

205 Ballarat Road, Bell Post Hill

Planning Permit Application
PA2403124



© The State of Victoria Department of Transport and Planning 2024

Disclaimer

This publication may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this publication.

Officer Assessment Report
Development Approvals & Design



Department
of Transport
and Planning

Executive Summary

Key information	Details	
Application No.:	PA2403124	
Received:	15/08/2024	
Statutory Days:	78	
Applicant:	Kardinia International School C/- Urbis Ltd	
Planning Scheme:	Greater Geelong	
Land Address:	205 Ballarat Road, Bell Post Hill	
Proposal:	<ul style="list-style-type: none"> Internal and external refurbishment of existing junior school building, including minor demolition works. Internal and minor external refurbishment of existing 'S-building', including minor demolition works. 	
Development value:	\$4.3m	
Why is the Minister responsible?	<p>In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the Responsible Authority for this application because:</p> <p>The application is for buildings and works forming part of a K-12 school in which the estimated cost of development is \$3 million or greater.</p>	
Why is a permit required?	Clause	Trigger
Zone:	Clause 32.08 – General Residential Zone Schedule 1 (GRZ1)	<ul style="list-style-type: none"> Construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.
Overlays:	Clause 43.01 – Heritage Overlay (HO 1727)	<ul style="list-style-type: none"> Construct a building or construct or carry out works. Demolish or remove a building Remove, destroy or lop a tree
Cultural Heritage	N/A	
Total site area:	19.08 ha	
Gross Floor Area:	20.83 m ² (proposed floor area of extension)	
Referral authorities	Greater Geelong City Council (section 52(1)(b) notice)	
Public Notice	<p>Notice of the application under section 52(1)(a) of the Act was not required because the proposal would not cause material detriment to any person on the following basis:</p> <ul style="list-style-type: none"> The use of the land is not changing. The massing and scale of the buildings and works are consistent with existing built form. The buildings are internal to the campus and substantially set back from any nearby residential interfaces. The proposed works are consistent with the desired and current building forms. The proposal would not unacceptably impact the heritage values of the site. 	
Recommendation	The application is recommended for approval subject to the conditions as discussed in this assessment.	



Application Process

1. The key milestones in the process of the application were as follows:

Milestone	Date
Pre-application meeting	N/A
Application lodgement	15/08/2024
Further information requested	N/A
Further information received	N/A
Further plans submitted (formally under section 50 of the Act)	N/A
Further informally substituted sketch plans submitted	N/A
Decision Plans	Architectural Plans prepared by Croxon Ramsay and dated 12 August 2024

2. The subject of this report is the decision plans (as described above).

Proposal Summary

3. The proposal can be summarised as follows:

Key Information	Details
Proposal:	Internal and external refurbishment of existing junior school building, including minor demolition works. Internal and minor external refurbishment of existing 'S-building', including minor demolition works.
Total site area:	19.08 ha
Gross Floor Area:	20.83m ² (proposed floor area of extension)
Land uses	Education centre (existing)

4. Specific details of the application include:

Stage 1 (existing Junior School Building):

- Minor demolition to fenestration and roof for replacement to similar detail.
- Internal refurbishment
- Minor extension (20.83m²) at the north-west of the building
- Superficial upgrade to façade
- Removal of 6 trees
- Proposed replacement planting of 40 trees along the eastern boundary
- The proposed materials align with the original heritage colour palette.
 - Windows and door frames, Colour: Colorbond Gully

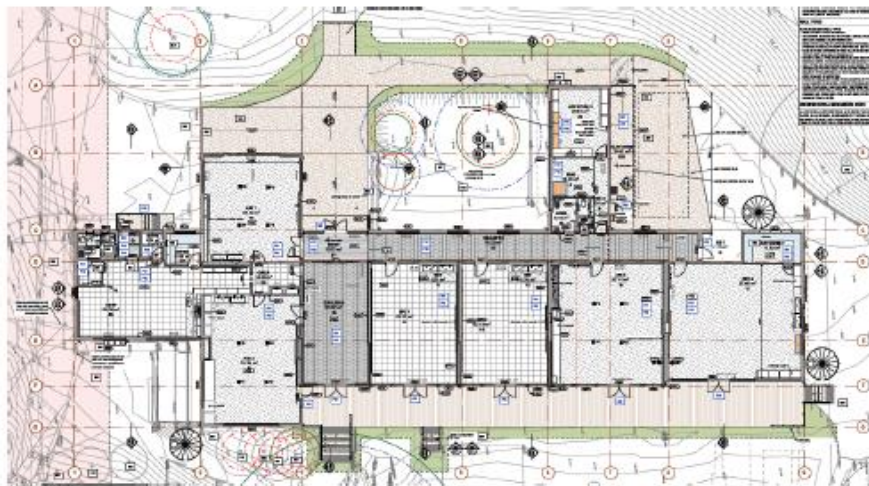
- Roof, trims, gutter & fc sheet cladding paint colour: colorbond Surfemist
- Existing Brickwork to be retained
- Deck: Modwood (Silver Gum brushed)

