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**URBIS**

# **15 KING STREET, DANDENONG**

Town Planning Report

Prepared for  
**ATN GROUP**  
June 2021

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# 1. EXECUTIVE SUMMARY

This report has been prepared on behalf of the permit applicant in support of a planning permit application for the development of a four (4) storey residential building comprising fourteen (14) dwellings at No. 15 King Street, Dandenong (the subject site). A planning permit is required to:

- Construct two or more dwellings on a lot within the Residential Growth Zone, pursuant to Clause 32.07-5.
- Construct a fence within the Residential Growth Zone that exceeds a maximum height specified within Clause 55.06-2 and is associated with a residential building.

The planning report describes the subject site and surrounding context. It details the proposed works and provides an in-depth assessment against the relevant planning controls and policies contained within the Greater Dandenong Planning Scheme. The report assesses the suitability of the proposed development in the context of the site and surrounds, including in the context of the emerging character of Dandenong. Specifically, the report determines:

- Several adjustments have been made throughout the planning phase of development to improve the on-site and off-site amenity of the proposal. Key alterations include increases to setbacks, a reduction in overall building footprint and increase in landscaping opportunities and open space.
- The proposal represents a contemporary form which is respectful of the mixed character of the area and is consistent with the emerging character of Central Dandenong.
- The built form design incorporates appropriate setbacks in a direct response to adjoining interfaces, and to facilitate landscaping opportunities which will assist with the integration of the site with the streetscape.
- The residential development will reflect an appropriate built form scale to match the context of the area and will contribute to the increased demand for housing density and diversity of the Residential Growth Zone.
- The site is well positioned for residential development, being located within proximity to the *Central Dandenong Activity Centre* and public transport nodes. The development is strategically placed within a Residential Growth Area that provides easy access to shops and services for the needs of future occupants.

## 1.1. SUPPORTING DOCUMENTS

This proposal has been informed by a range of specialist development disciplines. This report should be read in conjunction with the following:

- Architectural Plans, Revision A dated 10/06/2021 prepared by David Natale
- Traffic and Transport Assessment prepared by Cardno;
- Landscape Concept Plan and Planting Schedule prepared by Nadia Gill Landscape Architects;
- Sustainability Management Plan prepared by EcoResults;
- Waste Management Plan prepared by EcoResults;
- Arborist Report prepared by TMC Reports;
- Metropolitan Planning Levy Certificate
- Certificate of Title

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## 2. SITE CONTEXT

### 2.1. SUBJECT SITE

No. 15 King Street, Dandenong is located to the north of King Street and is formally known as:

- Lots 1 & 2 on Title Plan 426803W.

There are no covenants or easements affecting the land.

The subject site has a frontage of 15.24 metres to King Street to the south, and a lot depth of 45.87 metres. The site is rectangular in shape, with a total lot area of approximately 699 square metres.

The site is currently developed with a single storey brick dwelling, with a pitched roof and low scale brick front fencing. There is a single width crossover to the east boundary of the King Street frontage with an accessway extending the length of the eastern boundary, including a garage structure located within the rear setback.

There are several established trees and vegetation present across the site, primarily located within the front and rear setbacks.

Picture 1: No. 15 King Street, Dandenong



### 2.2. IMMEDIATE INTERFACES

The subject site's interfaces are described below.

#### 2.2.1. North

To the north of the site are No's. 2 & 4 Edith Street, Dandenong. Both lots are developed with triple and double-storey brick units with pitched roof form, located in the Residential Growth Zone (Schedule 2). These properties feature vehicle access via crossovers at the Edith Street frontage, low front fences and landscaped front setbacks.

Picture 3: No. 2 Edith Street, Dandenong (looking south)



Picture 4: No. 4 Edith Street, Dandenong (looking south)



## 2.2.2. South

To the south of the site is King Street, a neighbourhood street located in the Residential Growth Zone (Schedule 1). King Street comprises a single lane of traffic in each direction with on-street parking.

Beyond this is No. 16-46 Cleeland Road, Dandenong, a 7-hectare parcel containing Dandenong Market and associated car parking. This area is zoned as Comprehensive Development Zone – Schedule 2.

Picture 5: 16-46 Cleeland Road, Dandenong (looking south)



### 2.2.3. East

To the east of the site is No. 17 King Street, Dandenong, a single-storey weatherboard dwelling with pitched roof form, located in the Residential Growth Zone (Schedule 1). There is a single width crossover to the east boundary of the King Street frontage with an accessway extending the length of the eastern boundary, including a garage structure located within the rear setback. The site has a brick and iron front fence and a sparsely vegetated front setback.

Picture 6: 17 King Street, Dandenong (looking north)



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## 2.2.4. West

To the west of the site is No. 13 King Street, Dandenong, a single-storey brick dwelling with pitched roof form, located in the Residential Growth Zone (Schedule 1). There is a single width crossover to the east boundary of the King Street frontage with an accessway extending the length of the eastern boundary, including a garage structure located within the rear setback. The site has a wooden picket front fence and a sparsely vegetated front setback, including a large tree.

Picture 7: 13 King Street, Dandenong (looking north-west)



## 2.3. BROADER AREA

The wider surrounding area is predominately occupied by residential properties, defined by a mixed neighbourhood character. Residential areas within proximity to the *Central Dandenong Activity Centre* have a notable variation of built form height and scale, while architectural styles and materiality remain consistent. This includes single and double storey detached and semi-detached dwellings, as well as apartment developments ranging from one to three storey scale.

The diversity and increased density of the area is reflective of the changing city character identified within the Residential Periphery of the *Dandenong Central Activity Centre*, as specified in *Clause 22.07 - Central Dandenong Local Planning Policy*.

The site is well serviced and is located within proximity to a variety of commercial, community and public transport services. These include:

