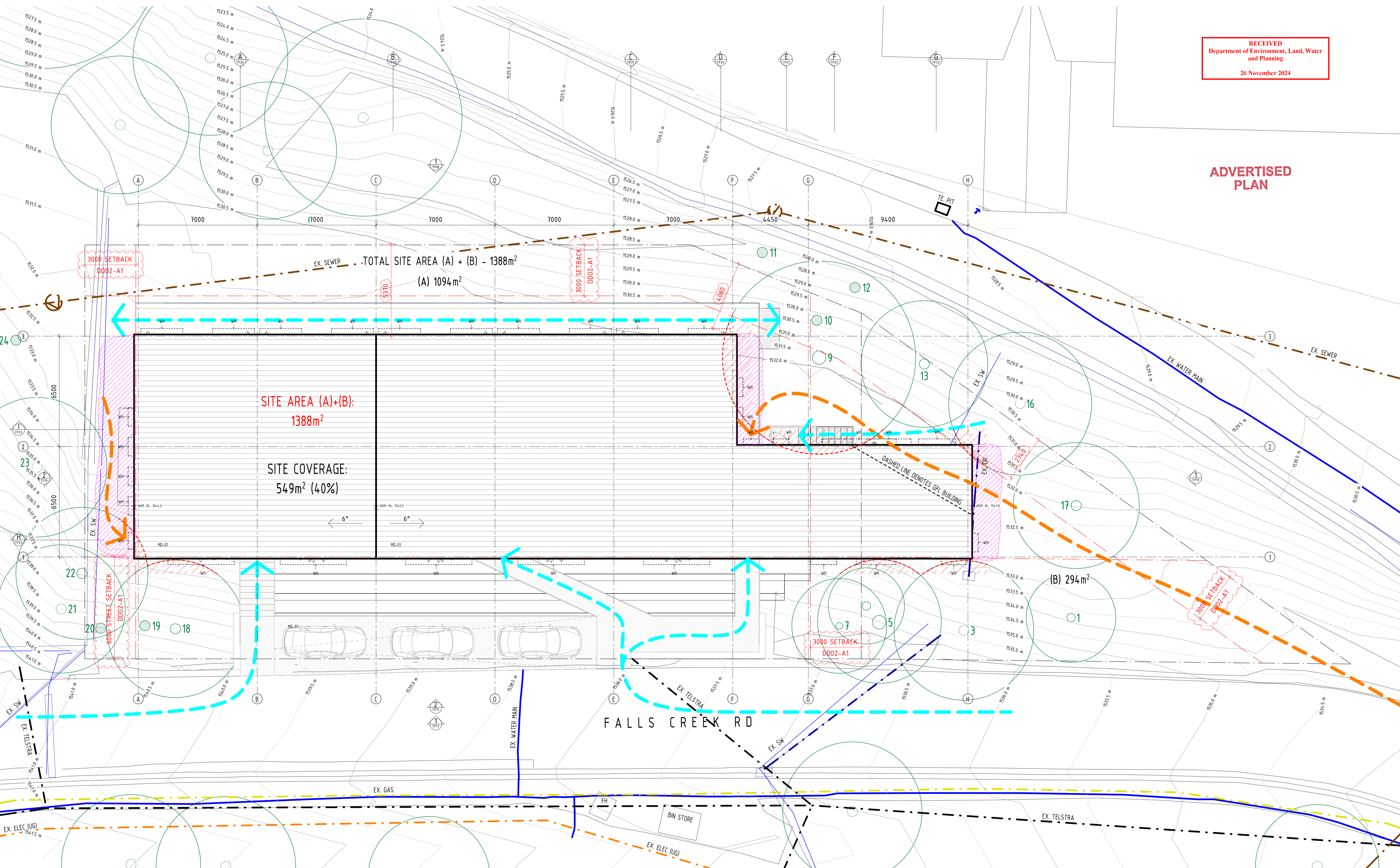
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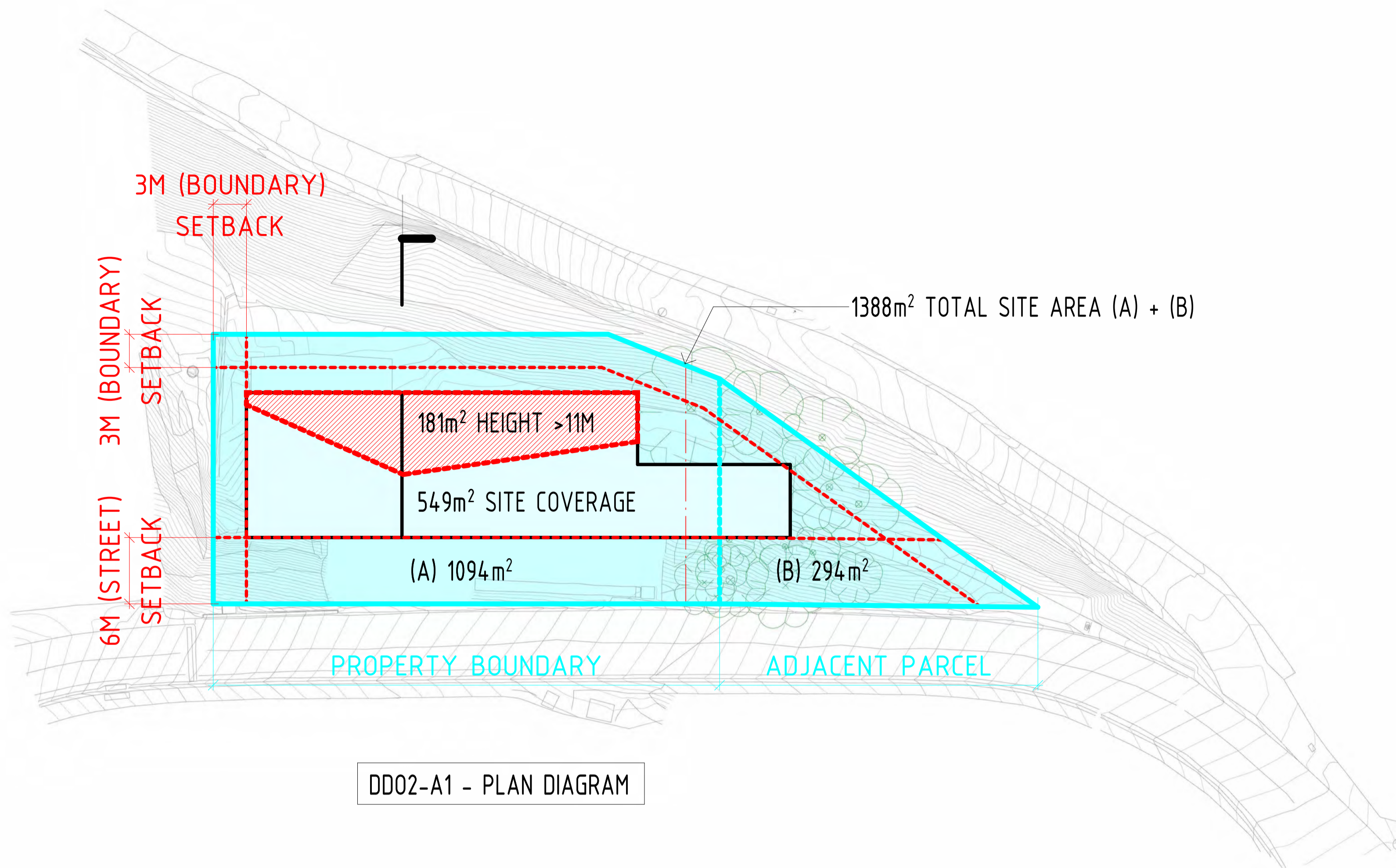
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DATE: 24.07.2024
SCALE: As indicated@A1

6 FALLS CREEK RD
for CANZONERI FAMILY
EX./DEMO - ROOF PLAN

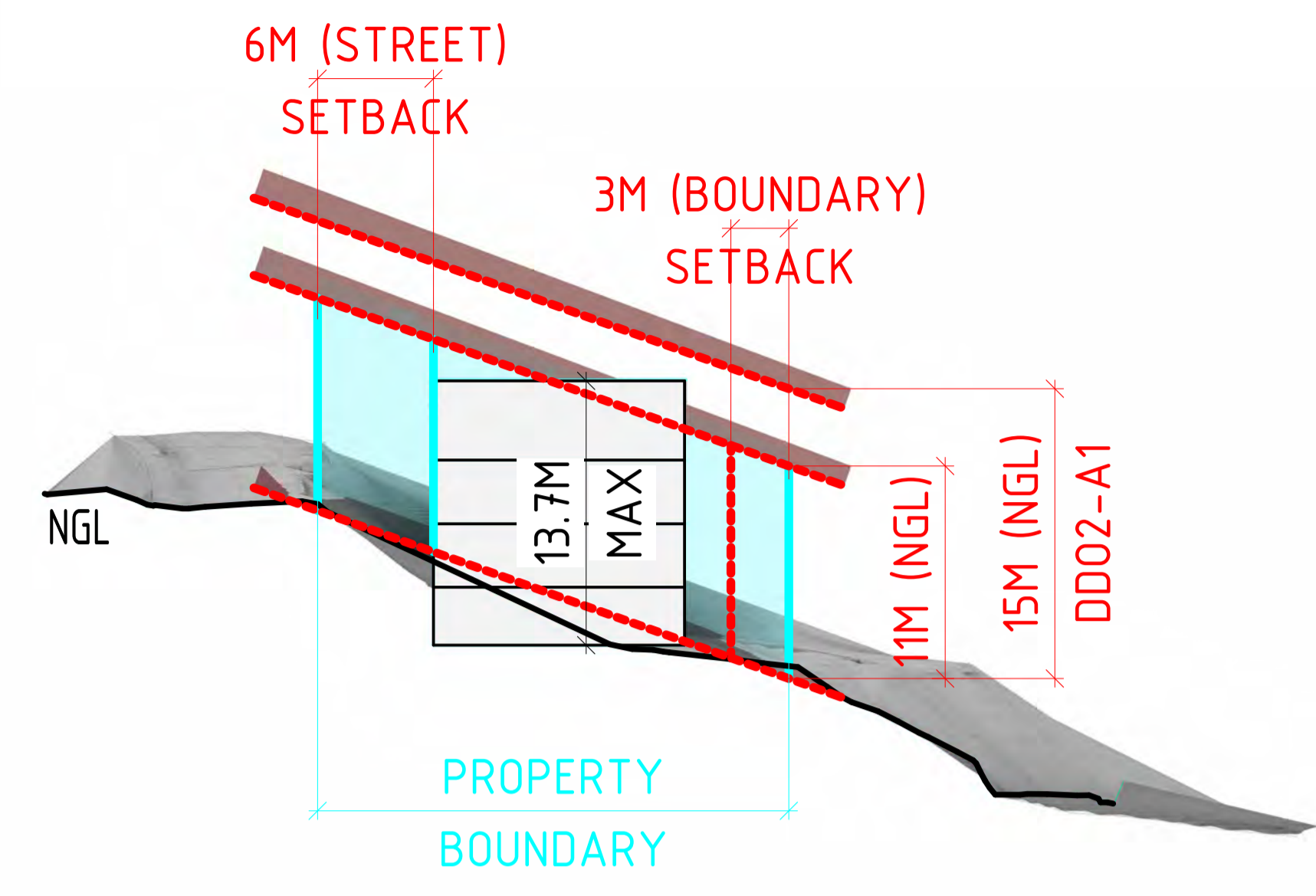
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CO-01 Precast Concrete	MC-01 Metal Cladding 01																			
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ST-02 Gabion Wall	WH Window (+Door) Hood																			



DD02-A1 - PLAN DIAGRAM



DD02-A1 - SECTION DIAGRAM

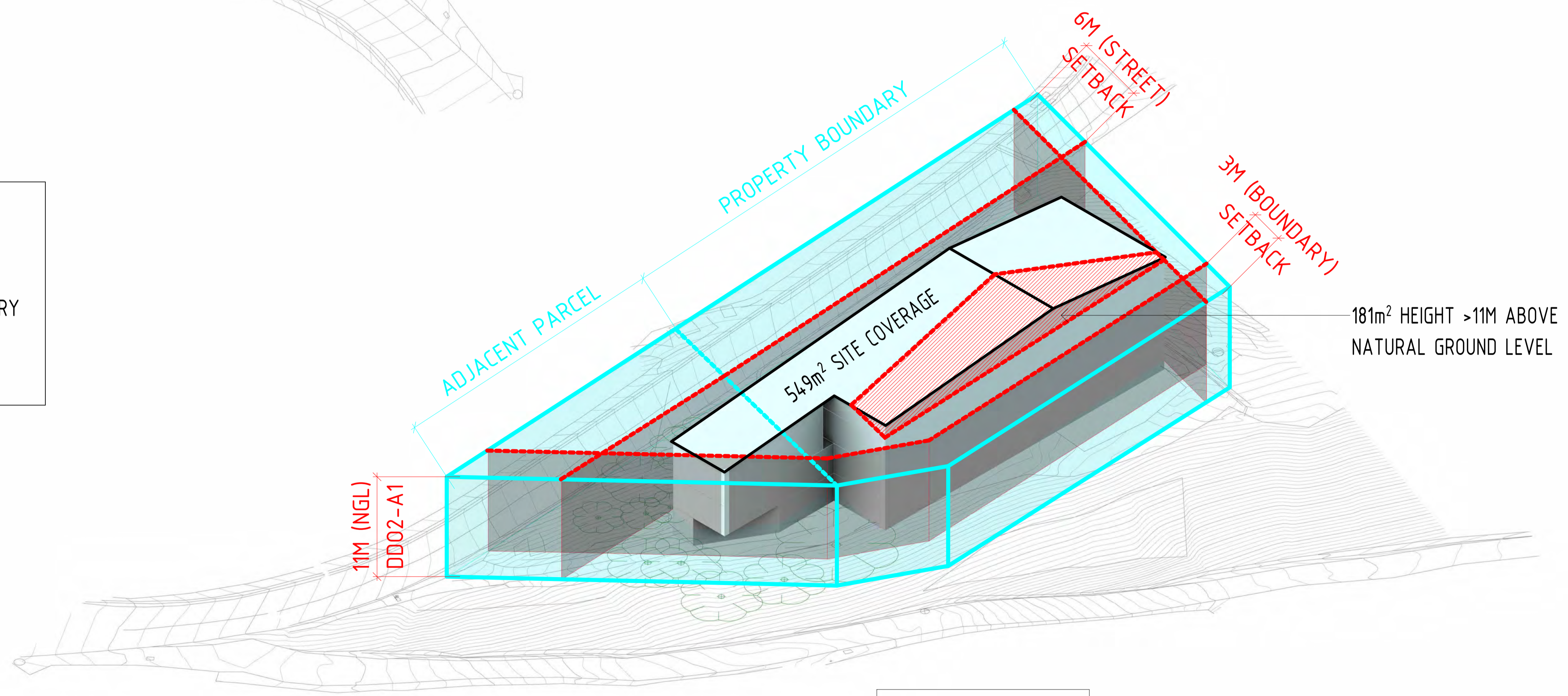
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HEIGHT > 11M	$(181/549) \times 100 = 32.97\%$
SETBACKS	6M FROM BOUNDARY WITH ROAD 3M FROM ANY OTHER SITE BOUNDARY
SITE COVERAGE	$(549/1388) \times 100 = 39.55\%$