Figure 3 Proposed Elevations and Finishes



Source: Croxon Ramsay

Figure 4 Site Plan (Stage 1 Works)



Source: Croxon Ramsay

Figure 1 – plans of stage 1

Stage 2 ('S' building)

- Stage 2 works involve minor alterations to existing windows and finishes at the existing 'S-Building' at the northern and southern facades.
- The works are primarily internal, however minor demolition is required to increase the size of the existing windows. These works are intended to improve internal amenity ensure it can remain fit-for-purpose as the building ages.



Figure 5 Proposed Stage 2 Works

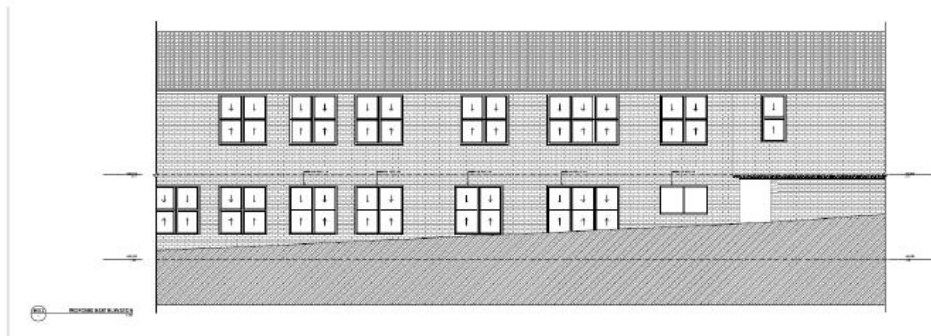


Source: Author



Source: Croxon Ramsay

Figure 6 Proposed Eastern Elevation



Source: Croxon Ramsay

Figure 2 – plans of stage 2

5. It is noted that staff and student numbers are not proposed to increase.

Site Description

6. The site is located at 205 Ballarat Road, Bell Post Hill on the northeastern side of the road, approximately 4.7 km northwest of the Geelong CBD.
7. The existing site comprises the Kardinia International College, a K-12 non-government school.
8. The land is described as Lot 1 on Plan of Subdivision PS 400001U. The proposal is entirely located within this allotment.
9. The proposed works affect two existing buildings at the school campus as indicated in the image below.



Figure 3 – location of works on site (shown in red)

10. There is a powerline easement traversing part of the existing Stage 1 works building in favour of S.E.C.V. The proposal does not impact the easement as there is no increase in the height or the size of the works within the easement.
11. Existing vehicle access is available from Ballarat Road, Kardinia Drive, and Gotemba Road.

Site Surrounds

12. The surrounding development consists mainly of suburban residential development, noting the presence of a public reserve to the west
13. Development surrounding the site can be described as follows:
 - To the **north** of the site: Existing residential allotments and Gotemba Road and Neil Street adjoin the site to the north. These dwellings are orientated towards Neil Street and therefore private open space areas are located along the common boundary. The land further north is also zoned within the Neighbourhood Residential Zone, mainly consisting of single dwellings on lots.
 - To the **south** of the site: Ballarat Road is a major arterial road and adjoins the site to the south. It is located within the Transport 2 Zone. South of Ballarat Road is existing residential land situated within the Neighbourhood Residential Zone. Further to the south-west is the Geelong Ring Road which provides connections through to Melbourne and the Bellarine Peninsula.
 - To the **east** of the site: Subdivided residential allotments adjoin the site to the east. These lots have been developed for single dwellings, with a few lots still vacant. This land is situated within the General Residential Zone. Anakie Road is located further east and provides a north-south arterial road connection from Ballarat Road through to the northern and western growth areas of Geelong.