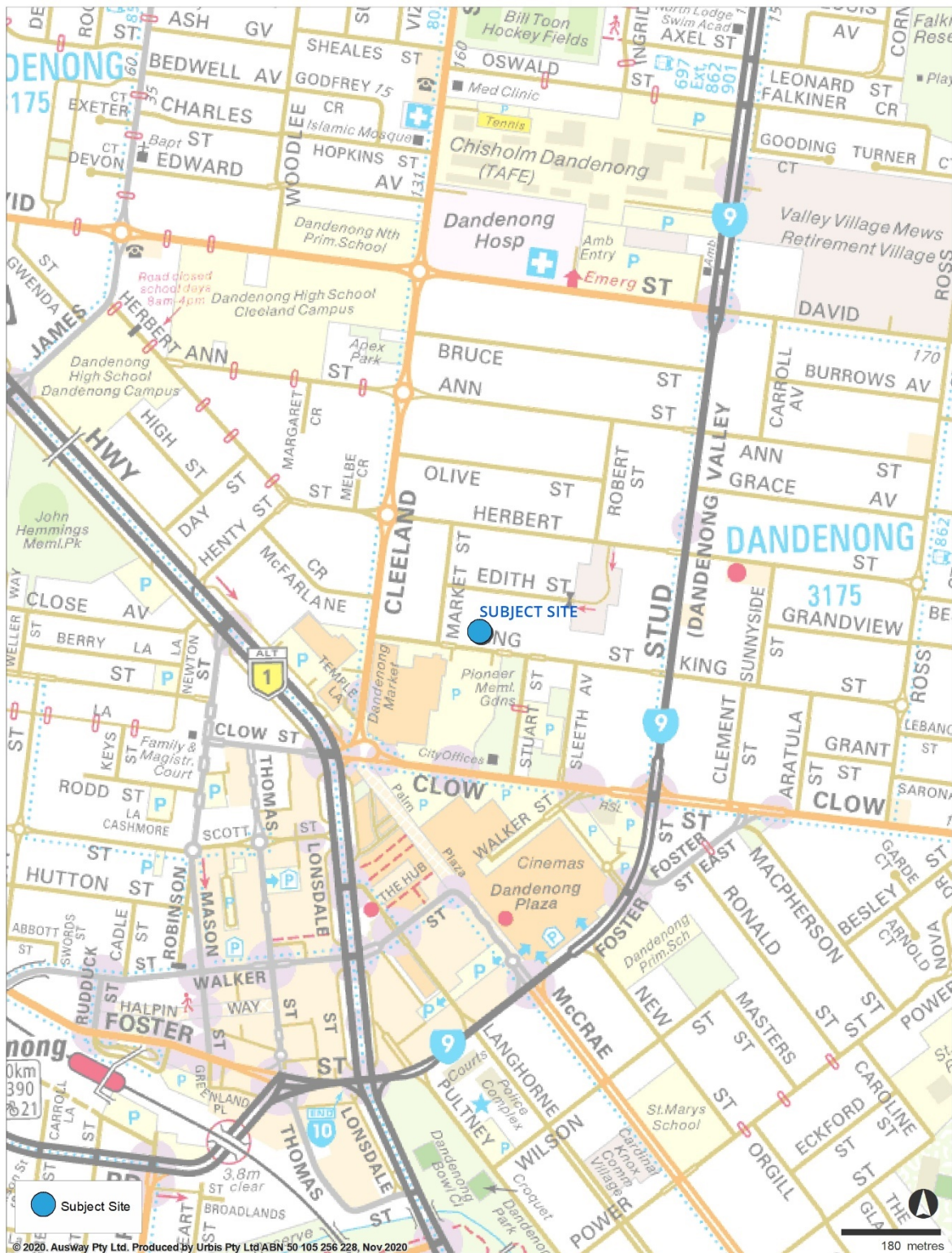
- The Dandenong Market entrance located on the corner of King Street and Cleeland road is approximately 185 metres to the west of the site and Dandenong plaza is located approximately 250 metres to the south of the site.
- A range of local primary and secondary schools within proximity to the site, including Dandenong High School and Dandenong Primary School. A variety of sporting and recreational facilities are also located within proximity to the site, including Hemmings Park and Robert Booth Reserve.
- The subject site is closely linked to the Monash Freeway, a major transit corridor. The site is also 250 metres from Bus Route Numbers. 802, 804, 811, 816 stop and 350 metres from a Bus Route Number 901 stop.
- Examples of built form that is of a similar density to the proposal can be found at Number 4 Edith Street, 9 King Street and 3 Market Street, Dandenong.



## 15 KING STREET, DANDENONG

### SITE LOCATION

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**15 KING STREET, DANDENONG**  
**SITE LOCATION**

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# 3. PROPOSAL

## 3.1. DEVELOPMENT SUMMARY

The proposal seeks the full demolition of the existing dwelling on the site (no permit required). The proposal subsequently seeks approval for the construction of a multi-storey residential building, comprising fourteen (14) dwellings. The key details of the proposal are provided below:

Table 1 – Development Summary

<b>Site Area</b>	699 sqm
<b>Site Coverage</b>	57.8%
<b>Permeable Surfaces</b>	154 square metres (22%)
<b>Maximum Building Height</b>	4 storeys / 12.5m
<b>Dwellings</b>	14
<b>Car Parking Spaces</b>	14

## 3.2. BUILT FORM DETAILS

The proposal seeks to introduce a high-quality building to the site, providing a significant enhancement of the public realm, and contribute to the site and wider area. The main details of the proposal are clearly depicted in the architectural plans and summarised below:

- Full demolition of the existing building on the site (no permit required).
- Construction of a four-storey building (and basement) comprising of a mixture of housing stock (one and two bedroom dwellings) and associated built form interspersed with landscaped balconies and glazing elements to provide depth and visual interest in the development.

### 3.2.1. Front Fence Details

A 1.5 metre front fence is proposed along the front setback. Pursuant to Clause 32.07-5 a permit is required to construct a fence if:

- The fence is associated with 2 or more dwellings on a lot or a residential building, and
- The fence exceeds the maximum height specified in Clause 55.06-2.

Pursuant to Clause 55.06-2 The responsible authority must consider the:

- *The design response.*
- *The setback, height and appearance of front fences on adjacent properties.*
- *Any relevant neighbourhood character objective, policy or statement set out in this scheme.*

The proposed fence will blend against the existing and proposed landscaping along King Street. The proposed fence is to be made of feature brickwork that will be respectful to the scale of existing brick fencing within the immediate area (17 and 13 King Street, Dandenong). The western portion of the front fencing is to be landscaped and opens the front setback to pedestrians, providing a level of transparency to ensure integration with the streetscape is retained. Together the proposed street interface complements the mixed style of front boundary treatments in the surrounding streetscape.

### 3.2.2. Proposed Setbacks

The proposed development is set back from the side and rear title boundaries as follows.

#### **North (rear)**

The development is setback a minimum of 3.5 m from the northern boundary at ground level.

The rear setback of the balcony at the first level is 2.7m, 4.6 m at the second level and a minimum of 7m at the top level.

#### **West**

The development is built within a minimum 1.1 metres from the western boundary and includes varying setbacks of 1.7 metres and 3 metres above ground level.