DD02-A1 - DEVELOPMENT SUMMARY

1 DD02-A1 (DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 2)
1 : 300

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DD02-A1 - 3D DIAGRAM

ISSUES	GENERAL NOTES
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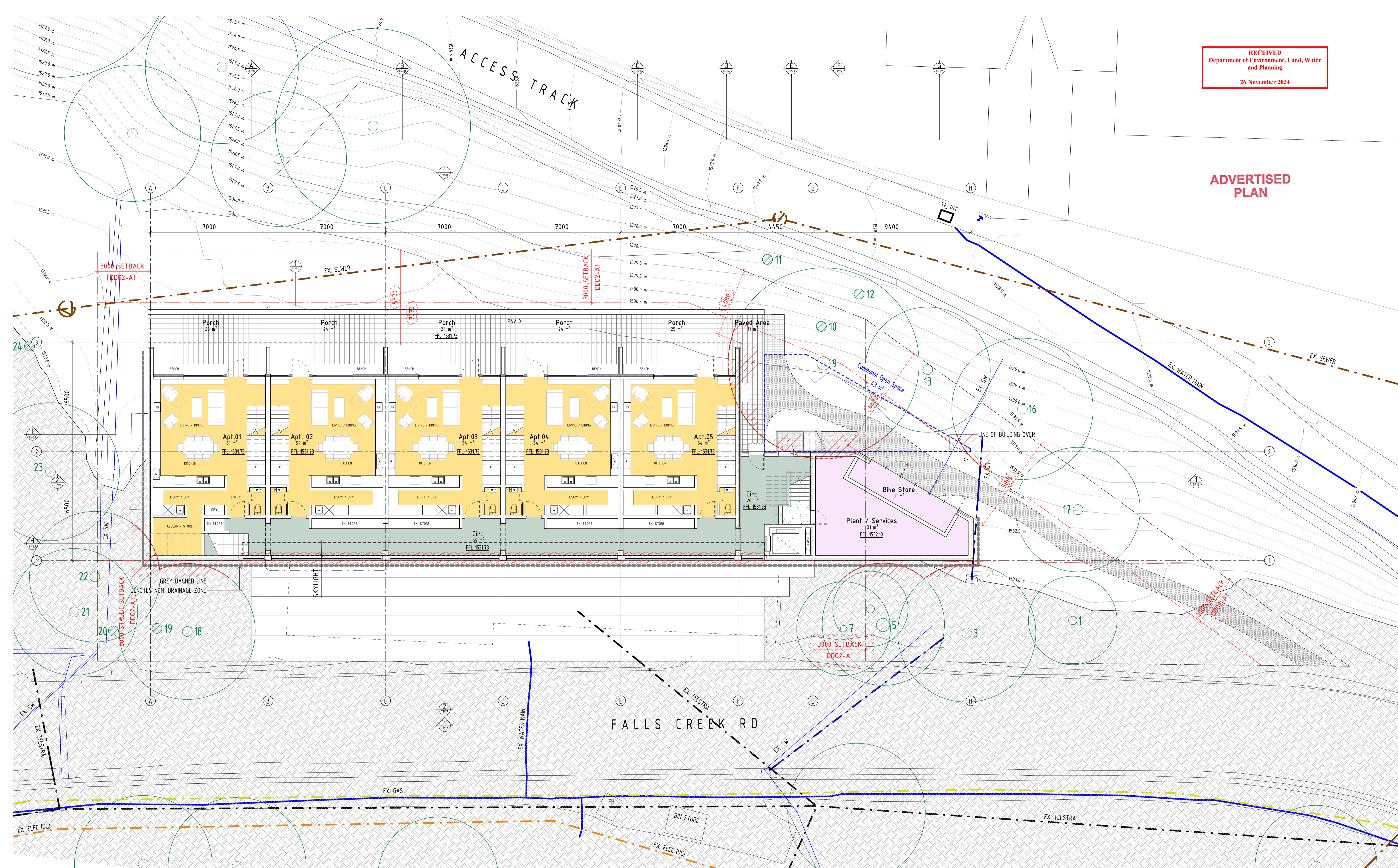
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DATE: 24.07.2024
SCALE: 1 : 300@A1

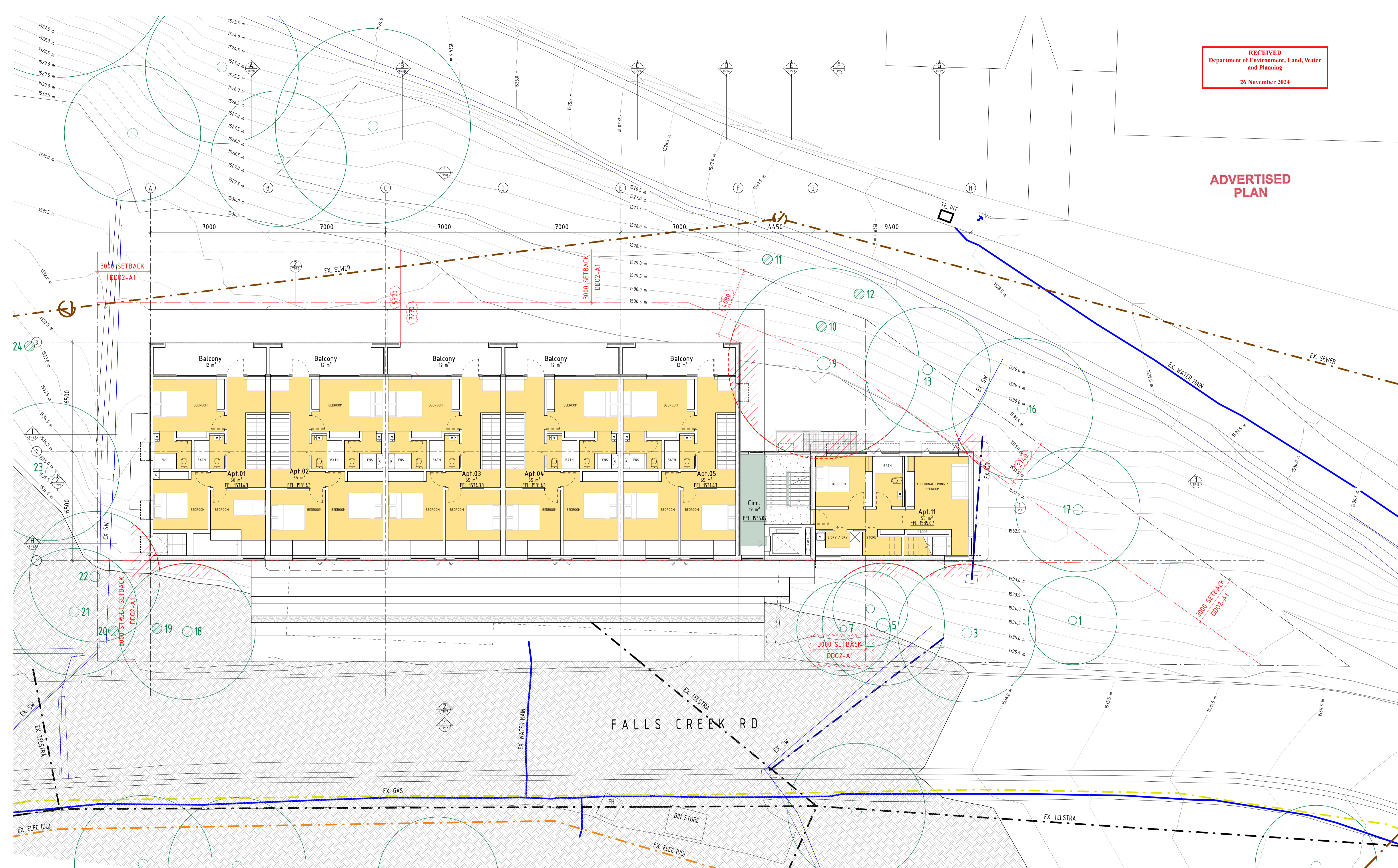
6 FALLS CREEK RD
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DD02-A1 SUMMARY

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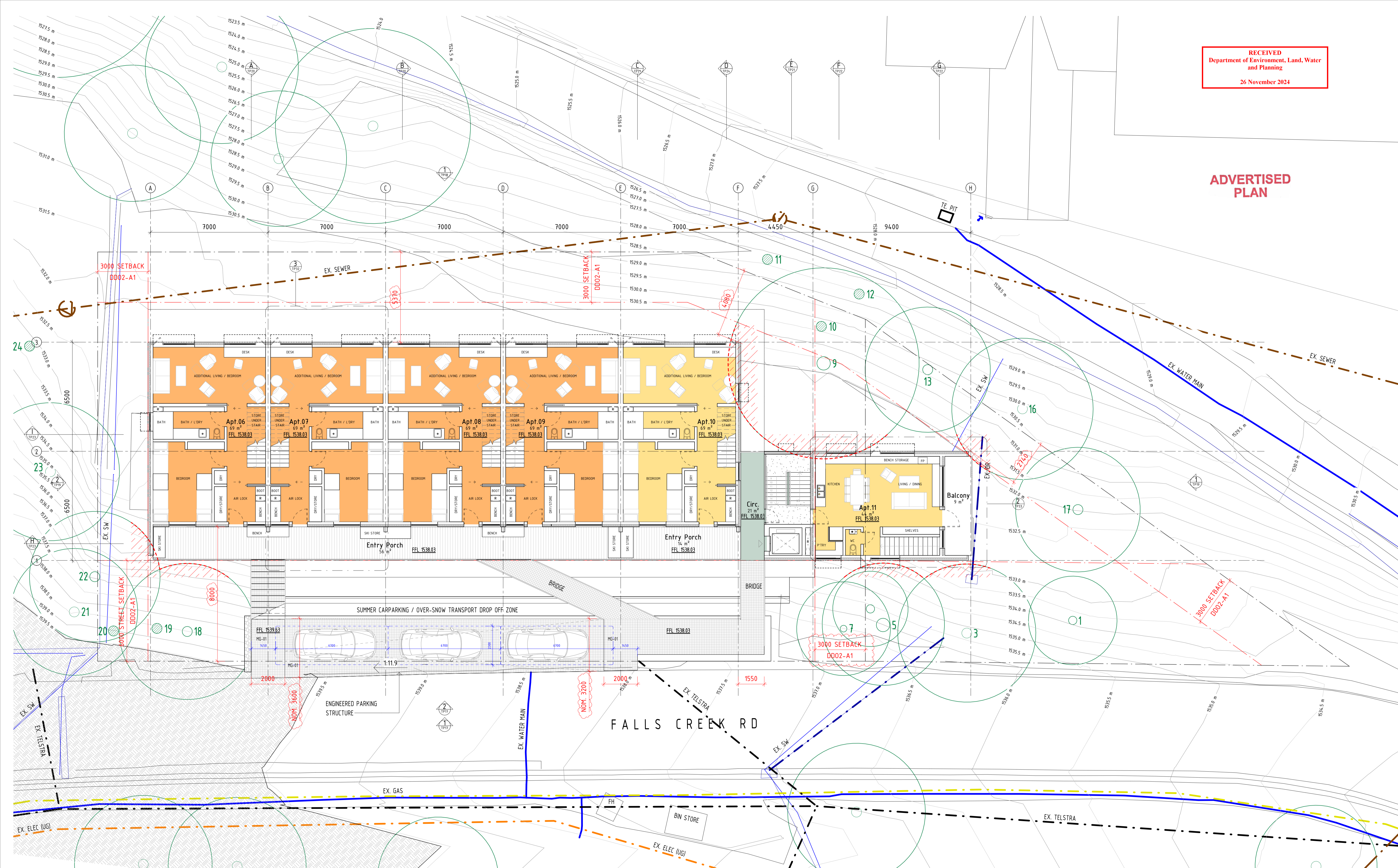
<p>ISSUES</p> <p>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p>	<p>GENERAL NOTES</p> <p>24.07.2024 20.11.2024</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p>	<p>LEGEND</p> <table border="0"> <tr> <td>CO-01</td> <td>Precast Concrete</td> <td>MC-01</td> <td>Metal Cladding 01</td> </tr> <tr> <td>STR-TM</td> <td>Structural Timber</td> <td>MC-02</td> <td>Metal Flat Sheet</td> </tr> <tr> <td>TC-01</td> <td>Timber Cladding</td> <td>MD-01</td> <td>Metal Deck 01</td> </tr> <tr> <td>GL</td> <td>Glass</td> <td>BA-01</td> <td>Balustrade 01</td> </tr> <tr> <td>FT-01</td> <td>Facade Type 01</td> <td>MG-01</td> <td>Metal Grating</td> </tr> <tr> <td>ST-01</td> <td>Stone Wall</td> <td>PAV-01</td> <td>Permeable Paving</td> </tr> <tr> <td>ST-02</td> <td>Gabion Wall</td> <td>WH</td> <td>Window (+Door) Hood</td> </tr> </table>	CO-01	Precast Concrete	MC-01	Metal Cladding 01	STR-TM	Structural Timber	MC-02	Metal Flat Sheet	TC-01	Timber Cladding	MD-01	Metal Deck 01	GL	Glass	BA-01	Balustrade 01	FT-01	Facade Type 01	MG-01	Metal Grating	ST-01	Stone Wall	PAV-01	Permeable Paving	ST-02	Gabion Wall	WH	Window (+Door) Hood	<p>SERVICES LEGEND</p> <table border="0"> <tr> <td>---</td> <td>TELSTRA CABLE/ PIT</td> </tr> <tr> <td>---</td> <td>SEWER</td> </tr> <tr> <td>---</td> <td>DRAINAGE</td> </tr> <tr> <td>---</td> <td>UGROUND ELECTRICITY</td> </tr> <tr> <td>---</td> <td>GAS MAIN</td> </tr> <tr> <td>---</td> <td>WATER MAIN</td> </tr> <tr> <td>---</td> <td>STORMWATER</td> </tr> </table> <p>NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY</p>	---	TELSTRA CABLE/ PIT	---	SEWER	---	DRAINAGE	---	UGROUND ELECTRICITY	---	GAS MAIN	---	WATER MAIN	---	STORMWATER	<p>ISSUES</p> <p>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p>	<p>GENERAL NOTES</p> <p>24.07.2024 20.11.2024</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p>	<p>LEGEND</p> <table border="0"> <tr> <td>---</td> <td>TELSTRA CABLE/ PIT</td> </tr> <tr> <td>---</td> <td>SEWER</td> </tr> <tr> <td>---</td> <td>DRAINAGE</td> </tr> <tr> <td>---</td> <td>UGROUND ELECTRICITY</td> </tr> <tr> <td>---</td> <td>GAS MAIN</td> </tr> <tr> <td>---</td> <td>WATER MAIN</td> </tr> <tr> <td>---</td> <td>STORMWATER</td> </tr> </table> <p>NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY</p>	---	TELSTRA CABLE/ PIT	---	SEWER	---	DRAINAGE	---	UGROUND ELECTRICITY	---	GAS MAIN	---	WATER MAIN	---	STORMWATER	<p>ISSUES</p> <p>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p>
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<p>TP13</p>	<p>PROJECT No: 23 DATE: 20.11.2024 SCALE: As indicated@A1</p>	<p>1FL PLAN</p>

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PLAN



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24.07.2024 20.11.2024

GENERAL NOTES
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LEGEND	
CO-01 Precast Concrete	MC-01 Metal Cladding 01
STR-TM Structural Timber	MC-02 Metal Flat Sheet
TC-01 Timber Cladding	MD-01 Metal Deck 01
GL Glass	BA-01 Balustrade 01
FT-01 Facade Type 01	MG-01 Metal Grating
ST-01 Stone Wall	PAV-01 Permeable Paving
ST-02 Gabion Wall	WH Window (+Door) Hood

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SERVICES LEGEND	
--- TELSTRA CABLE/ PIT	--- SEWER
--- DRAINAGE	--- U/GROUND ELECTRICITY
--- GAS MAIN	--- WATER MAIN
--- STORMWATER	

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

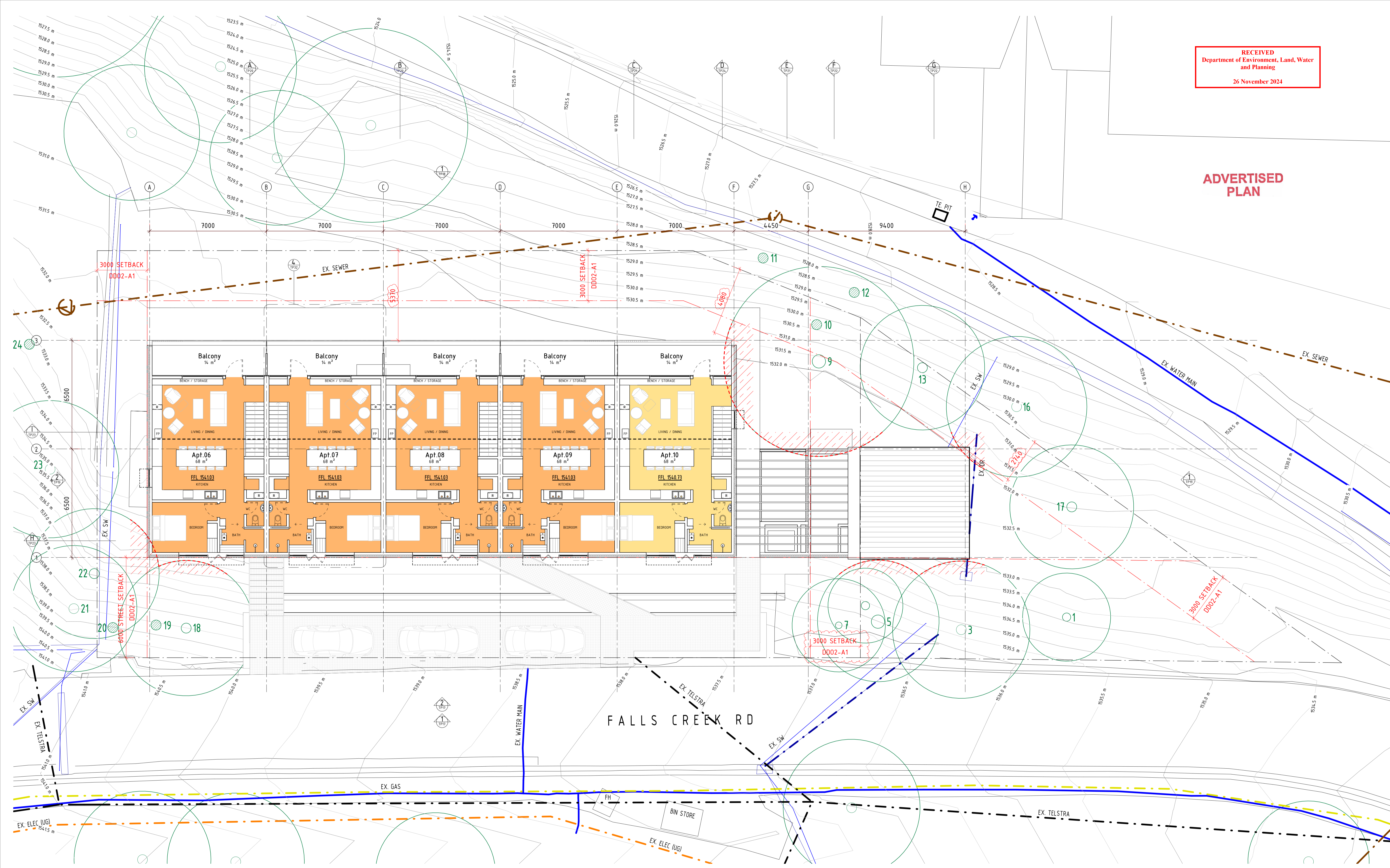
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TP14
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DATE: 20.11.2024
SCALE: As indicated@A1