- To the **west** of the site: Existing residential allotments adjoin the site to the west. The land directly to the west is also situated within the General Residential Zone and the wider area to the west is residential in nature, mainly consisting of single dwellings on lots. The Geelong Ring Road provides separation to the west between existing rural land and urban development, with an existing quarry located further west of the Geelong Ring Road.
- An aerial image of the site is included below (source: Nearmap)

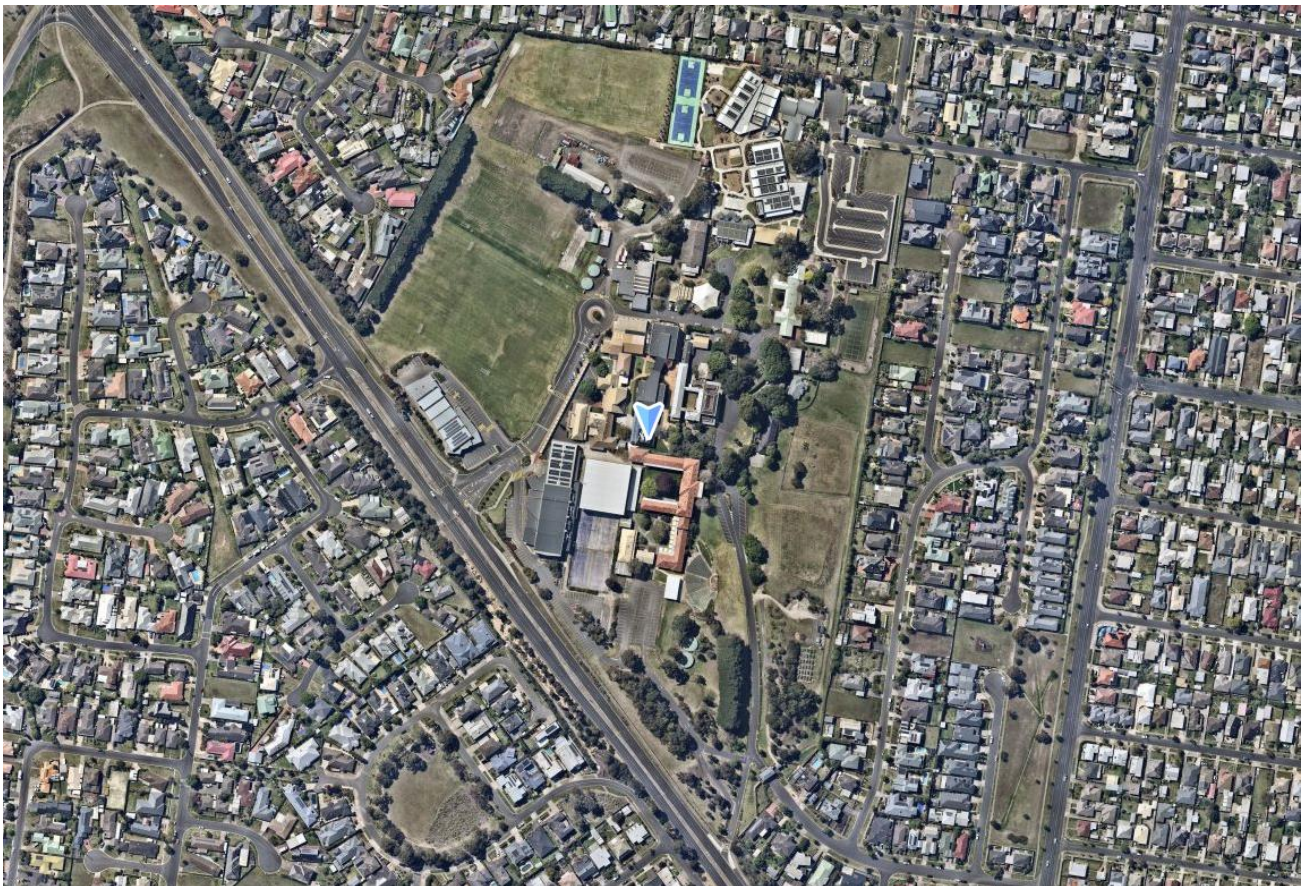


Figure 4 – Aerial image of site and surrounds



Municipal Planning Strategy

14. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause no.	Description
02.01	Context
02.02	Vision
02.03	Strategic Directions
02.03-2	Environmental and Landscape Values
02.03-5	Built Environment and Heritage
02.04	Strategic Framework Plans