#### **East**

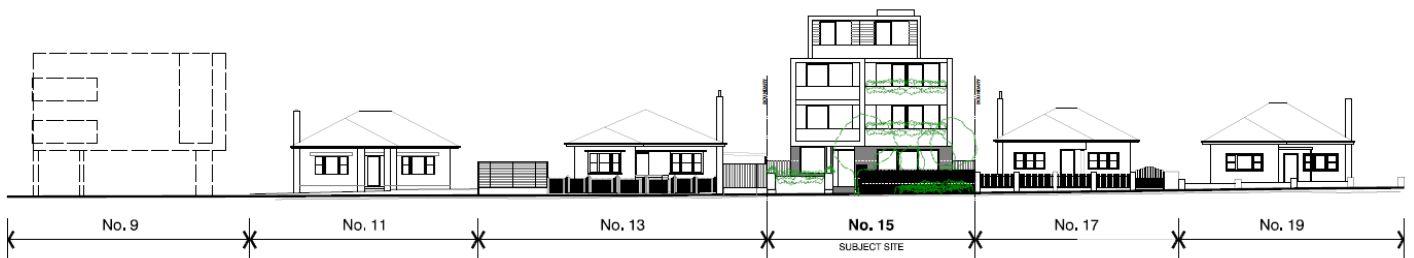
The development is setback a minimum of 1.1m from the eastern boundary and this increases to 1.7m at the second and third floor.

At the fourth floor, the development is set back a minimum of 4.0m.

As well as the above setbacks, the built form incorporates multiple building breaks along the eastern and western elevations, and it significantly narrows to the rear of the site at the upper levels to protect the sensitive interfaces on the adjoining lots.

The overall built form is contemporary in style, utilising minimalistic design principles and geometric shapes, punctuated. The materiality creates visual interest, with a neutral palette of exposed concrete, aluminium framing and balustrades, timber and grey brickwork.

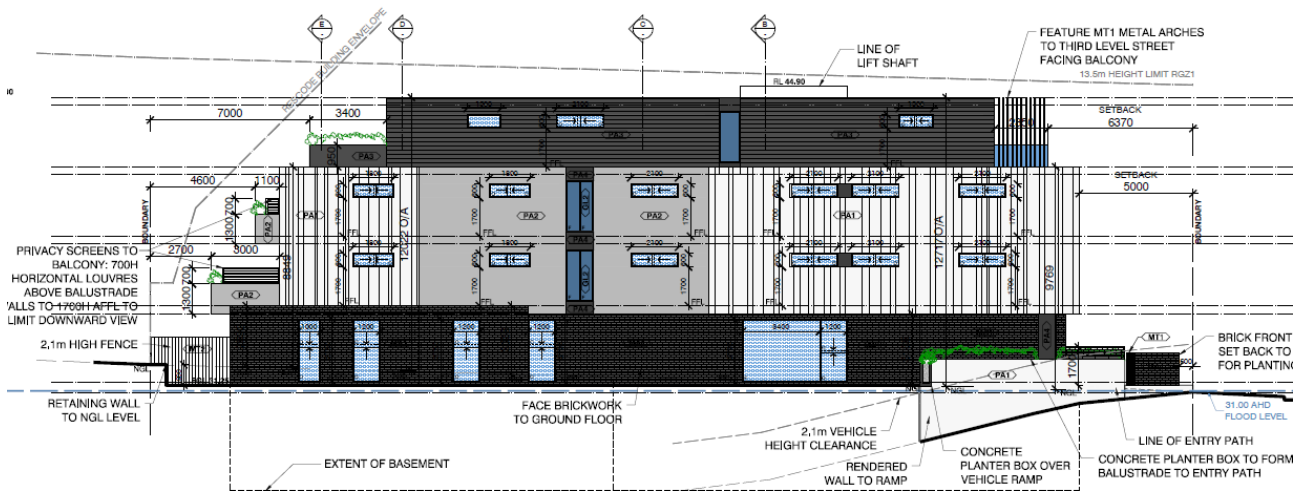
Figure 1: Proposal Streetscape (south elevation)



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Figure 4: West Elevation



### 3.3. LANDSCAPING

Clause 32.07-2 outlines the varied requirements of Clause 55 under the Residential Growth Zone. As such, 70% of the ground level front setback must be planted with substantial landscaping and canopy trees.

Open space areas have been carefully curated with a range of purposefully designed landscaped elements interspersed with paved areas. The development and associated landscape plans provide for high quality inground landscaping along all title boundaries of the site.

Several canopy trees are proposed within the Private Open Space around the north-eastern, north-western and south-eastern corners of the site. Vegetation along the east and west boundaries provide screening along adjacent sensitive interfaces.

Additionally, adequate setbacks have been introduced on the ground level to provide for genuine deep-soil planting and landscaping opportunities, which seek to soften to visual presentation of the development.

*Refer to the Concept Landscape Plans prepared by Nadia Gill for further detail.*

### 3.4. TRAFFIC ARRANGEMENTS

Vehicular access will be provided via a proposed crossover to the west of the frontage on King Street. This crossover will provide access to the basement car parking area, as well as the bicycle storage area.

A total of 14 car parking spaces for future residents are to be provided within the basement level.

The Traffic Engineering Assessment prepared by Cardno, provides further detail of the car parking and vehicle access arrangements.

The proposed dwellings are less than four storeys high and accordingly has no statutory requirement to provide bicycle parking. Nevertheless, an area is proposed to be reserved for bicycle parking within the basement car park.

A bin room will be located within the basement level accessible from the staircase or lift. Waste will be collected from the King Street frontage via private collection, as detailed within the Waste Management Plan prepared by EcoResults.

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### **3.5. PEDESTRIAN ACCESS**

The main pedestrian access to the site will be located adjacent to the vehicle access, within the central area of the frontage. The proposed entry pathway will include paving and vegetation along the edges to provide a clear sense of address and visible access. Each apartment will be accessed from within the foyer area.

### **3.6. ENVIRONMENTALLY SUSTAINABLE DESIGN**

The Sustainability Management Plan prepared by EcoResults demonstrates that the project satisfies the sustainability requirements of Clause 22.06 (Environmentally Sustainable Development) in the Greater Dandenong Planning Scheme. Refer to Section 4.8 of this report for a summary of the sustainability ratings and initiatives. With appropriate implementation, management, monitoring and maintenance, the initiatives outlined within the Sustainability Management Plan will ensure an environmentally and economically sustainable development is delivered.

*Refer to the Sustainability Management Plan prepared by EcoResults for further information.*

### **3.7. WASTE MANAGEMENT**

A Waste Management Plan (WMP) has been prepared by EcoResults, detailing the proposed waste arrangements for the site, taking into consideration Clause 55.07-11, which relates to waste and recycling objectives for Apartment Developments.

The proposed development provides easily accessible bin storage rooms located within the basement area next to the lift and stairs for residents to manage and sort the transfer of waste. A Private Waste Collection company will be responsible for taking the bins from the bin room to the street to be collected by a waste truck.