6 FALLS CREEK RD
for CANZONERI FAMILY
2FL (STREET) PLAN

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PLAN



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20.11.2024

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WH	Window (+Door) Hood

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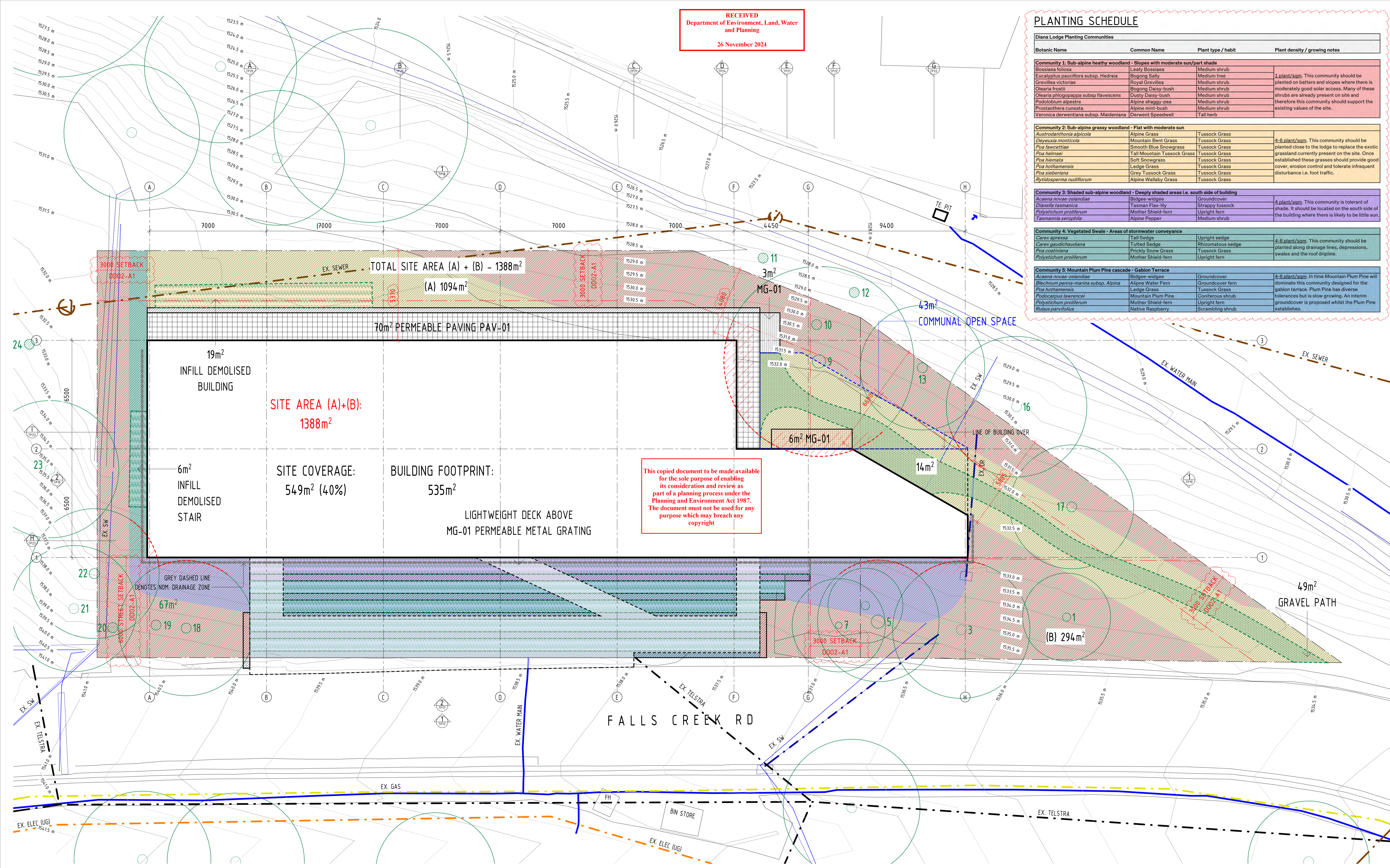
SERVICES LEGEND	
	TELSTRA CABLE/ PIT
	SEWER
	DRAINAGE
	U/GROUND ELECTRICITY
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		<p>TP15</p> <p>PROJECT No: 23</p> <p>DATE: 20.11.2024</p> <p>SCALE: As indicated@A1</p>

PLANTING SCHEDULE

Botanic Name	Common Name	Plant type / habit	Plant density / growing notes
Community 1: Sub-alpine heathy woodland - Slopes with moderate sun/part shade			
<i>Bossiaea foliosa</i>	Leafy Bossiaea	Medium shrub	1 plant/sqm. This community should be planted on batters and slopes where there is moderately good solar access. Many of these shrubs are already present on site and therefore this community should support the existing values of the site.
<i>Eucalyptus pauciflora</i> subsp. <i>Hedraia</i>	Bogong Sally	Medium tree	
<i>Grevillea victoriae</i>	Royal Grevillea	Medium shrub	
<i>Olearia froatii</i>	Bogong Daisy-bush	Medium shrub	
<i>Olearia phlogopappa</i> subsp. <i>flavescens</i>	Dusty Daisy-bush	Medium shrub	
<i>Podolobium alpestre</i>	Alpine shaggy-pea	Medium shrub	
<i>Prostanthera cuneata</i>	Alpine mint-bush	Medium shrub	
<i>Veronica derwentiana</i> subsp. <i>Maideniana</i>	Derwent Speedwell	Tall herb	
Community 2: Sub-alpine grassy woodland - Flat with moderate sun			
<i>Austrodanthonia alpicola</i>	Alpine Grass	Tussock Grass	4-6 plant/sqm. This community should be planted close to the lodge to replace the exotic grassland currently present on the site. Once established these grasses should provide good cover, erosion control and tolerate infrequent disturbance i.e. foot traffic.
<i>Deeyuxia monticola</i>	Mountain Bent Grass	Tussock Grass	
<i>Poa fauwettiae</i>	Smooth Blue Snowgrass	Tussock Grass	
<i>Poa helmsei</i>	Tall Mountain Tussock Grass	Tussock Grass	
<i>Poa hiemata</i>	Soft Snowgrass	Tussock Grass	
<i>Poa hothamensis</i>	Ledge Grass	Tussock Grass	
<i>Poa siberiana</i>	Grey Tussock Grass	Tussock Grass	
<i>Rhizodesperma nudiflorum</i>	Alpine Wallaby Grass	Tussock Grass	
Community 3: Shaded sub-alpine woodland - Deeply shaded areas i.e. south side of building			
<i>Acena novae-zelandiae</i>	Bidgee-widgee	Groundcover	4 plant/sqm. This community is tolerant of shade. It should be located on the south side of the building where there is likely to be little sun.
<i>Dianella tasmanica</i>	Tasman Flax-lily	Strappy tussock	
<i>Polystichum proflerum</i>	Mother Shield-fern	Upright fern	
<i>Tasmanina xerophila</i>	Alpine Pepper	Medium shrub	
Community 4: Vegetated Swale - Areas of stormwater conveyance			
<i>Carex appressa</i>	Tall Sedge	Upright sedge	4-6 plant/sqm. This community should be planted along drainage lines, depressions, swales and the roof drip-line.
<i>Carex gaudichaudiana</i>	Tufted Sedge	Rhizomatous sedge	
<i>Poa costiniana</i>	Prickly Snow Grass	Tussock Grass	
<i>Polystichum proflerum</i>	Mother Shield-fern	Upright fern	
Community 5: Mountain Plum Pine cascade - Gabion Terrace			
<i>Acena novae-zelandiae</i>	Bidgee-widgee	Groundcover	4-6 plant/sqm. In time Mountain Plum Pine will dominate this community designed for the gabion terrace. Plum Pine has diverse tolerances but is slow growing. An interim groundcover is proposed whilst the Plum Pine establishes.
<i>Blechnum penna-marina</i> subsp. <i>Alpina</i>	Alpine Water Fern	Groundcover fern	
<i>Poa hothamensis</i>	Ledge Grass	Tussock Grass	
<i>Podocarpus lawrencei</i>	Mountain Plum Pine	Coniferous shrub	
<i>Polystichum proflerum</i>	Mother Shield-fern	Upright fern	
<i>Rubus parvifolius</i>	Native Raspberry	Scrambling shrub	



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24.07.2024
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GENERAL NOTES

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LANDSCAPE LEGEND + PERMEABLE AREAS

535m ² BUILDING FOOTPRINT	150m ² PLANTING / GARDEN BED	9m ² METAL GRATING
70m ² PERMEABLE PAVING	75m ² GABION / STONE WALLS	49m ² GRAVEL PATH
	500m ² RETAIN EX. / POSSIBLE PLANTING	

SERVICES LEGEND

- TELSTRA CABLE/ PIT
- SEWER
- DRAINAGE
- U/GROUND ELECTRICITY
- GAS MAIN
- WATER MAIN
- STORMWATER

TOTAL SITE AREA: 1388m²
PERMEABLE AREA: 853m²
TOTAL 61.5%

NOTE: DRAWINGS MUST BE READ IN CONJUNCTION WITH LAND SURVEYOR'S FEATURE SURVEY

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6 FALLS CREEK RD
for CANZONERI FAMILY

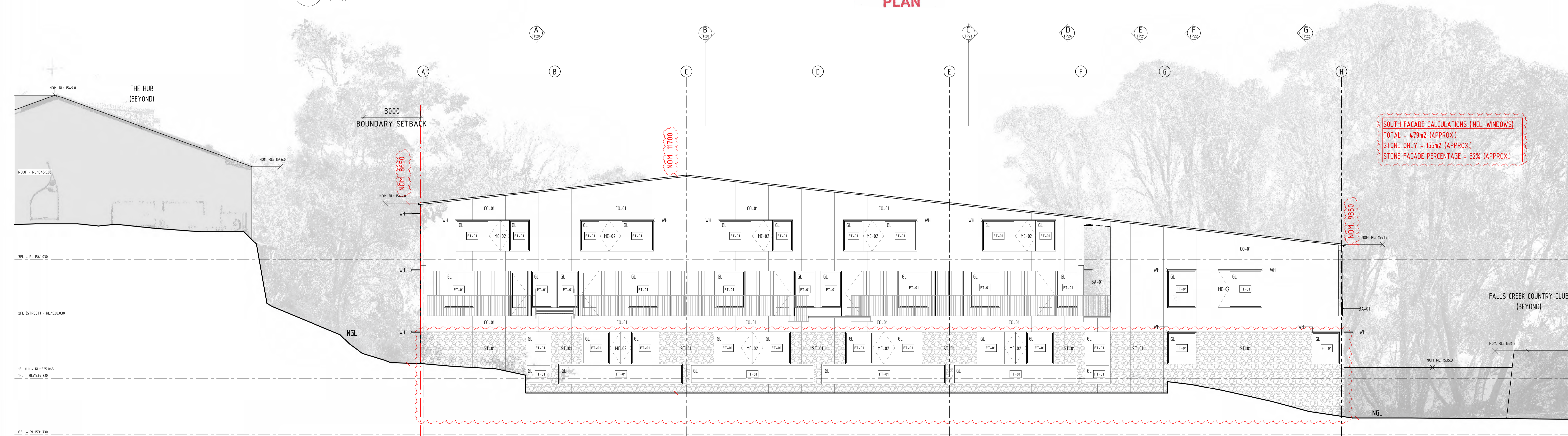
TP16 PROJECT No: 23
DATE: 20.11.2024
SCALE: As indicated@A1

LANDSCAPE PLAN



1 SOUTH (STREET) ELEVATION
SS34 1 : 100

ADVERTISED PLAN



SOUTH FACADE CALCULATIONS (INCL. WINDOWS)
TOTAL - 479m² (APPROX.)
STONE ONLY - 155m² (APPROX.)
STONE FACADE PERCENTAGE = 32% (APPROX.)

2 SOUTH ELEVATION
SS34 1 : 100

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ISSUES	GENERAL NOTES
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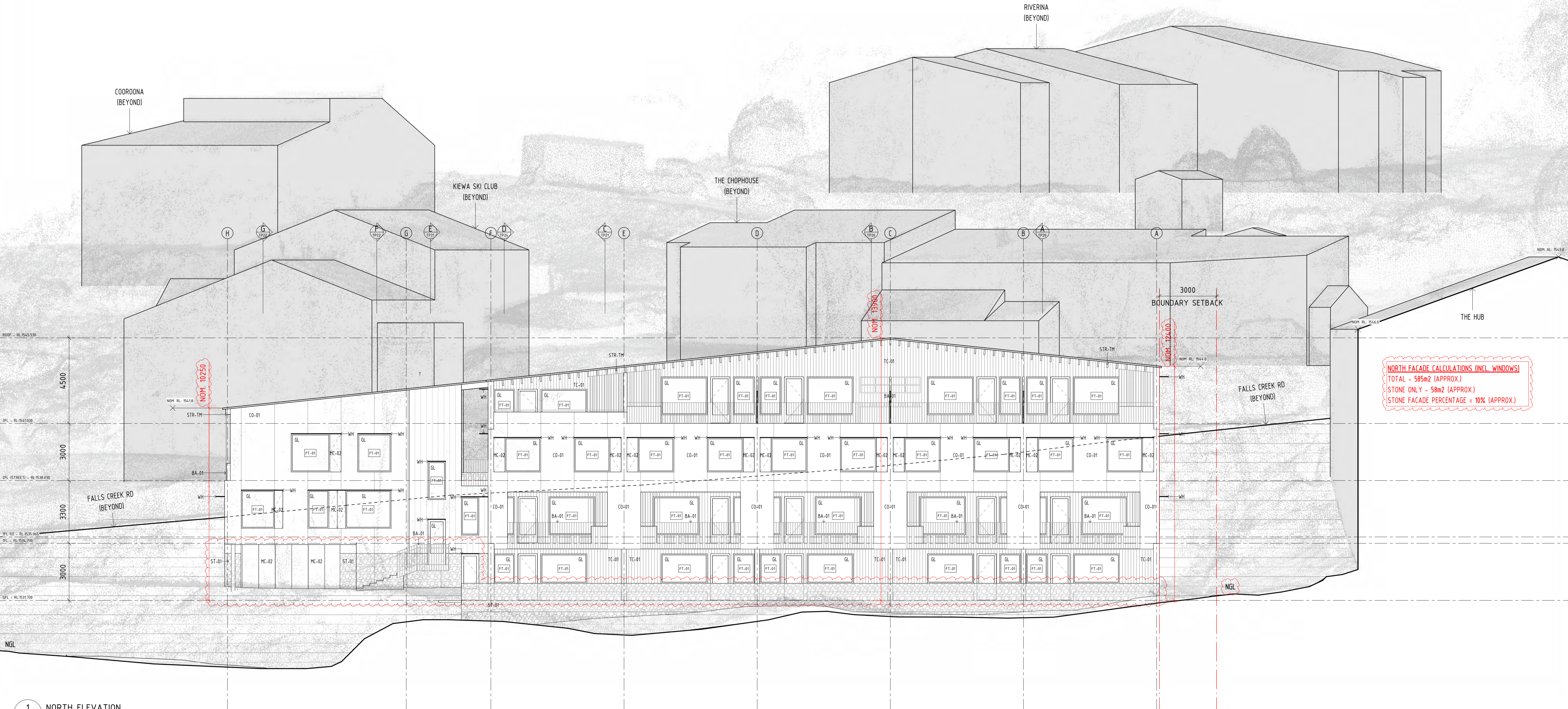
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WH	Window (+Door) Hood

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		ELEVATIONS
TP17 <small>PROJECT No: 23 DATE: 20.11.2024 SCALE: 1 : 100@A1</small>		

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NORTH FACADE CALCULATIONS (INCL. WINDOWS)
 TOTAL - 585m² (APPROX.)
 STONE ONLY - 58m² (APPROX.)
 STONE FACADE PERCENTAGE = 10% (APPROX.)