Planning Policy Framework

15. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause no.	Description
11	Settlement
11.01-1R	Settlement – Geelong 21
11.01-1L-01	Settlement – Greater Geelong
Clause no.	Description
13	Environmental Risks and Amenity
13.05-1S	Noise Management
13.07-1S	Land Use Compatibility
13.07-1L-01	Non-residential uses in residential zones
15	Built Environmental and Heritage
15.01	Built Environment
15.03-1S	Heritage Conservation
15.03-1L	Heritage Conservation
19	Infrastructure
19.02-2S	Education Facilities

16. The Assessment section of this report provides an assessment of the relevant planning policies (as relevant to the proposal and key considerations)

Statutory Planning Controls

17. The following statutory planning controls are relevant to the proposal. Further details of these controls as they relate to the proposal is included in the assessment section of this report.
18. It is noted that many controls have been omitted from this report, for example: car parking, bicycle parking, stormwater management and native vegetation, as they have been determined not apply to the proposal.



GRZ

19. A planning permit is required to construct a building or construct or carry out works in accordance with 32.08-10. The purpose of the GRZ is:
- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
 - *To encourage development that respects the neighbourhood character of the area.*
 - *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
 - *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Heritage Overlay

20. HO203 relates to Kardinia International College. HO203 covers a small rectangular portion of land and solely relates to the original Morongo Girl's college building and is labelled 'Kardinia International College former Morongo 205 Ballarat Road and 5-61 Anakie Road'. HO203 is registered on the Victorian Heritage Register – VHR H1138. It is noted that this site will not be impacted by the redevelopment and is thus not relevant to the proposal.
21. HO1727 applies to the entire site exclusive of HO203 and has been identified to be of state and regional significance; however, is not included on the Victorian Heritage Register. As HO1727 applies to the location of the proposed works, pursuant to Clause 43.01-1 permission is required for the following elements of the proposal:
- *Demolish or remove a building.*
 - *Construct a building or construct or carry out works.*
 - *Remove, destroy, or lop a tree*

Particular provisions

22. Clause 53.19 (Non-Government Schools) applies to this application as it is a non-government school.



Referrals

23. The application was referred to the following groups:

Provision/ Clause	Organisation	Response Received (date)
Section 52 – Notice	Greater Geelong City Council	10/09/2024

Municipal Council comments

24. The Greater Geelong City Council provided comments in response to section 52 notice. The council did not object to the proposal, subject to several recommended conditions. Some of these conditions will be placed on the permit in a form chosen by DTP, noting that the council are not a referral authority in this instance and the decision to include suggested conditions is at DTP's discretion.
25. It is noted that the council requested documentation be provided to support complete replacement of the original fenestration of Junior School Building. However, DTP officers consider this documentation is not required given the ambiguity regarding the significance of the building, and the overall support from council's heritage advisor in relation to the details of the replacement fenestration.
26. The following council recommendations and conditions, summarised below, are supported for inclusion as permit conditions:
- Update elevations prior to endorsement to reflect the correct compass directions.
 - Include a note on the plans prior to endorsement that the brickwork to the S building matches the existing brickwork's strength, texture and colour.
 - Endorse the tree protection management plan as part of the permit and require a letter of engagement of a Project Arborist be supplied to the council prior to commencement of any works on the site.
 - Require Tree Protection Zones be established prior to works, and a written statement from project arborist prior to occupation stating the TPZ's were maintained throughout construction.

Notice

27. The application was not advertised other than to the municipal authority under section 52(1)(b), as it was considered that the proposal would not to cause material detriment to any person because:
- The use of the land is not changing.
 - The massing and scale of the buildings and works are consistent with existing built form.
 - The buildings are internal to the campus and substantially set back from any nearby residential interfaces.
 - The proposed works are consistent with the desired and current building forms.
 - The proposal would not unacceptably impact the heritage values of the site.



What are the key considerations?