*Refer to the Waste Management Plan (WMP) prepared by EcoResults for further information.*

## 4. PLANNING CONSIDERATIONS

The planning assessment addresses the following key matters:

- Planning Policy Support
- Appropriateness of Uses
- Design Response
- Amenity Considerations
- Traffic, Access and Car Parking
- Environmentally Sustainable Design
- Waste Management

Details of the planning controls and permit triggers are included within **Appendix A**.

### 4.1. PLANNING POLICY SUPPORT FOR THE PROPOSAL

#### 4.1.1. Demographic Analysis

Melbourne's south east is undergoing transformation with the conversion of low-scale residential land to higher-density residential development to accommodate Greater Melbourne's growing population. The Dandenong area's accessibility to the CBD and strong road and rail connections has made it popular with families and employees that work in the City and nearby industries. While growth has historically been driven by detached dwellings, new infill developments are providing more diverse housing stock. Dandenong's location provides convenient access to the *Dandenong National Employment and Innovation Cluster (NEIC)* as listed in Plan Melbourne 2050, including the *LOGIS Industrial Park* and the *Hallam Business Park*. The Dandenong NEIC has strong links to the other nearby employment areas of Braeside, Carrum Downs, Pakenham and Knox/Bayswater, an industrial network that supports around 148,000 jobs.

This recognition of Dandenong's economic importance is supported by the *Revitalising Central Dandenong (RCD)* initiative which boasts a \$290 million commitment from the Victorian Government to support Central Dandenong's transition into an economic hub. The project is designated to attract more than \$1 billion in private sector investment, creating approximately 5,000 additional local jobs, and enhance Dandenong's appeal as a place to live, work and visit. Crucially, around \$700 million has been invested to date to rejuvenate and re-establish Dandenong's city centre as the capital of Melbourne's growing south east region.

The Dandenong area in the south-east of Melbourne is characterised by residential and industrial spaces as well as health and education precincts. In recent times, the area has been undergoing significant gentrification and regeneration. In light of this, the area is witnessing the conversion of former low-density residential and outdated industrial and commercial sites into diverse housing options to accommodate a growing desire to reside in the area.

#### 4.1.2. Planning Scheme Amendment C182

Planning Scheme Amendment C182 was gazetted into the planning scheme on the 21st of December 2017. Among other things, the amendment sought to implement recommendations of the Greater Dandenong Residential Planning Policy and Controls Project 2015. The Amendment changed local policy and zone provisions that affect all residential land in the municipality, rezones land and makes other associated changes to the Greater Dandenong Planning Scheme. Importantly, this amendment rezoned land between Clow Street and David Street from Residential Growth Zone – Schedule 1 to General Residential Zone – Schedule 1. This change sought to identify growth areas more appropriately within

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Central Dandenong, whilst protecting the existing character of land that was situated outside areas dedicated for density growth.

Since the amendment, land zoned within the Residential Growth Zone is tactically situated to accommodate the future populations of Greater Dandenong as per the Residential Planning Policy and Controls 2015. Further, land within these zones seeks a higher density of development and encourages greater built form than the General Residential Zone.

## 4.2. CONSISTENCY WITH THE GREATER DANDENONG PLANNING SCHEME

### 4.2.1. Planning Policy Framework

The proposal is consistent with the Planning Policy Framework (PPF), which recognises the importance of supporting the projected population growth of Melbourne with enough employment and housing opportunities. The PPF supports development in locations which are close to public transport and services and are in established urban areas. The development of this site is aligned with strategic objectives (**Clause 11**) that recognise the importance of higher density, within the residential periphery of Activity Centres, particularly those afforded with a high level of amenity and transport options. The site is located approximately 1.1 kilometre from Dandenong Station, an important transport node for both suburban and regional transportation options. The proposal's strategic location also supports the creation of 20-minute neighbourhoods, through its proximity to a range of civic, commercial and retail functions within the Dandenong Activity Centre. The building design will contribute positively to local context and will work to activate ground floor interfaces and the wider public realm (**Clause 15.01-2S**). The architects have provided careful consideration of surrounding current and future built form and the building will enhance the urban environment that surround it (**Clause 15.01-1S**). The proposal accords with strategic aims to increase and diversify housing typologies, through its provision of apartments within a key strategic activity centre site (**Clause 16**).

### 4.2.2. Local Planning Policy Framework

The proposal accords with the strategic aims of Greater Dandenong's Local Planning Policy Framework, which is underpinned by its strategic vision as a diverse, connected, and sustainable area afforded with strong community participation, health, and wellbeing (**Clause 21.03**). This proposal accords with Greater Dandenong's local planning policy framework in the following ways:

- It provides a high quality and sustainable development that contributes to the surrounding neighbourhood character and sense of place within close proximity to an Activity Centre (**Clause 21.04**).
- The development assists to diversify the range of housing types and densities within the area, which complements the agglomeration of retail uses within the iconic Dandenong Market (**Clause 21.04-1**).
- This development provides for higher residential densities within an activity centre that is well serviced by public transport, services and community facilities (**Clause 21.07-1**).
- The proposal provides a site-specific response that responds to its interfaces. The façade is well articulated, and the built form has been designed to a high architectural standard (**Clause 21.05-1**).
- The proposal's strategic location in close proximity to the Dandenong Station and numerous bus routes promotes the use of sustainable transport (**Clause 21.07**). Carparking provision has been placed within basement levels to ensure carparking does not dominate the public realm (**Clause 21.07-4**).
- This proposal includes the required environmental sustainability development tools and aims to ensure a range of ESD initiatives are included within the proposal (**Clause 22.06**).
- The development responds to local policy regarding urban form and housing, as it respects valued characteristics of residential neighbourhoods (**Clause 22.09**).

### 4.2.3. Planning Controls

The proposal is consistent with the planning controls that apply on the site, namely the Residential Growth Zone. The proposal is aligned with the objectives of the Residential Growth Zone (RGZ) through its

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provision of a residential building that diversifies housing options for the area, in a site that makes optimal use of facilities and services.

In accordance with Schedule 1 to the RGZ, the proposal is consistent with the strategic aims of the Greater Dandenong Planning Scheme, which seeks to develop the scale and built form of residential developments to complement the existing site circumstances through articulated building elevations and well-proportioned massing and ground level setbacks.

The proposed development has a maximum building height of 12.50m and is consistent with the preferred building height (a discretionary control) of 13.5 metres for residential buildings.

### 4.3. APPROPRIATENESS OF PROPOSED USE

The application proposes a four-storey residential building containing fourteen (14) dwellings. The site is located within the Residential Growth Zone, which seeks to encourage:

- Housing at increased densities in buildings up to and including four storey buildings.
- A diversity of housing types in locations offering good access to services and transport including activity centres and town centres.