1 NORTH ELEVATION
 SS34 1 : 100

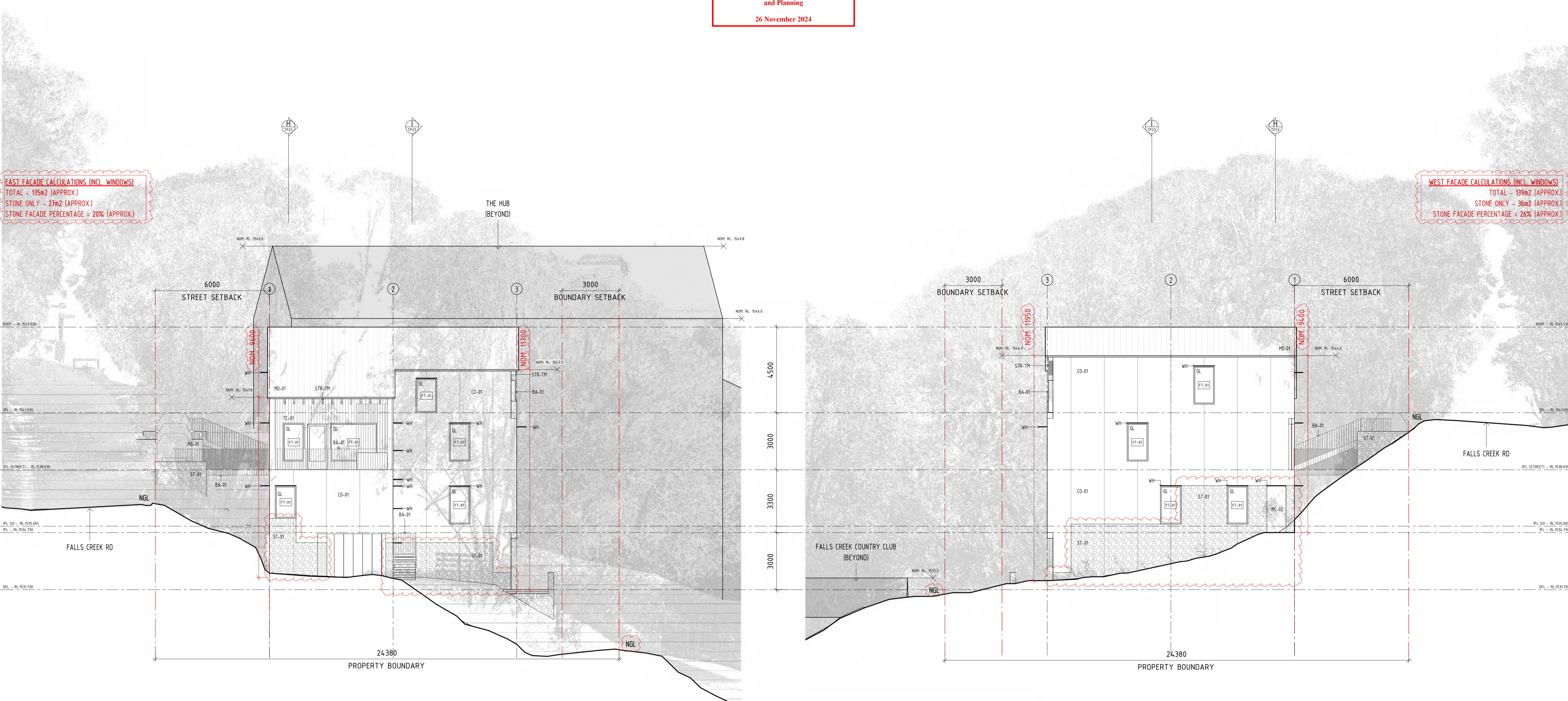
<p>ISSUES</p> <p>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p>	<p>GENERAL NOTES</p> <p>24.07.2024 20.11.2024</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p>	<p>LEGEND</p> <table border="0"> <tr> <td>CO-01</td> <td>Precast Concrete</td> <td>MC-01</td> <td>Metal Cladding 01</td> </tr> <tr> <td>STR-TM</td> <td>Structural Timber</td> <td>MC-02</td> <td>Metal Flat Sheet</td> </tr> <tr> <td>TC-01</td> <td>Timber Cladding</td> <td>MD-01</td> <td>Metal Deck 01</td> </tr> <tr> <td>GL</td> <td>Glass</td> <td>BA-01</td> <td>Balustrade 01</td> </tr> <tr> <td>FT-01</td> <td>Facade Type 01</td> <td>MG-01</td> <td>Metal Grating</td> </tr> <tr> <td>ST-01</td> <td>Stone Wall</td> <td>PAV-01</td> <td>Permeable Paving</td> </tr> <tr> <td>ST-02</td> <td>Gabion Wall</td> <td>WH</td> <td>Window (+Door) Hood</td> </tr> </table>	CO-01	Precast Concrete	MC-01	Metal Cladding 01	STR-TM	Structural Timber	MC-02	Metal Flat Sheet	TC-01	Timber Cladding	MD-01	Metal Deck 01	GL	Glass	BA-01	Balustrade 01	FT-01	Facade Type 01	MG-01	Metal Grating	ST-01	Stone Wall	PAV-01	Permeable Paving	ST-02	Gabion Wall	WH	Window (+Door) Hood	<p>NMBW</p> <p>NMBW Architecture Studio NMBW Pty Ltd ACN No. 679 825 488 2 / 74 Warr Street Fitzroy Victoria 3068 Tel: +61 3 9093 7800 Email: nmbw@nmbw.com.au</p> <p>SENDIT.ARCHI</p> <p>Sendit.Archi ABN 88 641 365 618 PO Box 624 Mount Beauty Victoria 3699 Tel: +61 3 469 344 084 Email: andy@sendit.archi</p> <p>TP18 PROJECT No: 23 DATE: 20.11.2024 SCALE: 1 : 100@A1</p>	<p>6 FALLS CREEK RD for CANZONERI FAMILY</p> <p>ELEVATIONS</p>
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EAST FACADE CALCULATIONS (INCL. WINDOWS)
TOTAL - 135m² (APPROX.)
STONE ONLY - 27m² (APPROX.)
STONE FACADE PERCENTAGE = 20% (APPROX.)

WEST FACADE CALCULATIONS (INCL. WINDOWS)
TOTAL - 139m² (APPROX.)
STONE ONLY - 36m² (APPROX.)
STONE FACADE PERCENTAGE = 26% (APPROX.)



1 EAST ELEVATION
SS34 1:100

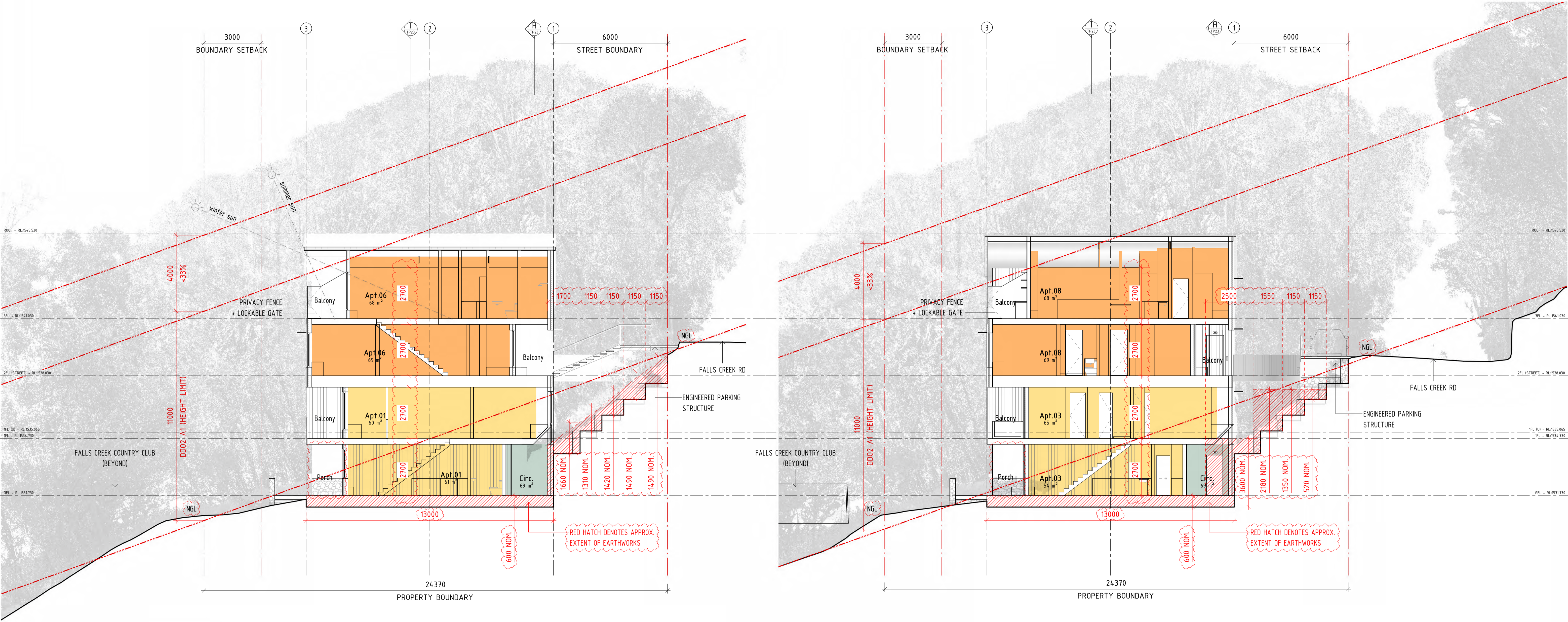
2 WEST ELEVATION
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A SECTION A
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B SECTION B
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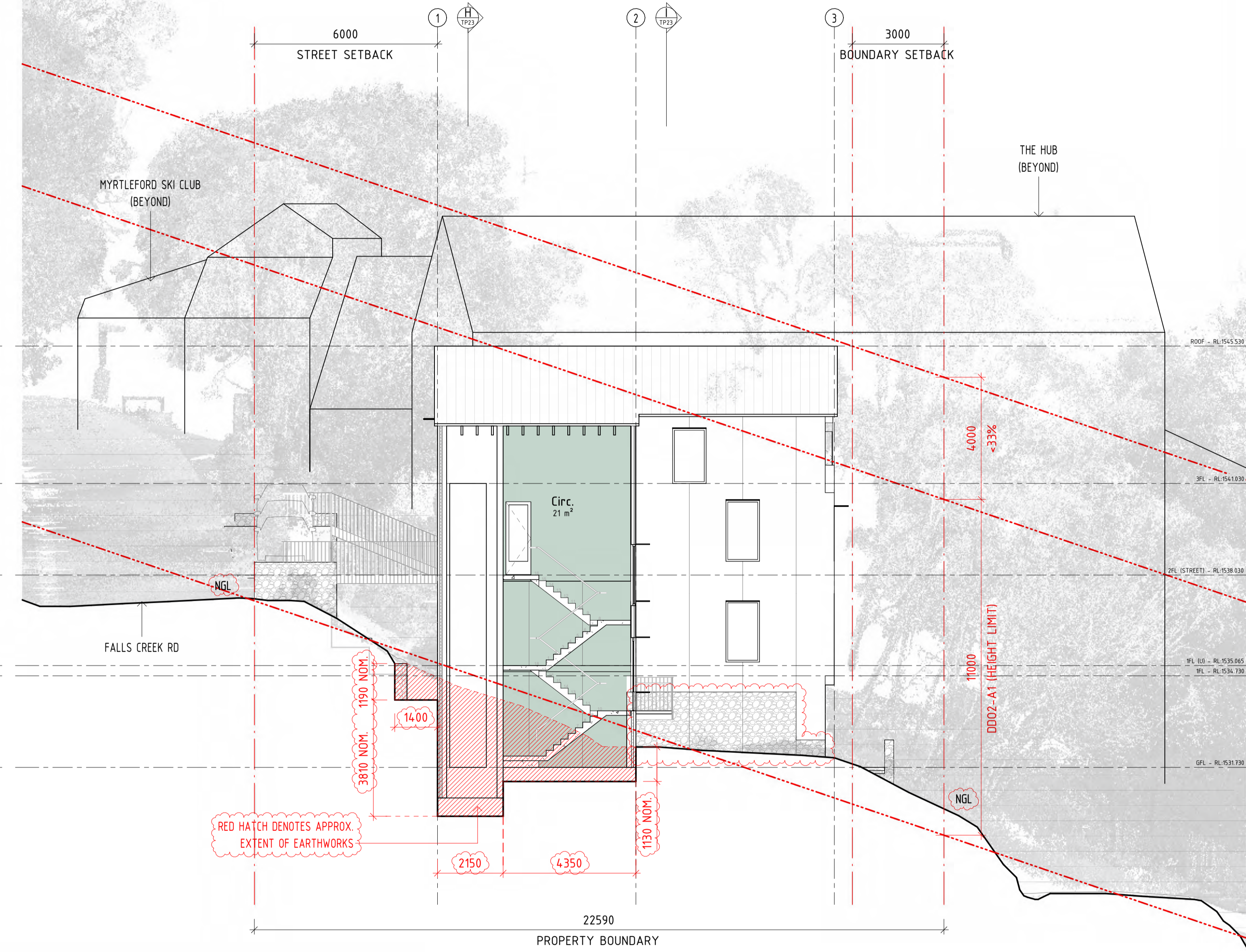
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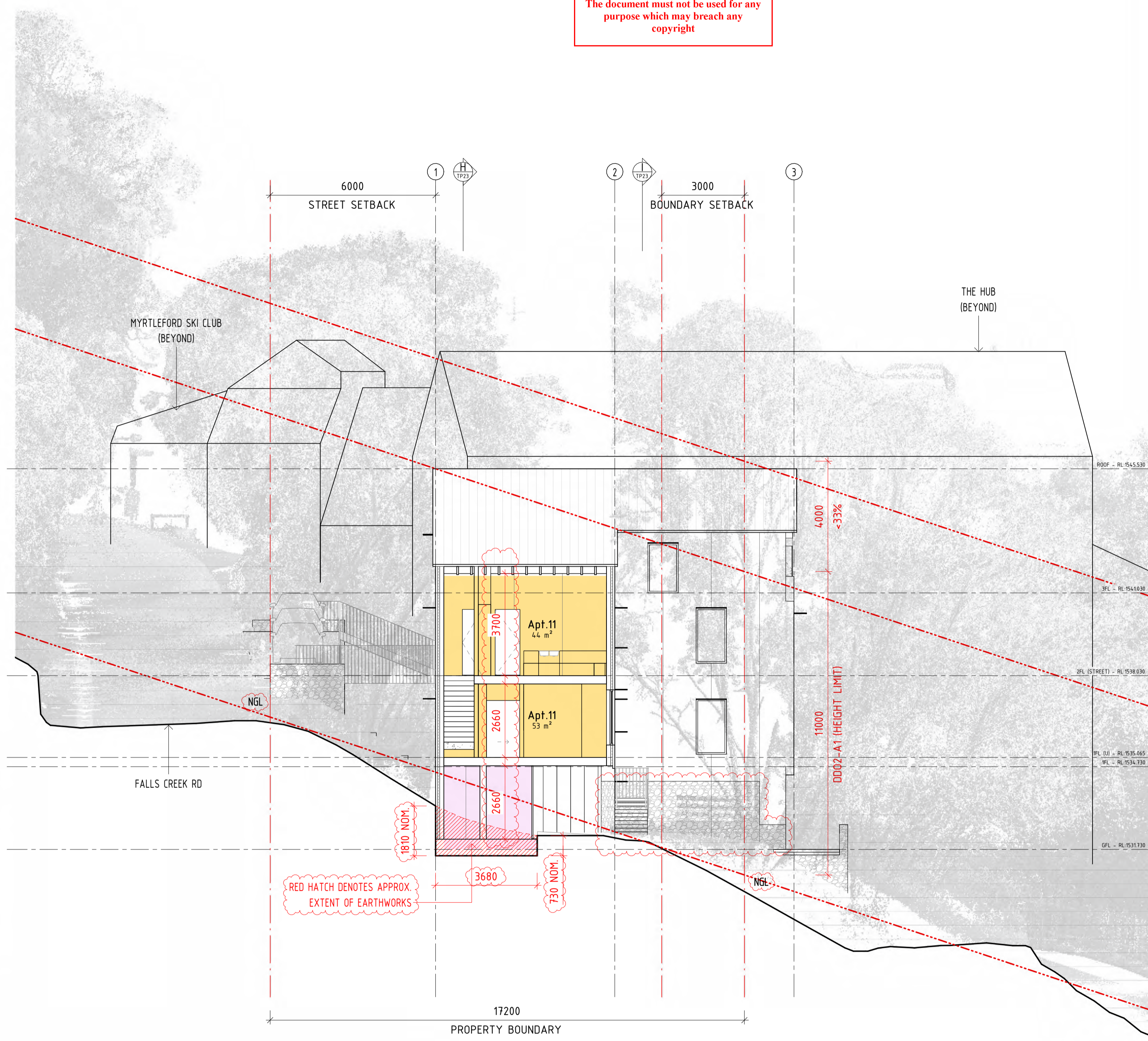
<p>ISSUES</p> <p>A ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p> <p>24.07.2024 20.11.2024</p>	<p>GENERAL NOTES</p> <p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p>	<p>NMBW</p> <p>SENDIT.ARCHI</p> <p>NMBW Architecture Studio AGM 82 641 365 618 PO Box 624 Mount Beauty Victoria 3699 Tel: +61 3 8983 7800 Email: nmbwnmbw.com.au</p> <p>Sendit.Archi AGM 82 641 365 618 PO Box 624 Mount Beauty Victoria 3699 Tel: +61 3 8983 7800 Email: andy@sendit.archi</p>	<p>6 FALLS CREEK RD</p> <p>for CANZONERI FAMILY</p> <p>SECTIONS</p>
		<p>TP21 PROJECT No: 23 DATE: 20.11.2024 SCALE: 1 : 100@A1</p>	