Strategic Direction and Land Use

28. The Planning Policy Framework encourages appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
29. The site currently operates as a school and the proposed additions and alterations to the existing school remain consistent with the current use and are therefore consistent with the purpose of the General Residential Zone. The proposal will contribute to the delivery and improvement of community infrastructure and education facilities within the area.
30. As the use of the land for a school is established, the development remains compatible with surrounding residential uses. Notably, the proposal does not increase student or staff numbers or significantly intensify the land use.
31. The relevant MPS and PPF policies have been taken into account and given effect in assessing the application.

Built form

32. The built form is generally consistent with the existing form the buildings, with an increase in floor area of 20.83 m² as part of stage 1 works and no increase in floor area in stage 2. The proposal is therefore in keeping the form of residential development in the area.
33. The proposed works are designed to integrate with the existing surrounding school buildings, noting the external refurbishments are consistent with the original neutral finishes of the buildings.
34. The proposal will result in minimal change to the streetscape of any external road frontage given the works are positioned centrally to the school campus. It is therefore considered that the built form is consistent with the purpose of the GRZ and non-residential use decision guidelines under Clause 32.08-14.

Amenity

35. Impacts to surrounding developments or dwellings are considered negligible for the following reasons:
 - The area of proposed works are setback approximately 65 metres from the nearest residential properties to the east of the site, fronting Schofield Court.
 - The proposal will not materially change the streetscape of any external road frontage given the works are significantly setback from road frontages.
 - The proposed works are well integrated with the other school buildings and will be of limited visibility from the street given the setbacks and location centrally on the site.
 - Staff and student numbers are not proposed to increase under this application and there will be no significant intensification of the land use.

Heritage

36. The proposed works for Stage 1 and 2 are within the Heritage Overlay – Schedule 1727, which has been identified to be of state and regional significance, though is not included on the Victorian Heritage Register.
37. Works proposed to the existing junior school building under stage 1, apart from internal alterations, involve the removal of the existing roof cladding, eaves linings, fascias, windows and doors, and paving. The replacement roof cladding is to be corrugated Colorbond ‘Surfmist’ colour. No adverse effect on the significance of the subject building and more broadly the Kardinia International College site will occur as a result. Similarly, the changes to the paving will have no adverse effect on the significance of this heritage place.



38. While the Greater Geelong council's heritage advisor is supportive of the overall design, it was requested that more evidence be supplied to support replacement of windows rather than repair. However, as discussed under the referrals section of this report, DTP does not consider this requirement to be warranted.
39. With respect to stage 2 works to the existing 'S building', the changes are largely internal; however, there are minor works to extend several of the existing windows and relocate one of the doors which will alter the external appearance. The council's heritage advisor has raised no objection to the works or the materials proposed. DTP officers also consider that the works are minor and would not adversely impact the site's heritage values.
40. It is noted that while tree controls apply under the overlay, the trees being removed are not identified as forming part of the heritage fabric of the site under the statement of significance. The trees are therefore supported for removal, noting that that applicant has proposed plantings to offset this loss as discussed under arboricultural considerations below.

Arboricultural considerations

41. An Arboricultural Impact Assessment was supplied with the application to support the removal of 6 existing trees, which the report identifies as planted specimens. Notably, native vegetation requirements of clause 52.17 do not apply to planted trees, and the sole trigger for their removal in this instance is the heritage overlay.
42. As discussed above, the trees can be removed as they do not contribute to the significance the heritage place. Although an offset is not typically required for removal of trees under a heritage overlay, as the considerations are not related to environmental values, the applicant has proposed 40 trees to be planted along the eastern boundary. This is considered a positive outcome and is supported.
43. Conditions will be included on the permit to endorse the tree protection management plan supplied and to ensure tree protection zones are provided during works, as discussed under the referral section of this report.



Recommendation

44. **It is recommended that a Delegate of the Minister for Planning** issue Planning Permit No. PA2403124 for the buildings and works associated with an existing non-government school at 205 Ballarat Road, Bell Post Hill, subject to conditions.

Conclusion

45. The proposal is generally consistent with the relevant planning policies of the Greater Geelong Planning Scheme and will contribute to the provision of primary and secondary education within the local area.
46. The proposal is generally supported by informal referral agencies.
47. It is recommended that the applicant be notified of the above in writing.



Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.



Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