The proposal for a four storey residential building, within proximity to Dandenong Activity Centre and associated services, directly accords with these objectives.

The proposed development will provide higher density apartments with a range of dwelling sizes that will serve to diversify residential typologies for the community of Dandenong while responding to projected population growth alongside Dandenong's designation as a Metropolitan Activity Centre.

Furthermore, pursuant to Clause 22.09-3.2, the site is identified as being located within a Substantial Change Area. These areas are suitable for medium to high density housing (of up to three or four storeys) because of their identified locational attributes. Change in these areas will be managed to establish the future built form described below, rather than to maintain existing character. The proposal exemplifies this shift in character to higher density residential development.

Given that the site is immediately adjacent to the Dandenong Metropolitan Activity Centre and is within walking distance to a variety of services, higher density residential development (up to four storeys) can be supported in this location.

### 4.4. BUILT FORM

#### 4.4.1. Neighbourhood Character and Architectural Expression

Council's Residential Development & Neighbourhood Character Policy included at Clause 22.09 of the Greater Dandenong Planning Scheme sets out the character and design guidelines for development in Future Change Areas. The *Residential Development & Neighbourhood Character Local Planning Policy* includes the preferred character statements, design objectives and design responses to be taken from the profiles. The site is located within a Substantial Change Area, which includes the following design objectives:

- *Support significant change and increased residential densities in the Substantial Change Areas (zoned RGZ1 and RGZ2).*
- *Achieve a stepping down in building height and dwelling density from the core of each Activity Centre to the Incremental Change Areas (zoned GRZ).*
- *Provide a transition in built form and density at the interface with the surrounding Incremental Change areas (zoned GRZ)*
- *Encourage residential development in the form of apartment and townhouse developments.*
- *Encourage well designed site responsive three and four storey medium to high density residential developments that make a positive contribution to the streetscape and are visually interesting.*
- *Encourage consolidation of allotments to increase development potential and achieve improved design outcomes.*

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It is also policy to assess all residential developments within the Sustainable Change Area against the following design principles:

- *The preferred housing types for the Substantial Change Area are medium to high density*
- *The preferred maximum building height for land within the RGZ1 and RGZ2 is up to 4 storeys, including ground level.*
- *Bulk & Built Form*
  - *Building bulk and height can be relatively uniform throughout the depth of sites, where articulated building elevations and well-proportioned ground level setbacks to upper levels are provided at the front, side and rear of buildings to allow for substantial landscaping to soften the built form.*
  - *Upper-level tiering may be appropriate in some cases with upper levels recessed from view. Tiered building profiles that result in excessive upper-level setbacks should be avoided.*
  - *Separation between upper levels of dwellings on a site is not generally needed, provided the building portrays a high standard of design and does not result in unreasonable amenity impacts.*
  - *The bulk and mass of the upper levels of any dwelling should not have an unreasonable adverse impact on the amenity of adjacent residential secluded private open spaces.*
  - *Residential development should be well articulated through the use of contrast, texture, variation in forms, materials, openings, colours and the inclusion of vertical design elements.*
  - *High density residential developments should provide safe and innovative communal open spaces.*

Having regard to the policies, provisions and decision guidelines of the Greater Dandenong Planning Scheme, particularly the Residential Development & Neighbourhood Character Policy at Clause 22.09, it is considered that the proposal respects and is compatible with the existing, emerging and preferred Neighbourhood Character of land within the Residential Growth Zone.

As described, the Dandenong Activity Centre and Substantial Change Area promote a state of transition. King Street, and the surrounding streets within the Substantial Change Area are characterised by a mixture of development, with single and double storey detached residential dwellings with street tree planting and landscaping within front and rear setbacks of lots, as well as multi-unit developments.

Policy at Clause 22.09 calls for new buildings to be consistent with the identified future character and preferred built form envisaged for the Substantial Change Area. The proposal's contemporary design is an appropriate response to the mixture of development within the surrounding area. Whilst the existing character of detached dwellings and unit-blocks in the surrounding area predominately features pitched tiled roof form constructed of a mixture of exposed brick, rendered brick and weatherboard, the envisaged character of multi-unit development promotes a greater variety in the use of materials and finishes to provide sufficient levels of visual interest and façade articulation.

The proposed development strikes a clever and innovative balance between the existing and envisaged character for Substantial Change Areas. Shown in greater detail within the Architectural Plans prepared by David Natale, the development incorporates several elements found within the broader streetscape. This includes the use of brick, and modern colour schemes that are respectful of the existing streetscape and Dandenong Market. Examples of three and four storey built form can be found at 9 King Street, 3 Market Street and 4 Edith Street, Dandenong. These examples provide context for the development and provide a precedence for mid-scale development within the area.

The proposal also breaks down the massing along the King Street frontage through the articulation of the balconies and front facade across all floors within the front setback. These breaks are reinforced through the engaging front setback which has genuine landscaping opportunities, as illustrated in the Landscape Plan prepared by Nadia Gill. Further, the proposal enlists the use of large windows along the front façade of the proposal at Ground, First and Second Floor as presenting to King Street to provide for articulation and integration with the King Street streetscape. As such, the proposal will be consistent with the emerging and preferred character of the Substantial Change Area.

The built form will be interspersed with balconies used to accentuate various vertical building elements.

High-quality architectural features, parapet design, planter boxes and building materials are integrated in the development to provide interest to the design and reduce the visual impact of building mass.

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The building is proposed to have a defined ground floor base with recessions occurring across the upper-levels to appropriately respond to the streetscape while maintaining the residential character of the area.

Further the massing has been designed in a way to reduce the form as adjacent the most sensitive areas of No. 13 and 17 King Street and No. 4 Edith Street, namely the existing private open space areas and areas proximate to habitable windows. The proposal provides greater setbacks in this area to provide visual relief to these sensitive interfaces. This includes at basement level to allow for a greater landscaped response, including canopy planting, to provide a vegetated screening.

The development also incorporates carefully curated landscaped elements at the upper levels of the building to enhance the recessed nature of these levels and providing a garden bed to soften the built form through the design, whilst providing screening to prevent overlooking.

A purposefully designed primary residential entry is provided along the King Street and provides a clear sense of address, with the habitable room windows and balconies allowing for passive surveillance of this entryway. Overall, the development provides for high levels of passive surveillance and activity to King Street.

The proposed building will be a unique and positive addition to the area with active street frontages, hidden services and an interesting and well-articulated façade, aimed at engaging the pedestrian eye.

In addition to an appropriate built form response, the development is suitable when assessed against the Substantial Change Area design guidelines and the decision guidelines of Residential Growth Zone which promotes medium to high density development within proximity to the Dandenong Activity Centre.