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F SECTION F
 SS34 1 : 100



G SECTION G
 SS34 1 : 100

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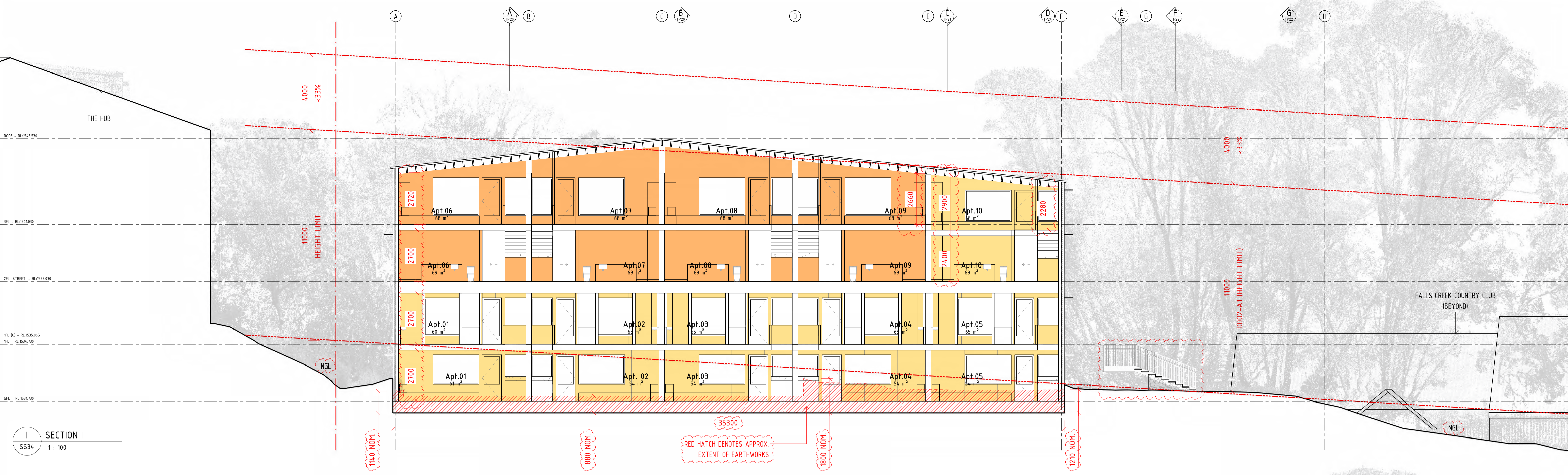
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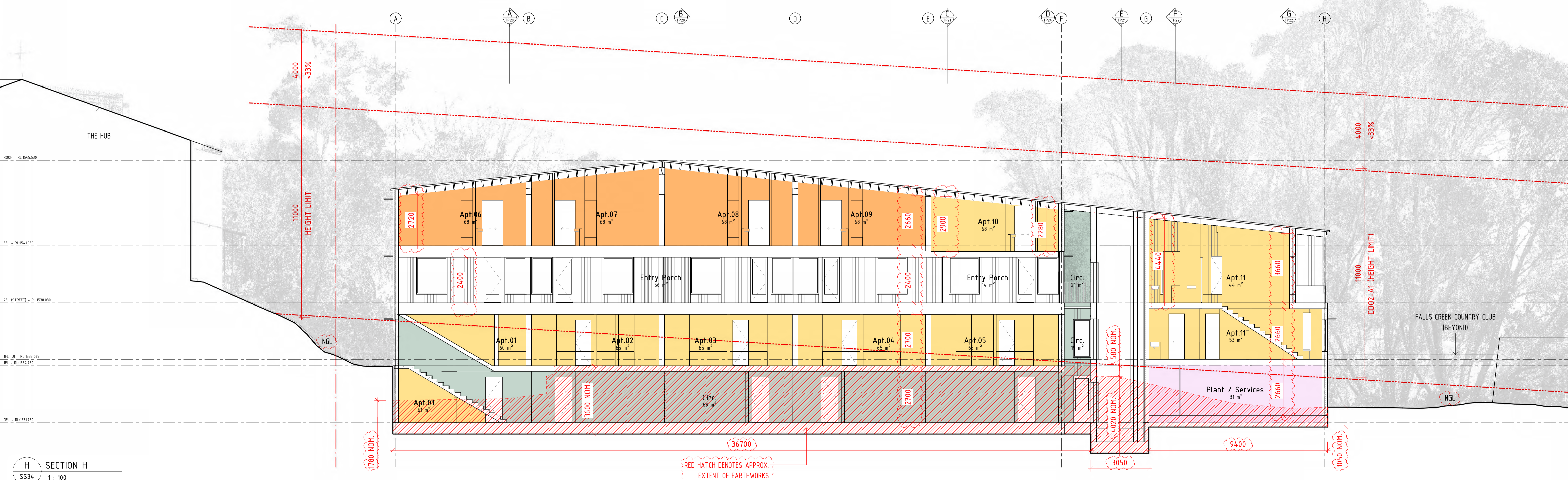
TP22 PROJECT No: 23
 DATE: 20.11.2024
 SCALE: 1 : 100@A1

6 FALLS CREEK RD
 for CANZONERI FAMILY

SECTIONS



I SECTION I
SS34 1 : 100



H SECTION H
SS34 1 : 100

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 20.11.2024
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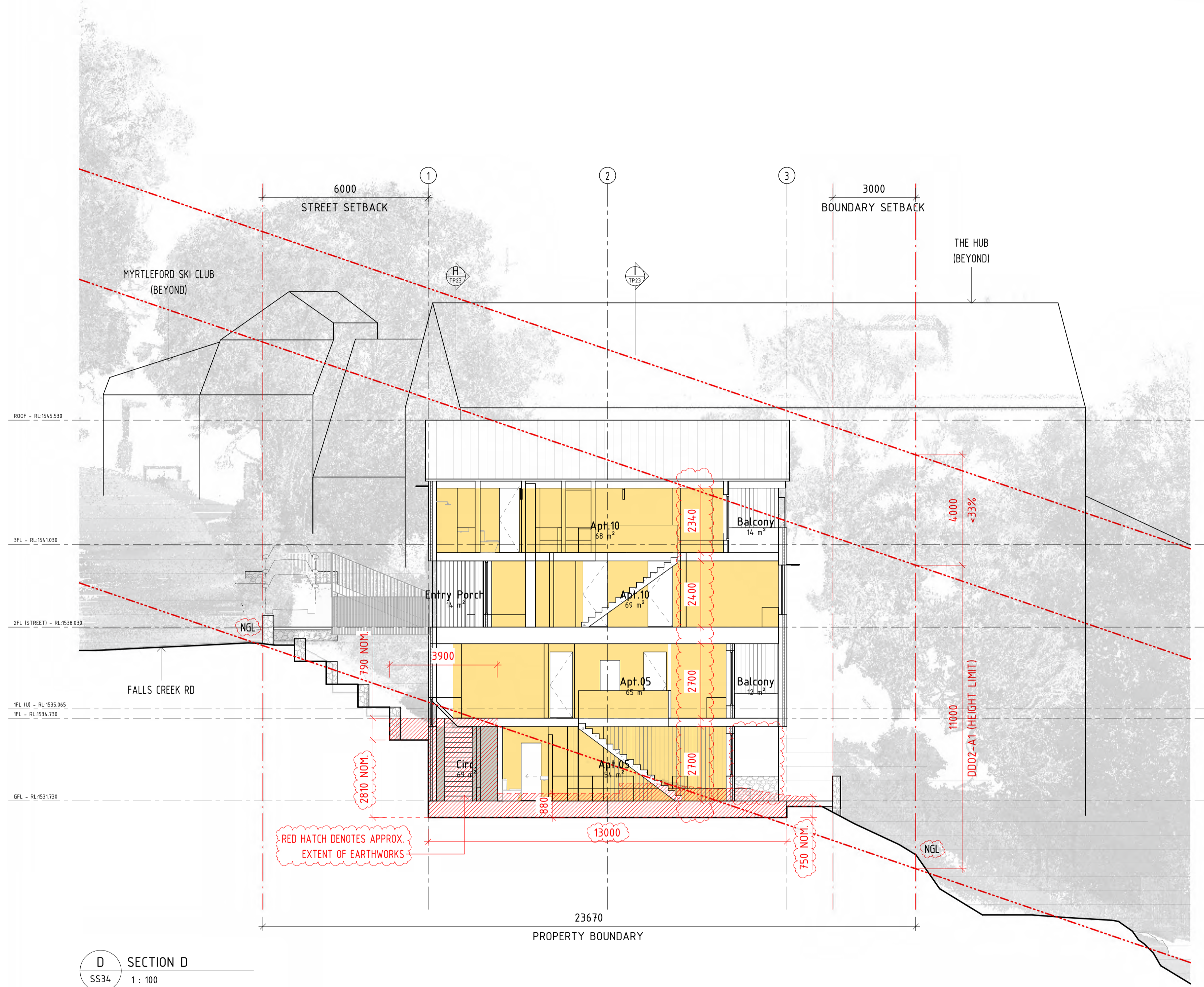
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for CANZONERI FAMILY

TP24

PROJECT No: 23
DATE: 20.11.2024
SCALE: 1 : 100@A1

SECTIONS



CO-01

PRECAST CONCRETE



TEXTURED INSULATED CONCRETE PANELS
Timber Board Off-Form Pattern (Vertical Joints)

TC-01

VERTICAL CLADDING



VERTICAL CLADDING
Recycled Wood & Plastic (Modwood or similar)
Colour: Black Bean (or similar)

GL

GLASS



CLEAR GLAZING
Double Glazing to Insulated Areas
(in accordance with AS 1288)

ST-01

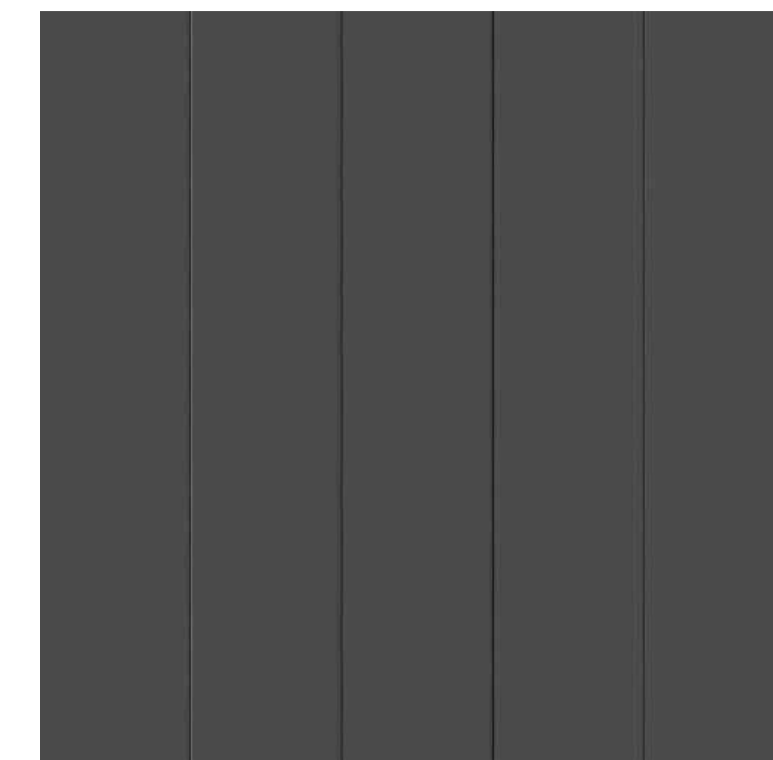
STONE WALL



STONE WALL
Hornfels Rock Mawsons Quarry (or similar)

MC-01

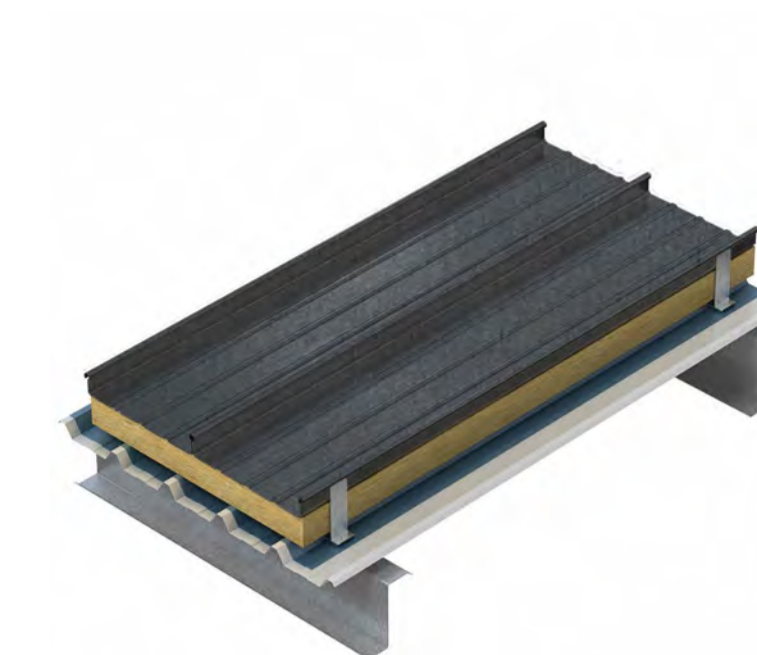
METAL CLADDING 01



METAL WALL CLADDING
Longline 305 (or similar profile)
Colour: Monument Matt (or similar)

MD-01

METAL DECK 01



METAL ROOF DECKING
Longline 305 (or similar profile)
Colour: Monument Matt (or similar)

BA-01

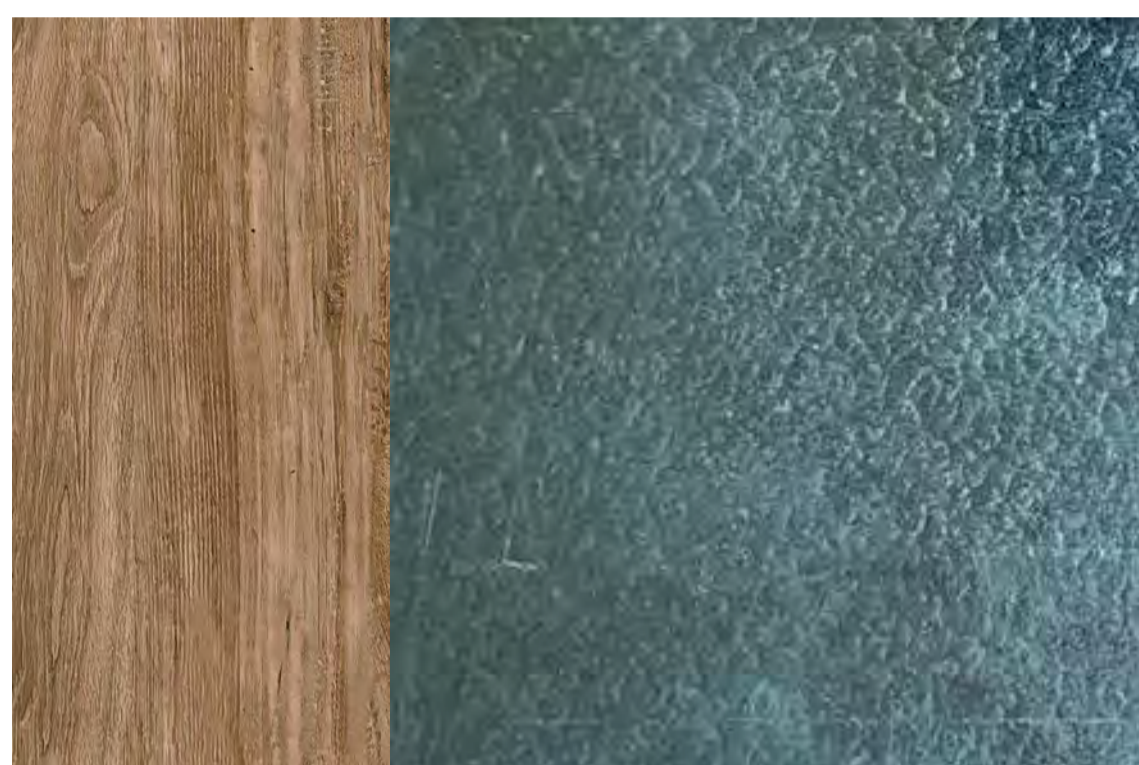
BALUSTRADE 01



METAL BALUSTRADES
Hot Dip Galvanised

STR-TM

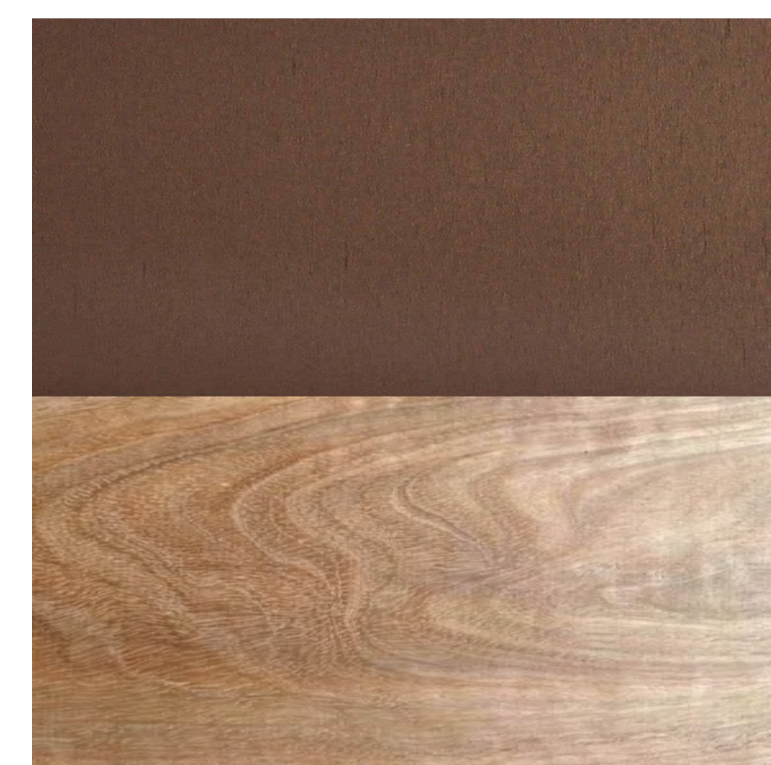
STRUCTURAL PURLINS



STRUCTURAL TIMBER PURLINS w/ GALVANISED FLAT SHEET FLASHINGS
Australian Class 1 Hardwood - 65x295 Spotted Gum (or similar)
Note: all external purlins flashed in galvanised flat sheet

FT-01

FACADE TYPE 01



THERMALLY BROKEN ALUMINIUM WINDOW FRAMES
FT-01 (Double Glazed Unit)
Timber Internal, Aluminium External
Colour: Bronze Anodised Finish (or similar)

ST-02

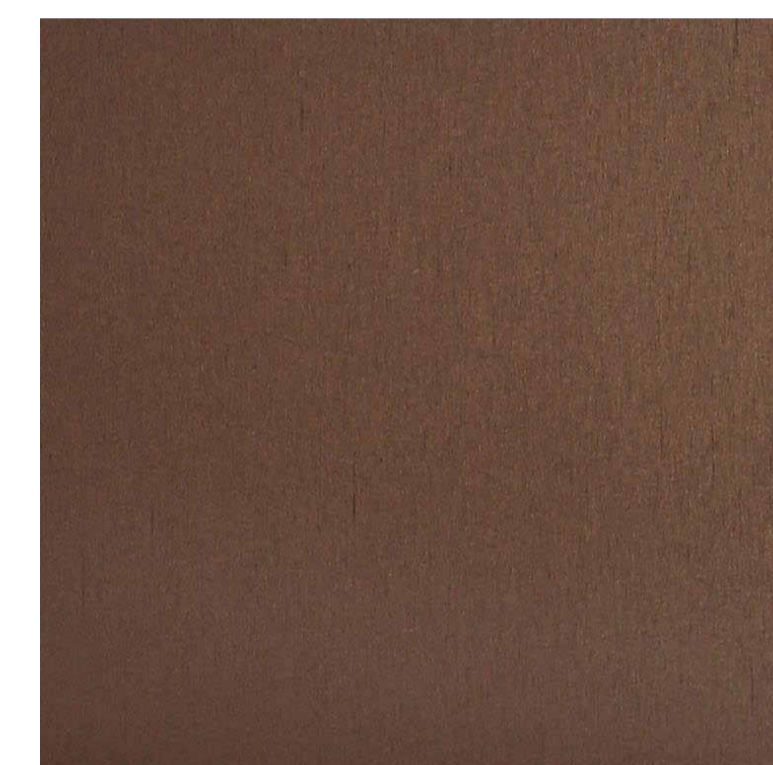
GABION WALL



GABION WALL
Hornfels Rock Mawsons Quarry (or similar)

MC-02

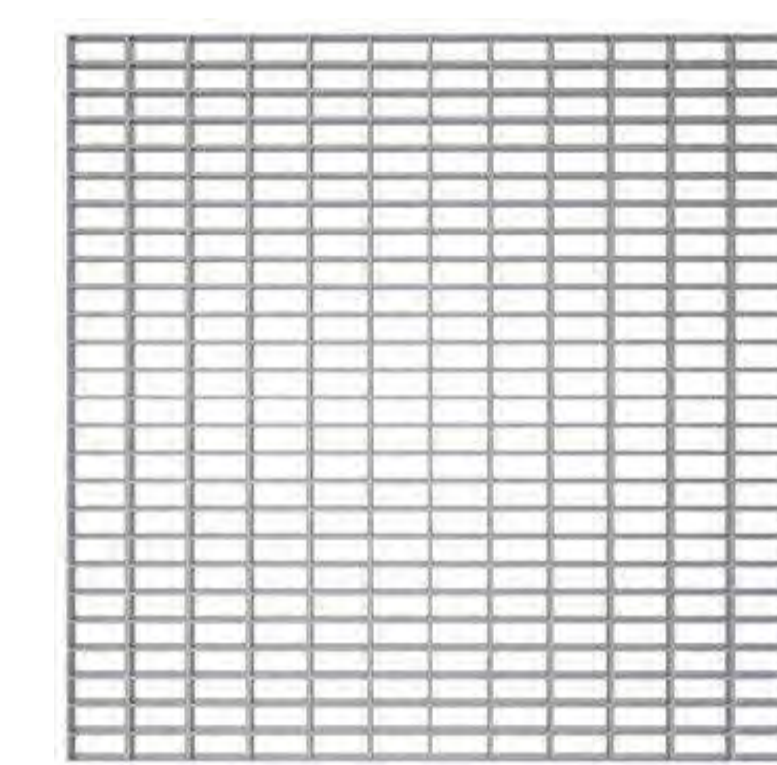
METAL FLAT SHEET



FLAT ALUMINIUM SHEET (SOLID CORE) WINDOW SHUTTERS + HOODS
Colour: Bronze Anodised Finish (or similar)

MG-01

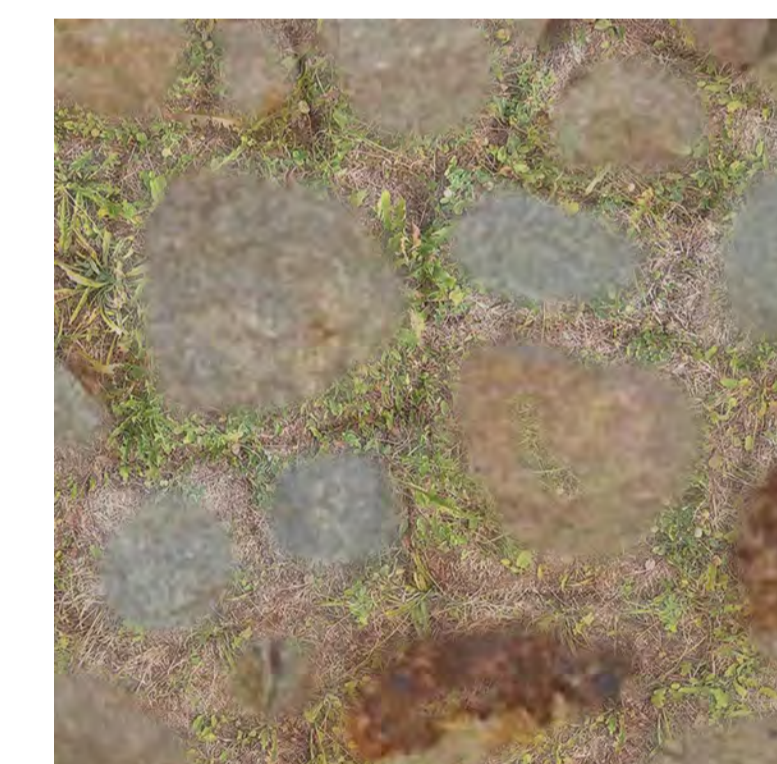
METAL GRATING



METAL GRATING, EXTERNAL STAIRS AND CROSSINGS
Hot Dip Galvanised, Webforge (or similar)

PAV-01

PERMEABLE PAVING



PERMEABLE STONE PAVING
Glenrowan Granite Stone (or similar)

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LEGEND

CO-01	Precast Concrete	MC-01	Metal Cladding 01
STR-TM	Structural Timber	MC-02	Metal Flat Sheet
TC-01	Timber Cladding	MD-01	Metal Deck 01
GL	Glass	BA-01	Balustrade 01
FT-01	Facade Type 01	MG-01	Metal Grating
ST-01	Stone Wall	PAV-01	Permeable Paving
ST-02	Gabion Wall	WH	Window (+Door) Hood

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PROPOSED MATERIALS

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VIEW FROM FALLS CREEK RD LOOKING NORTHEAST



VIEW FROM FALLS CREEK RD LOOKING SOUTHWEST

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VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH ENTRY



VIEW FROM 'THE HUB' LOOKING EAST TOWARDS FALLS CREEK RD (BEYOND)

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TP26

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EX./DEMO - 3D VIEWS

A

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VIEW FROM FALLS CREEK RD LOOKING NORTHEAST



VIEW FROM FALLS CREEK RD LOOKING SOUTHWEST

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VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH ENTRY



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3D VIEWS

A

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VIEW FROM FALLS CREEK RD LOOKING NORTHWEST THROUGH 'THE HUB' AND DIANA LODGE



VIEW BELOW NEW ENTRY PLATFORM (FALLS CREEK RD) LOOKING SOUTHWEST TOWARD GABION WALL LANDSCAPING

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VIEW FROM 'ADJACENT PARCEL' ACCESS PATH LOOKING SOUTHWEST (SUMMER ACCESS)



VIEW FROM COUNTRY CLUB LOOKING SOUTH

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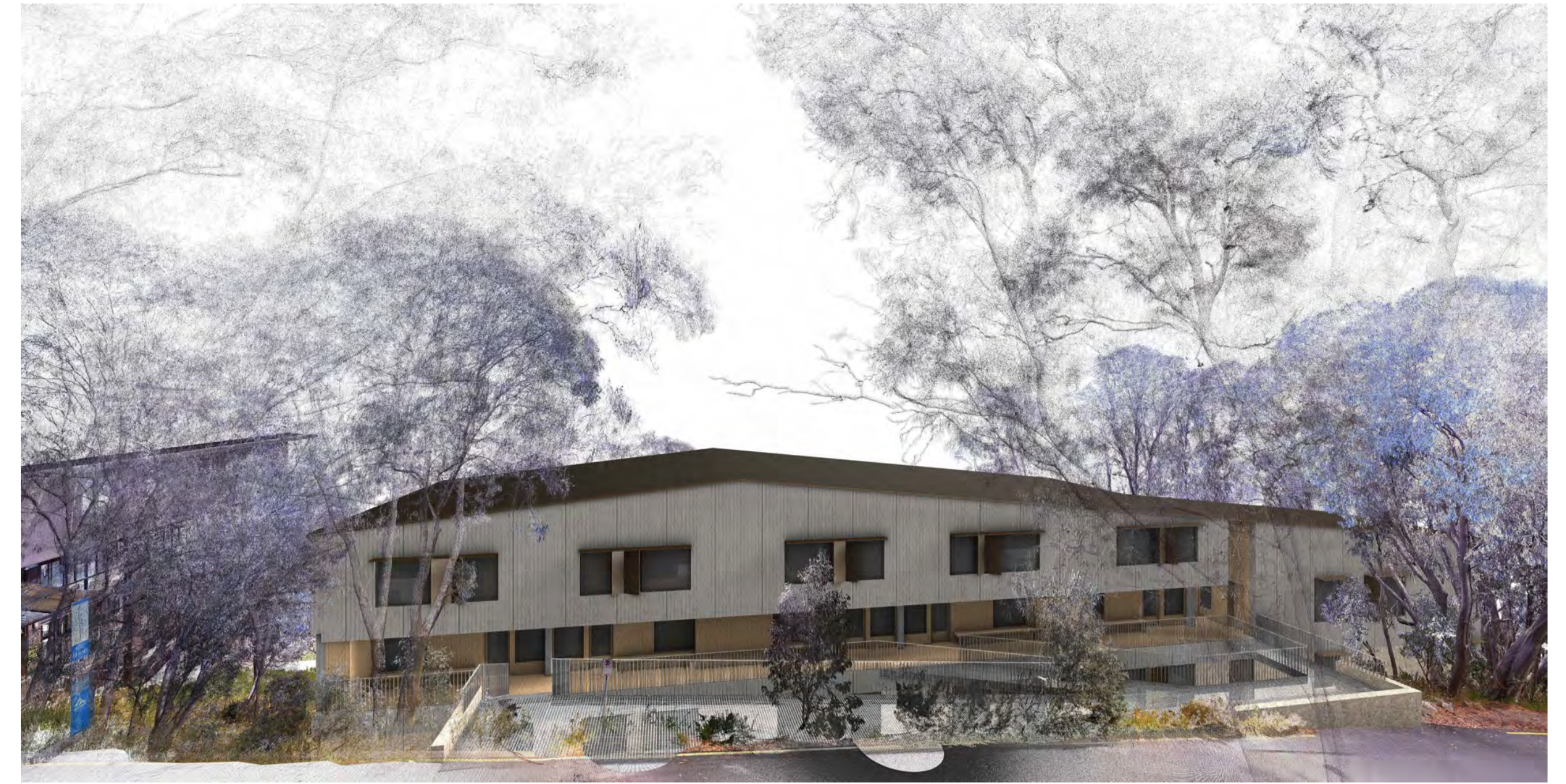
3D VIEWS