## 4.5. DESIGN RESPONSE

The built form setbacks have been sensitively designed to mitigate impacts of overshadowing, overlooking and visual bulk to adjoining residential properties to the north and east, as well as provide articulation to assist with breaking up and eroding the mass of the building.

The proposed built form and architectural design provide a high-quality response to the prescribed planning controls and strategic policy relevant to the site as explained in the following sections.

### 4.5.1. Height

The proposal has a maximum building height of 12.5 metres and is consistent with the preferred built form outcomes of the Residential Growth Zone, which stipulates a preferred maximum height of 13.5 metres. Furthermore, Clause 22.09 identifies the site as within a Substantial Change Area, with a preferred four storey maximum building height. The proposed development has a maximum building height of less than 13.5m and four (4) storeys, with a street wall height of three storeys and varied setbacks above the street wall.

### 4.5.2. Setbacks

The proposed development incorporates appropriate setbacks and breaks in the built form on all four interfaces as follows.

#### North

At ground floor, the site will be setback from the rear boundary by 3.5 metres. On level 1, the balconies of the two northern apartments will be setback 2.7 metres. Above this on level 2, the building will gradually taper back from the northern interface to 4.6 metres from the apartment balconies. On level 3, the solitary balcony will be set back 7 metres from the northern property boundary.

#### West

Along the ground floor western boundary, the building will be built to within a minimum of 1.1 metres of the boundary. At level one, apartments will be set back 1.7 metres to provide equitable development opportunities and protect privacy for the site to the west (17 King Street). Apartments along this interface will be orientated to the north or south to also provide equitable development opportunities and privacy to the adjoining property. Level 2 apartments will be setback a minimum of 1.7 metres from the boundary and level three apartments a minimum of 3.0 metres.

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## South

The built form will be sufficiently set back from King Street, which will allow for less invasive development that respects the existing streetscape. There is one entrance to the building foyer from King Street. This interface will also provide vehicular entrance to basement carparking via King Street. Above level 2, built form will be setback between 5 and 6.32 metres from the southern boundary to protect the integrity of the King Street interface.

## East

Along the eastern boundary, the building will be built within 1.7 metres of the boundary on the ground floor. At Level 1 and 2, the building will be set back 1.7 metres to provide equitable development opportunities and protect the privacy of the site to the west (13 King Street). Apartments along this interface will be orientated to the north or south to also provide equitable development opportunities and privacy to the adjoining property. Level 3 apartments will be setback a minimum of 4.0m to ensure that the privacy of the existing and future residents of 13 King Street are preserved.

### 4.5.3. Façade Strategy and Building Form

The proposed building presents a suitable shape that is highly responsive to its rectangular shaped site and is respectful of its immediate interfaces.

The façade strategy incorporates various articulation zones as follows:

- The street interfaces encompass highly articulated facades with varied window shapes and horizontal elements, resulting in a visually pleasing built form aesthetic.
- Relocation of the basement plan and removal of a ground level apartment has provided for great landscaping opportunities along the front setback, improving the visual representation of the building when viewed from the streetscape.
- The presentation to King Street encompasses a sufficient street setback and upper-level recession that contribute to the development's alignment with the street character.

### 4.5.4. Landscaping

The development and associated landscape plans have been carefully considered to provide for high quality inground landscaping along most of the title boundaries of the site, this includes ensuring that none of the development's walls are on boundaries. As such, deep soil garden beds are also provided along the entire east and west boundaries.

Multiple canopy trees are proposed along the front and rear setbacks of the site and vegetative screening is located along the east and west boundaries, which also serve to soften the appearance of visual bulk.

Clause 32.07-2 outlines the varied requirements of Clause 55 under the Residential Growth Zone. As such, 70% of the ground level front setback should be planted with substantial landscaping and canopy trees.

Given the narrowness of the lot, landscaping on the scale outlined within the Schedule to the GRZ is difficult to achieve. This complication is compounded by the north facing open space requirements of Standard 29 of Clause 55. To maximise the north facing open space of ground level units, landscaping opportunities on the narrow lot is limited, reflected on the landscape and architectural plans. However, this is abetted by the increase in ground level setbacks, removal of an apartment at ground level and relocation of the basement footprint toward the western interface, increasing the space available for genuine landscaping opportunities. The decision guidelines of Standard B13 of Clause 55.03 highlight the need for DELWP to consider the "design response" of the proposed landscaping. In response to this, the proposal has been carefully manipulated to increase the setbacks of the proposal to provide genuine landscaping opportunities and as such, improving the overall design response.

Open space areas have been carefully curated with a range of purposefully designed landscaped elements interspersed with paved areas, which are also included as part of the landscape proposal. Further, planter boxes have been proposed on the apartment balconies to add visual interest of the building.

*Refer to Plans prepared by David Natale and Landscape Plans prepared by Nadia Gill for further detail.*

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## 4.6. AMENITY CONSIDERATIONS

### 4.6.1. External Amenity

The proposed development has been carefully designed to be responsive to the amenity of the surrounding properties and the wider public realm and surrounding residential properties. The proposal has been designed to limit external amenity impacts in terms of visual bulk, overlooking, overshadowing, noise, and vehicle movements. Notably, development carefully manages sensitive interfaces adjacent to the subject site on King Street to the east and west, and the Edith Street properties to the north. An assessment of Clause 55 (ResCode) is provided at **Appendix B and Section 4.6.1.1**.

#### 4.6.1.1. Side and Rear Setbacks

Standard B17 of Clause 55.04 seeks to:

- *To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.*

When assessing the development under Clause 55.04-1 – *Side and Rear Setbacks*, the Responsible Authority must consider the:

- *Any relevant neighbourhood character objective, policy or statement set out in this scheme.*
- *The design response*

The Clause 55.04 – Side and Rear Setbacks is a blanket approach to residential development across Victoria and fails to consider the appropriate contextual outcome, rather it provides a standardised guide for built form. As such, it is important to consider the context of the development on which this assessment is used. Among other things, the Residential Growth Zone seeks to encourage a diversity of housing types in locations offering good access to services and transport, including Activity Centres. The location of the subject site is one where higher density housing is required and where deviations to the built form requirements of Standard B17 are considered appropriate in pursuit of greater housing stock. Within the City of Greater Dandenong, and more broadly in the south east of Melbourne, there are limited opportunities to facilitate higher density and affordable living arrangements within proximity to key infrastructure and services. For sites that are zoned for growth, it is crucial to meet the housing output requirements to ensure broader planning objectives are sufficed.

The objectives of Residential Growth Zone seek to:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*

To further accommodate growth in areas within walking distance of public transport and shops, land within the Residential Growth Zone must be utilised in a way that correctly meets the objectives of the Zone related to higher density development. The decision guidelines of the RGZ evaluate the compliance of development against:

- *The Municipal Planning Strategy and the Planning Policy Framework*
- *The purpose of this zone.*
- *The objectives set out in a schedule to this zone.*

The building setbacks have been designed to appropriately respond to the immediate interfaces of the site and ensure the setbacks proposed will enable equitable development opportunities and allow ongoing

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amenity, including solar access, to surrounding residents and guests of the future development. Specifically, the proposed development provides adequate side and rear setbacks to allow for inground landscaping response along all common boundaries of the site and to reduce visual bulk when viewed from these locations. The proposed setbacks ensure sufficient visual relief is provided between the development and adjoining built form when viewed from the public realm, particularly from King Street. They will also ensure that the internal amenity of the proposed development and adjoining properties is not compromised.

Although the side setbacks above the second floor do not comply with the Standard, it is considered that the development meets the objective as the built form incorporates varied building breaks to the east and west, and at the third and fourth level the development significantly tapers back, which mitigates the appearance of visual bulk when viewed from the neighbouring dwellings to the north, east and west. Additionally, areas of non-compliance are all presented to the south of the site toward King Street. More sensitive interfaces to the northern portion of the site when viewed from the east, south and west are sufficiently setback from neighbouring dwellings.

Within Clause 22.09, land within the Residential Growth Zone is designated *evolve over time to contain a greater proportion of well-designed and site responsive medium to high density residential developments*. Built form controls on the site promote higher density buildings with a maximum building height of up to 13 metres. Despite this clear intention to increase the amount of housing available on and around the site, the development has been carefully considered to ensure that no built form is proposed along the title boundaries of the site, to provide a consistent spacing between buildings and inground landscaping and screening opportunities.

When considering the appropriateness of the proposed built form against Clause 55, it is a necessary requirement to consider the purpose and objectives of the RGZ which clearly encourage high density development. Additionally, the directive under Clause 22.09 (Residential Development and Neighbourhood Character Policy) and Clause (Central Dandenong Local Planning Policy) is that the area zoned RGZ1 immediately surrounding the Dandenong Metropolitan Activity Centre will support the objectives of Clause 22.07 Central Dandenong Local Policy by facilitating high density residential development (up to four (4) storeys) within walking distance from the centre.

The development and the design response, whilst still respectful of the adjoining residential interfaces seeks to achieve a higher density living arrangement as clearly encouraged by the Local Planning Policy Framework.

An assessment of Clause 55.04-1 can be found below:

Table 1: Clause 55.04-1 Table

Location	Wall Height	Setback Required	Setback Proposed
<b>North</b>			
Ground	Max 3.35 metres	1 metre	Min 3.5 metres
First Floor (including planter box)	Max 6.4 metres	1.84 metres	Min 2.7 metres
Second Floor	Max 9.45 metres	4.09 metres	Min 4.6 metres
Third Floor	Max 12.5 metres	7.59 metres	Min 7 metres
<b>East</b>			
Ground	Max 3.35 metres	1 metre	Min 1.1 metres
First Floor (Including Planter Box)	Max 6.4 metres	1.84 metres	Min 1.7 metres
Second Floor	Max 9.45 metres	4.54 metres	Min 1.7 metres

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Location	Wall Height	Setback Required	Setback Proposed
Third Floor	Max 12.5 metres	7.59 metres	Min 4.0 metres
<b>West</b>			
Ground	Max 3.35 metres	1 metre	Min 1.1 metres
First Floor (Including Planter Box)	Max 6.4 metres	1.84 metres	Min 1.7 metres
Second Floor	Max 9.45 metres	4.54 metres	Min 1.7 metres
Third Floor	Max 12.5 Metres	7.59 Metres	Min 3.0 metres

#### 4.6.1.2. Daylight to Existing Windows and Overshadowing

There are two habitable room windows opposite the proposed development to the west and east of the site, whereby the development is built to within a minimum of 1.1 metres from the common boundary. The proposed development exceeds the requirement of Clause 55.04-3, as detailed below.

Location	Wall Height	Setback Required (from window)	Setback Proposed (from window)
<b>West</b>			
Ground Floor	Minimum 3.35 metres	Minimum 1.675 metres	Minimum 5.44 metres
First Floor	Minimum 6.4 metres	Minimum 3.2 metres	Minimum 4.98 metres
Second Floor	Minimum 9.45 metres	Minimum 4.725 metres	Minimum 4.98 metres
Third Floor	Minimum 12.5 metres	Minimum 6.250 metres	Minimum 6.88 metres
<b>East</b>			
Ground	Minimum 3.35 metres	Minimum 1.675 metres	Minimum 3.3 metres
First Floor	Minimum 6.4 metres	Minimum 3.2 metres	Minimum 3.8 metres
Second Floor	Minimum 9.45 metres	Minimum 4.725 metres	Minimum 5.25 metres
Third Floor	Minimum 12.5 metres	Minimum 6.250 metres	Minimum 6.6 metres

Further all existing habitable room windows opposite the proposed development are provided with a light court of 3 square metres with a minimum dimension of 1 square metre clear to the sky, in accordance with this Standard.

#### 4.6.1.3. Overshadowing

The development has been designed to ensure no unreasonable overshadowing impacts will occur to adjoining properties. Due to the north orientation of the site, the development will not overshadow the SPOS of the dwellings to the north. The proposed overshadowing of the site to the east and west will have minimal impact, as the extent of overshadowing will only occur at 9am and 3pm. More front setbacks rather than the rear SPOS.

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Further, the development has been carefully designed to ensure daylight access to existing habitable rooms on adjoining lots are retained.

*For further detail, please refer to the Shadow diagrams that accompany the plans prepared by David Natale.*

#### Overlooking

In relation to internal overlooking within the proposal, adequate separation distances between the various areas of the building is provided, or limited screening is used when necessary, therefore overlooking internally and externally to the site is appropriately managed in line with ResCode Standards B22 and B23.

The proposed development seeks to provide screening along the eastern, western, and northern elevation to prevent any overlooking into the existing dwellings at No. 13 & 17 King Street and 2 & 4 Edith Street. Overlooking from the second, third and fourth storey will also be prevented by incorporating Privacy louvres and garden beds on balconies as illustrated on the plans.

*Refer to architectural plans prepared by David Natale for further details with respect to overlooking.*

#### 4.6.1.4. Noise and Traffic Movements

The development has been carefully designed to ensure there are no unreasonable impacts on adjoining lots by way of noise or traffic movements. This includes ensuring that all services are located away from sensitive interfaces, with the lift core located centrally towards to the southern boundary, away from nearby residential dwellings. Vehicle access and car parking areas are designed in a way to limit off-site impacts, with access provided from King Street to the south of the site and all car parking occurring within the basement. Further traffic movements are relatively limited, and it is considered these will not result in undue amenity impacts on adjoining sites or the wider road network.