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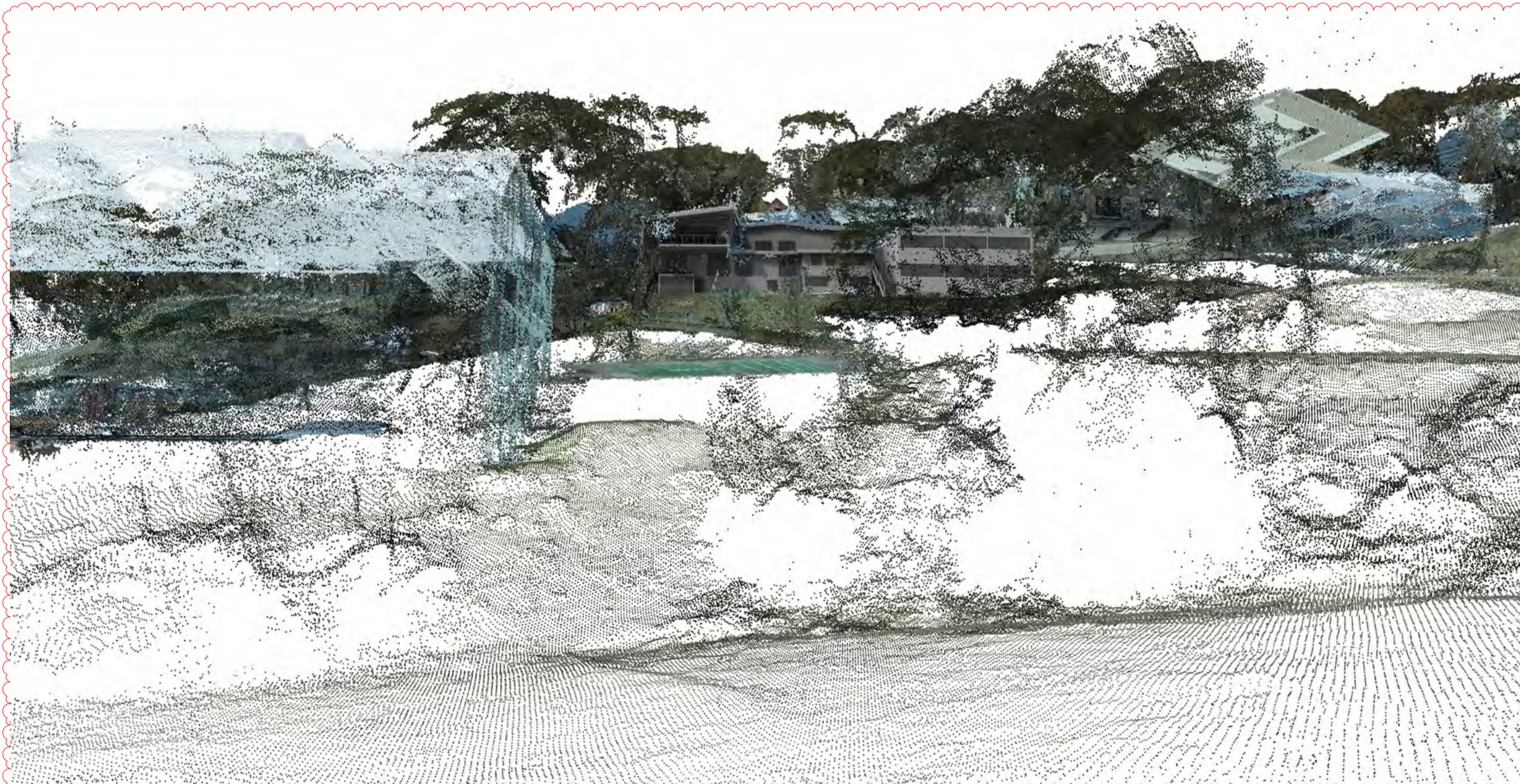


VIEW FROM THE CHOPHOUSE FFL (1546.98) LOOKING NORTHWEST OVER THE EXISTING DIANA LODGE BUILDING

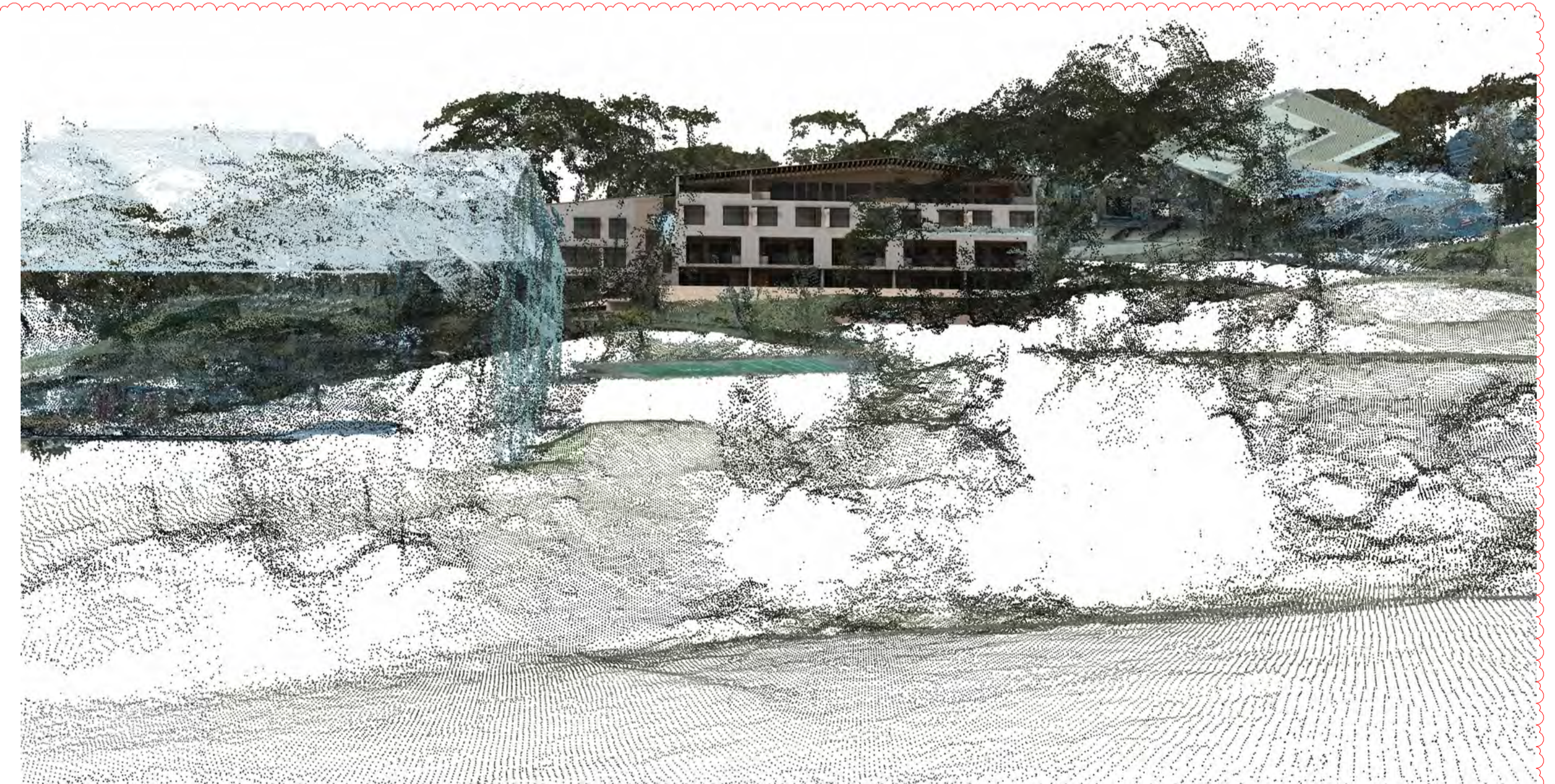


VIEW FROM THE CHOPHOUSE FFL (1546.98) LOOKING NORTHWEST OVER THE PROPOSED DIANA LODGE BUILDING

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VIEW FROM 'GULLY' CHAIRLIFT LOOKING SOUTHEAST TOWARD THE EXISTING DIANA LODGE BUILDING



VIEW FROM 'GULLY' CHAIRLIFT LOOKING SOUTHEAST TOWARD THE PROPOSED DIANA LODGE BUILDING

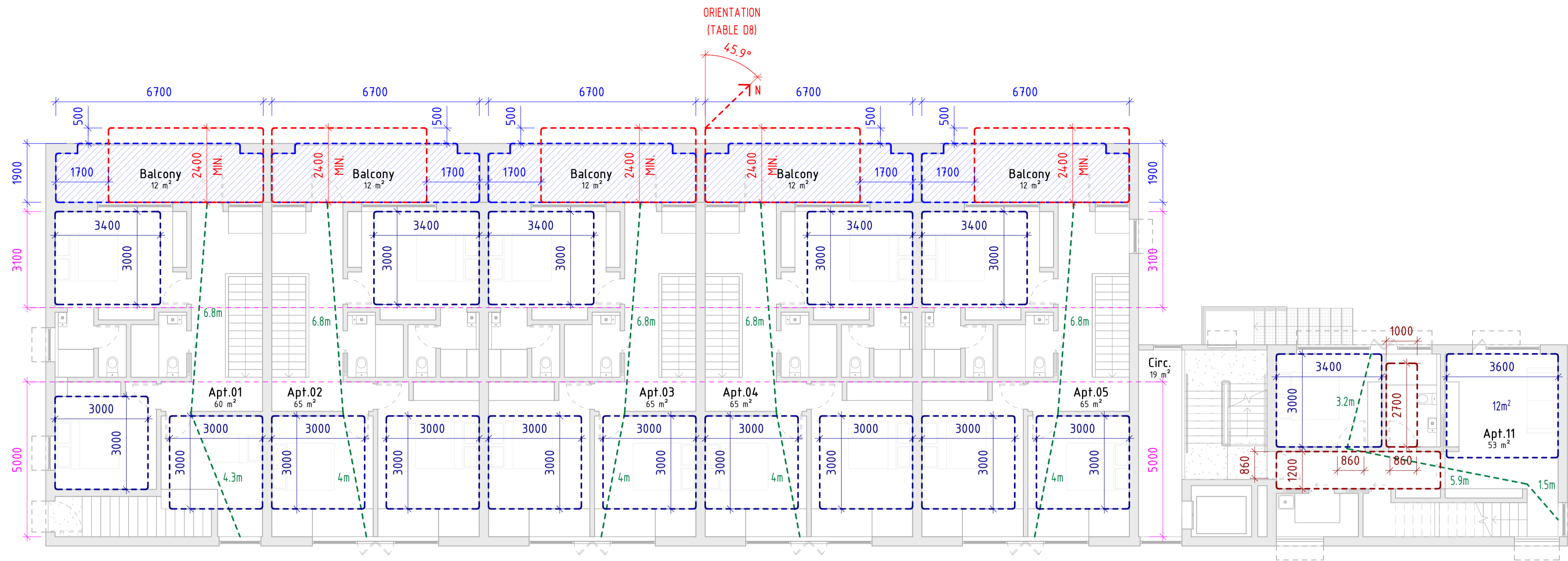
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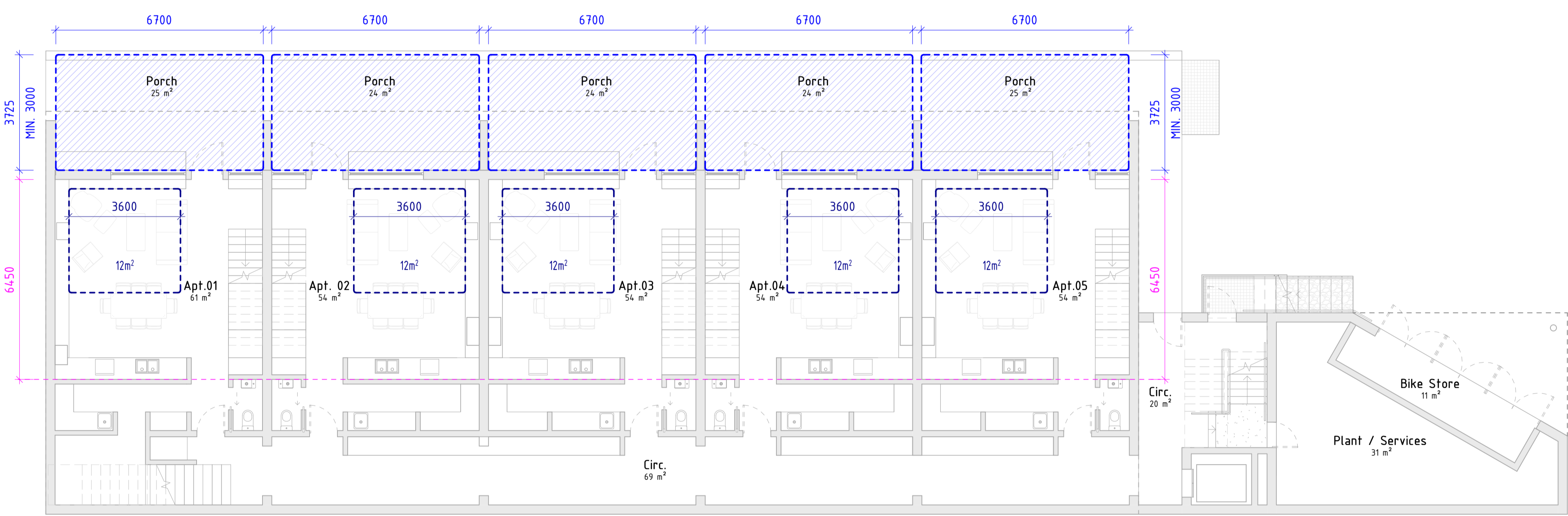
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<p>ISSUED FOR TOWN PLANNING TOWN PLANNING RFI</p>	<p>Verify all dimensions and report any discrepancies to the Architect prior to the commencement of work on site. Read only figured dimensions - DO NOT SCALE FROM DRAWINGS.</p>	<p>24.07.2024 20.11.2024</p>

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<p>TP29 PROJECT No: 23 DATE: 20.11.2024 SCALE: @A1</p>	<p>3D VIEWS</p>	

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2 1FL - COMPLIANCE DIAGRAM
TP17 1:100



1 GFL - COMPLIANCE DIAGRAM
TP17 1:100

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ALPINE RESORTS PLANNING SCHEME

<p>CLAUSE 58 - APARTMENT DEVELOPMENTS</p> <p>STANDARD D18 - ACCESSIBILITY</p> <p> TABLE D7 - BATHROOM DESIGN 'DESIGN OPTION B'</p> <p>STANDARD D20 - PRIVATE OPEN SPACE</p> <p> TABLE D8 - BALCONY SIZE 'ANY OTHER ORIENTATION'</p> <p> PROPOSED BALCONY / PORCH AREA</p> <p>STANDARD D26 - FUNCTIONAL LAYOUT</p> <p> TABLE D11 - BEDROOM DIMENSIONS TABLE D12 - LIVING AREA DIMENSIONS</p> <p>STANDARD D27 - ROOM DEPTH</p> <p> MAX. 9m</p> <p>STANDARD D29 - NATURAL VENTILATION</p> <p> MIN. 5m, MAX. 18m</p>	
<p>CLAUSE 52.06 - CAR PARKING</p> <p>PART 9, DESIGN STANDARD 2 - CAR PARKING SPACES</p> <p> PARALLEL PARKING SPACE</p>	

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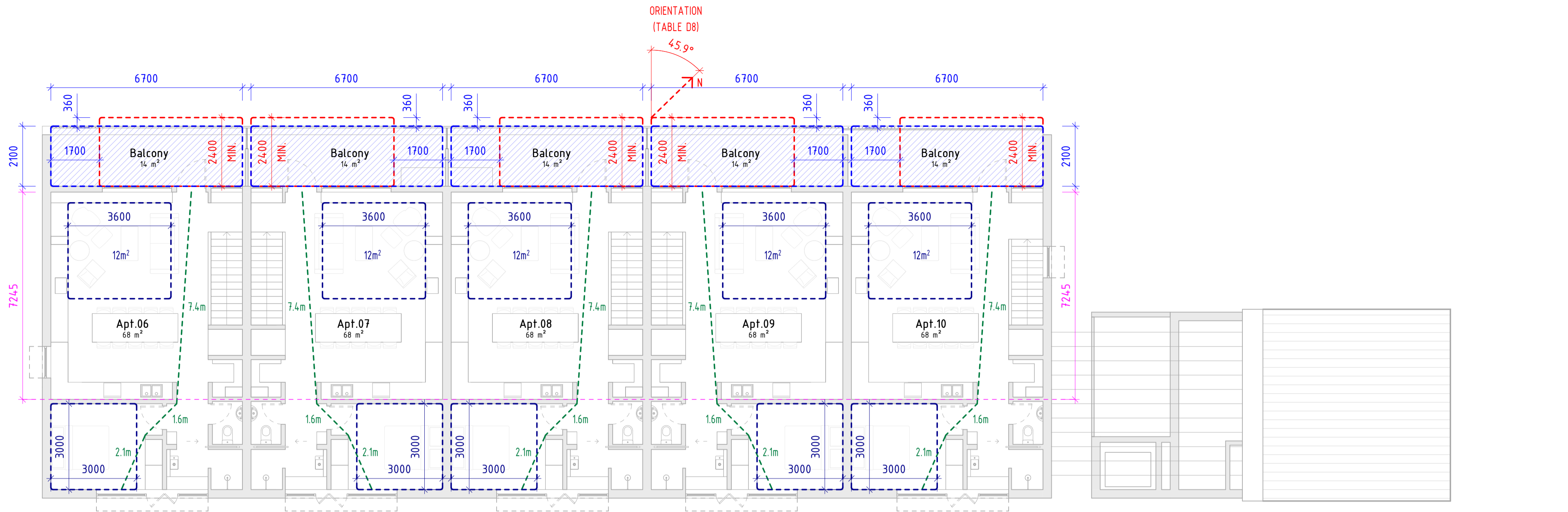
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TP30 PROJECT No: 23
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6 FALLS CREEK RD
for CANZONERI FAMILY
COMPLIANCE DIAGRAMS

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ALPINE RESORTS PLANNING SCHEME

CLAUSE 58 - APARTMENT DEVELOPMENTS

STANDARD D18 - ACCESSIBILITY

TABLE D7 - BATHROOM DESIGN 'DESIGN OPTION B'

STANDARD D20 - PRIVATE OPEN SPACE

TABLE D8 - BALCONY SIZE 'ANY OTHER ORIENTATION'

PROPOSED BALCONY / PORCH AREA

STANDARD D26 - FUNCTIONAL LAYOUT

TABLE D11 - BEDROOM DIMENSIONS
TABLE D12 - LIVING AREA DIMENSIONS

STANDARD D27 - ROOM DEPTH

MAX. 9m

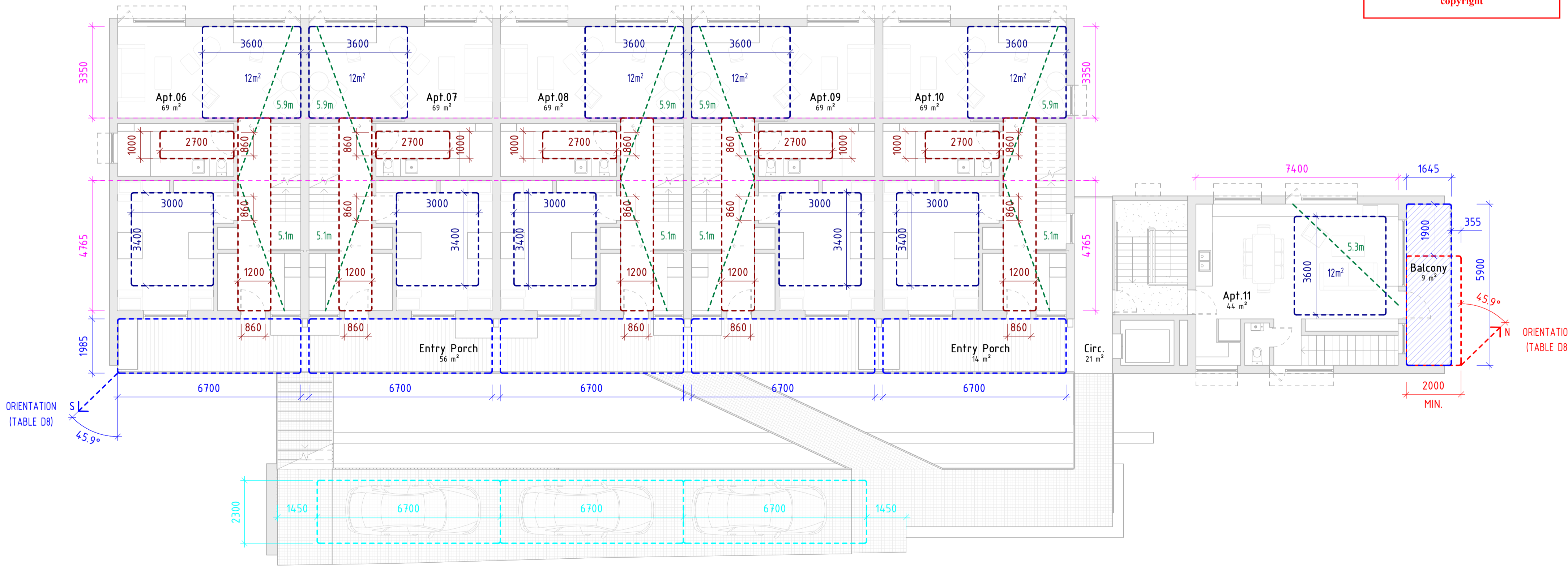
STANDARD D29 - NATURAL VENTILATION

MIN. 5m, MAX. 18m

CLAUSE 52.06 - CAR PARKING

PART 9, DESIGN STANDARD 2 - CAR PARKING SPACES

PARALLEL PARKING SPACE



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		for CANZONERI FAMILY
<p>TP31 PROJECT No: 23 DATE: 24.07.2024 SCALE: 1:100@A1</p>		COMPLIANCE DIAGRAMS

APARTMENT TYPE A (3 BDR) x 5

NET INTERNAL AREA: 124.65m²
 PORCH/BALCONY AREA: 37m²
TOTAL AREA: 161.65m²
 STORAGE: 29.35m³
 Compliant with Standard D29:
 Alpine Resorts Planning Scheme



APARTMENT TYPE B (3 BDR) x 5

NET INTERNAL AREA: 139.4m²
 PORCH/BALCONY AREA: 27.1m²
TOTAL AREA: 166.5m²
 STORAGE: 30.65m³
 Compliant with Standard D29:
 Alpine Resorts Planning Scheme

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TP32	PROJECT No: 23
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6 FALLS CREEK RD
for CANZONERI FAMILY
APARTMENT TYP. PLAN
GFL/1FL/2FL/3FL

APARTMENT TYPE C (2 BDR) x 1

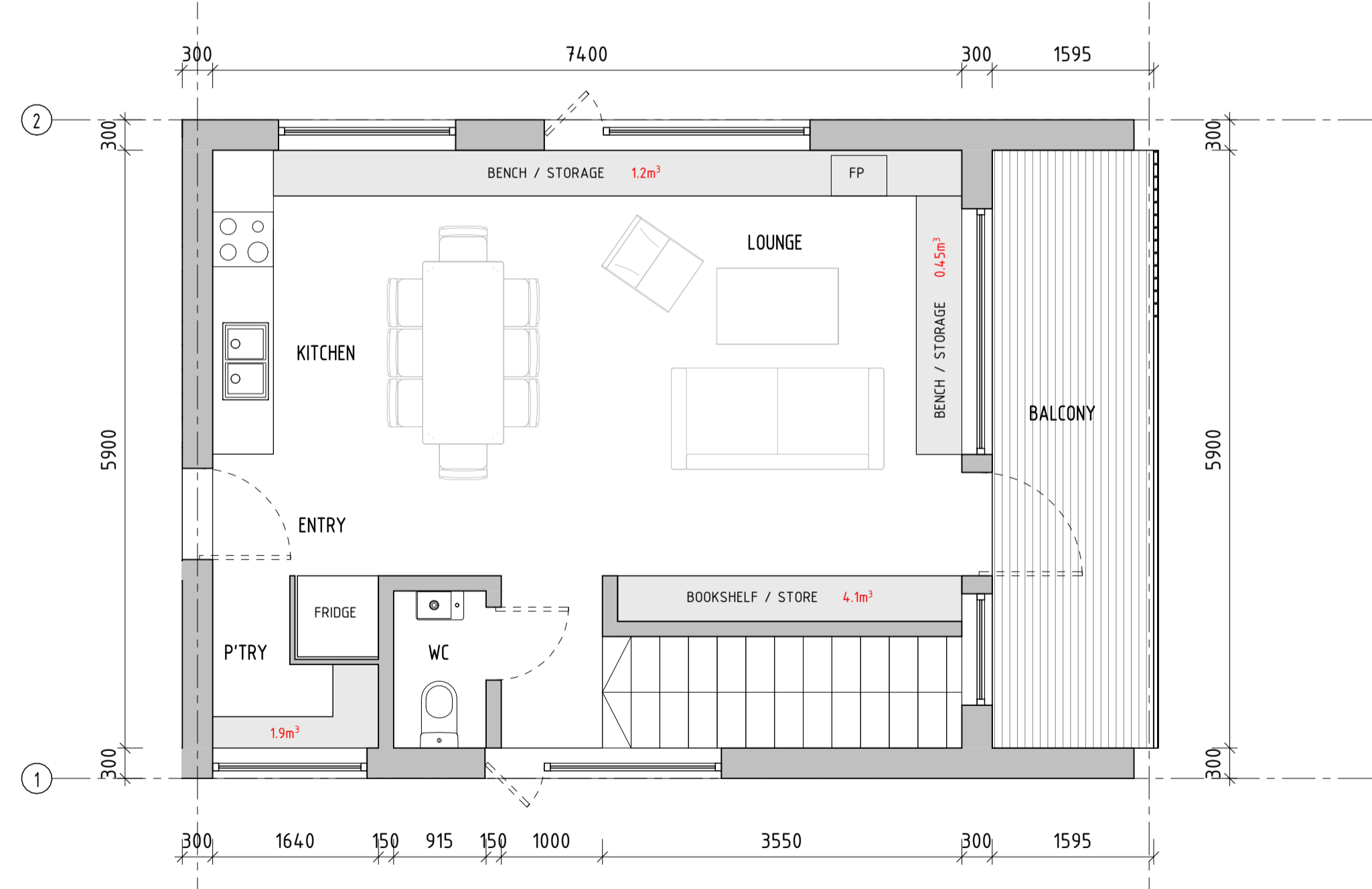
NET INTERNAL AREA: 91.4m²
 PORCH/BALCONY AREA: 9.45m²

TOTAL AREA: 100.85m²

STORAGE: 25.95m³
 Compliant with Standard D29:
 Alpine Resorts Planning Scheme



1 1FL - APARTMENT 11
 TP13 1 : 50



2 2FL (STREET) - APARTMENT 11
 TP14 1 : 50

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TP33 PROJECT No: 23 DATE: 24.07.2024 SCALE: 1 : 50@A1		APARTMENT 11 PLAN 1FL/2FL

**ATTACHMENT 2:
Falls Creek Alpine Resort Work Practice – Works in Hawkweed Sites**

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Department of Environment, Land, Water
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Work Practice LM 6.03

Works in Hawkweed Sites

Falls Creek Alpine Resort Management Board ('the Board')

1. Scope

This work practice applies to any individual, group of individuals, contractors, sub-contractors, organisations or businesses carrying out works within the Falls Creek Alpine Resort.

2. Definitions

Falls Creek Alpine Resort - the area defined as Falls Creek Alpine Resort under the *Alpine Resorts Act 1983*.

Falls Creek Resort Management - as defined under the *Alpine Resorts (Management) Act 1997*.

Hawkweed - refers to the two known species of hawkweed occurring in Falls Creek Alpine Resort, *Pilosella aurantiacum* (orange hawkweed) and *Pilosella piloselloides* (king-devil hawkweed) and any other species of hawkweed that may be found within the Resort.

Hawkweed site - refers to any previous hawkweed records identified on Parks Victoria's database, recent known records not yet included in this database, or physical plants.

Works that impacts on a hawkweed site - work that will disturb or remove soil or vegetation found within 2m of a hawkweed site.

Topsoil - Soil in the top 30cm of the soil profile

The Resort - the area defined as Falls Creek Alpine Resort.

Works - refers to any action that will impact upon a Hawkweed site

3. Introduction

Hawkweeds are perennial herbs from the *Asteraceae* (daisy) family. The scientific name for hawkweeds has recently changed from the genus *Helianthus* to *Pilosella*, however *Helianthus* is still referred to in the legislation. Hawkweed can spread quickly and has had severe negative consequences on environmental and agricultural values in both New Zealand and North America. The entire genus is prohibited entry into Australia by the Australian Quarantine Inspection Service (AQIS), and the genus is listed as a State Prohibited Weed in Victoria.

Three species of hawkweed are known to exist in the Australian Alps, orange hawkweed (*P. aurantiacum*), king devil hawkweed (*P. piloselloides*) and mouse-ear hawkweed (*P. officinarum*). To date, only orange and king devil hawkweed have been found within Falls Creek Resort. The ability to produce large amounts of seed, combined with stoloniferous growth results in rapid vegetative spread and dispersal via wind and animals. As known populations are relatively small it is possible that if appropriate resources are allocated Hawkweeds can be eradicated from the Victorian Alps not too far into the future. Early detection and treatment are essential to achieving this goal of eradication.

All three species are managed under the Falls Creek Hawkweed Eradication Project, which is a partnership between Parks Victoria, the Victorian Department of Jobs, Precincts and Regions and the Falls Creek Resort Management Board.

4. Purpose

This work practice outlines the appropriate management of known hawkweed sites during development or disturbance within the Falls Creek Alpine Resort. The purpose of this work practice is to ensure that the spread of hawkweeds via translocation of contaminated soil, machinery, or the disturbance of living plants or dormant seeds is nullified during developments or works.

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5. Responsibilities

Records of hawkweed sites within the Falls Creek Alpine Resort will be added to the Parks Victoria database. Information on all new sites and alterations to existing sites should be communicated directly to FCRM Land Management who will then contact the Hawkweed control manager at the Parks Victoria Mt. Beauty office.

Identification of new sites at any time is the responsibility of everyone living, working or visiting the resort.

6. Procedures/Practice Guidelines

All works that disturb soil within Falls Creek Alpine Resort must be authorised by the Director Economic Development and Land Management, Falls Creek Resort Management prior to the commencement of works. Falls Creek Resort is effectively a contaminated area for hawkweed. All outside works within the Resort must be assessed for the presence of hawkweed and any soil disturbance within the Resort will be treated as assumed contaminated soil. The method of disturbance and movement of soil must be approved by the Director Economic Development and Land Management prior to works commencing. Hawkweed sites need to be identified during the planning and application phase of projects that require permit applications to be submitted to the Department Environment, Land, Water and Planning (DELWP). Information on hawkweed sites and how this works practice applies can be obtained by contacting Falls Creek Resort Management.

All works that occur within the Resort must include this Work Practice in Site Environmental Management Plans (SEMP's) that are submitted to DELWP or if not required under the planning scheme to be discussed with an FCRM representative. Those works that will occur in an area that contains a Hawkweed site must further describe how the works are likely to impact on the known sites within the works area. The protocols to be followed will depend on the type and location of the works. The site foreman must be inducted with the Works in Hawkweed Sites Work Practice prior to works commencing by an FCRM representative. All staff working on site must be inducted by either the site foreman or by an FCRM representative.

If a new Hawkweed plant is found during the works, the work in this area needs to cease and the FCRM land management team notified immediately to follow up.

When undertaking works in the Resort the following procedures must be followed:

6.1 For works where a Hawkweed site is present but not directly disturbing the known hawkweed site (i.e., no soil disturbance within 2m of a hawkweed site):

- Retain any Hawkweed site markings and avoid disturbance to these areas
- Enable maintained access to the Hawkweed site for regular monitoring. Ensure the hawkweed site is not to be covered by materials/ equipment etc.

6.2 For soil disturbance and removal from anywhere within the Resort: Where soil is to be moved to an alternate location

- Area of soil to be removed and location must be approved by a FCRM representative prior to the works commencing
- Remove soil using either machinery or hand tools and place in transport vehicle. There must be no incidental spreading of soil on the site during removal. When possible, lay out plastic sheeting or a similar impervious material on the bed of the transport vehicle.
- Cover the soil on the transport vehicle with plastic or a similar impervious material to ensure no soil is lost during transportation.

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- Return the transport vehicle to the worksite and follow the equipment hygiene procedure.
- Wash down the plastic or covering material as per the equipment hygiene procedure.
- For large projects that excavate deep into the subsoil, the risk of contaminated Hawkweed soil will be considered as part of the SEMP with individual case-by-case details to be specified regarding the washing down, the staging of soil material and the movement of soil to locations outside of the Resort. Topsoil is to be treated as the highest priority for minimising weed spread.
- If soil is moved off mountain the receiver of the soil should be notified that the soil has come from a Hawkweed contaminated area. After soil is emptied the truck should be washed down following the hygiene procedure below.
- If soil is proposed for use in another location within the Resort, then the risk of Hawkweed spread will be assessed by FCRM and the movement pathway logged by FCRM's Environment Officer.

6.3 For soil disturbance and removal from anywhere within the Resort: Where soil will remain on site

- Ensure PV have clearly marked any known hawkweed plants onsite. Ensure that no material stockpiles, access routes, waste receptacles or equipment storage are placed on or within a two (2) metre radius of a marked hawkweed site.
- Maintain excavated/ disturbed topsoil on site and ensure it is marked and can be accessed by Hawkweed eradication staff or maintain excavated/ disturbed topsoil on site and bury to a depth of at least 30cm.
- Ensure that access to the site remains open and safe for monitoring by either FCRM or PV staff.

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7. Equipment Hygiene

- All vehicles, machinery, equipment and footwear must be washed down with water after working with contaminated soil or working in a known hawkweed site.
- Machinery and tools must be washed down onsite or as soon as reasonably practicable (in some instances FCRM crews may select to transport covered equipment to the triple interceptor washdown bay at the FCRM workshop) immediately after working with contaminated soil or before moving to a different location if they have been accessing a Hawkweed site. Areas to be washed down include all parts of machinery or tools that have come into contact with contaminated soil including machinery and vehicle tyres. The area of washdown should be bunded to prevent seed spread due to water runoff, suitable bunding may include silt bags or silt fencing. All soil and vegetation must be washed from the vehicle.
- Footwear must be washed down prior to leaving a known hawkweed site. Hawkweed sites are marked with orange flags and/or flagging tape.
- Trucks that have transported soil off the mountain should wash down their vehicle at an appropriate washdown bay after emptying loads of soil.

8. Reporting

All works that impact on hawkweed sites must be reported to Parks Victoria and the database updated accordingly.

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9. Monitoring

Sites that have had soil removed during construction will remain on the hawkweed database and will be continued to be monitored as in accordance with the weekly annual monitoring program.

10. Other references and related documents

State of Victoria. 2019. Hawkweed. www.agriculture.vic.gov.au

11. Regular review of this Work Practice

The Board will review this Work Practice where required, to keep up-to-date with changes to laws, government policy, etc.

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