*Refer to the Traffic Engineering Assessment prepared by Cardno for further detail.*

#### 4.6.2. Internal Amenity

The proposal will provide a high level of internal amenity for future occupants and complies with the relevant ResCode Standards for on-site amenity.

The proposed development exhibits a high level of internal amenity for future residents of the site, which is achieved through the following:

- The fourteen (14) dwellings proposed will provide generous one- and two-bedroom apartment layouts.
- Each dwelling has been provided with suitable private open space areas which are accessible directly from the primary living areas and will receive the benefit of sufficient daylight access throughout the day.
- The primary pedestrian entrance to the building is located on King Street, to the south of the development. The upper floors feature glazing and balconies with an outlook to King Street to create an improved sense of safety around the pedestrian access.
- Lift and stair access are provided from the basement parking and lobby level and will require appropriate security methods to gain entry.
- The design of each dwelling ensures they all receive good amounts of solar/daylight access, with no habitable room relying on borrowed light, saddle-back arrangements or light wells. Most apartments are multi-aspect with opportunities for cross-ventilation.
- Opportunities for views have been maximised through placement and volume of glazing aligned with each apartment. Each dwelling will benefit from elevated viewing points, with the greatest potential gained through the balconies.
- The dwelling layouts have been carefully designed to ensure there is no opportunity for overlooking within the site itself.
- The apartment building will provide accessibility to future residents, with all dwellings achieving the minimum Standard B41 requirements. The centrally located lift cores within the development connect the basement with all floors and ensure all dwellings can be accessed by persons who are mobility assisted.
- Residents will not be affected by noise sources such as the Dandenong Market and associated car park spaces. Noise sensitive rooms

and secluded private open spaces of the new dwellings have been designed with protection from nearby noise sources.

- One car parking space is allocated to each dwelling via a car stacking facility, located within the secure basement level.
- Each dwelling has been provided with ample internal and external storage facilities.
- All communal corridors will be provided with access to natural light and ventilation.
- The design response will positively contribute to the passive surveillance of King Street.

Overall, the proposed development provides a built form that offers a luxury level of internal amenity for future residents.

## 4.7. TRAFFIC, ACCESS AND CARPARKING

A summary of traffic, access and car parking is provided below.

*Please refer to the Transport Impact Assessment prepared by Cardno for further detail.*

### 4.7.1. Access

Access to the site will occur via a single ground level pedestrian entrance and via the basement vehicle entrance. Access specifics are as follows:

- A single residential foyer will be accessed from King Street, via a pedestrian pathway leading from the street.
- The carparking entrance will be 3.5 metres in width and allow for access from King Street via a double crossover. This location for this vehicular crossing was deemed to have the least impact on the street as it allows for an unbroken interface for the majority of the southern interface. A traffic impact assessment undertaken by Cardno has determined that two vehicles are able to manoeuvre and pass one another around the proposed ramps and access ways.

Cardno has been involved in the project to ensure that all traffic related components of the development are appropriately resolved on site. They have also advised that anticipated traffic movements generated by the proposal can be accommodated within the surrounding street network, without adverse impact on the safety and efficiency of the area.

### 4.7.2. Carparking Spaces

As the site is within the Principal Public Transport Network, column B applies. Therefore, the proposed development has a statutory requirement of 14 car parking spaces. The proposal provides the following:

- A total of 14 car spaces
- 1 basement parking facility with 'car stacking', engineered by Klaus Multiparking (see enclosed Traffic and Transport Assessment)
- New crossover provided to King Street (existing crossover will be reinstated)

Table 2 – Carparking requirement and provision

Use	Statutory Requirement	Provision
Dwelling	14	14
Visitor	0	0
<b>Total</b>	<b>14</b>	<b>14</b>

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### 4.7.3. Bicycle Spaces

The proposed dwellings are less than four storeys high and accordingly has no statutory requirement to provide bicycle parking. Nevertheless, an area is proposed to be reserved for 14 bicycle parking spaces within the basement car park.

## 4.8. ENVIRONMENTALLY SUSTAINABLE DESIGN

The City of Greater Dandenong requires new developments to be supported by a Sustainable Design Assessment as part of the planning application process. The design of the development has been informed by Environmentally Sustainable Design advice, with the Sustainability Management Plan prepared by EcoResults to be submitted alongside this report.

The proposal will incorporate Environmentally Sustainable Development (ESD) initiatives to ensure the development achieves a high degree of compliance with the relevant policies relating to environmentally sustainable design, particularly relating to Clause 22.06 (Environmentally Sustainable Development), Clause 55.07-1 (Energy efficiency) and Clause 55.07-5 (Integrated water and stormwater management) of the Greater Dandenong Planning Scheme.

The various objectives and policy requirements of these Clauses are met through the following ESD responses, contained within the ESD report. Among other things, this development achieves the following:

- BESS score of 53% which represents best practice.
- The design incorporates habitable areas that will allow for adequate ventilation and reasonable solar access, including orientation of habitable room windows and private open space to the north where possible.
- FirstRate5 energy rating - The apartments do not exceed the NatHERS maximum cooling load for the Moorabbin Climate Zone, with no individual dwelling exceeding a cooling load of 14.6 MJ/M<sup>2</sup>, and the overall development achieves a minimum average energy rating of 6 stars.
- STORM Rating of 100% - Water Sensitive Urban Design (WSUD) initiatives include the integration of a rainwater tank with a total effective capacity of 10,000L, which will harvest rainwater from the upper roofs.
- The overall development incorporates efficient building design through features such as lighting, hot water, air conditioning units and capture and reuse of rainwater onsite.
- A Green Travel Plan will encourage uptake of sustainable methods of transport.
- The proposal has been designed to capture and make use of alternative water sources as well as reduce the impact of stormwater runoff. A Water Sensitive Urban Design Response has been incorporated through the development to provide appropriate onsite treatment measures.
- A minimum effective catchment area of 377 m<sup>2</sup> will be used to harvest stormwater into a rainwater tank with an effective storage of 10,000L. The tank is located within the basement level and as a minimum, collected water will be used for flushing toilets in all apartments on levels. The inclusion of this tank will help to reduce potable water demands and reduce the impact on downstream waterways.

## 4.9. WASTE MANAGEMENT

A Waste Management Plan (WMP) has been prepared by Ecoresults detailing the proposed waste arrangements for the site, taking into consideration Clause 55.07-11 which relates to waste and recycling objectives for apartment developments.

The proposed building will include a bin storage room on the basement level with various bins to segregate different types of waste. Residents will be tasked with disposal of recycling or bagged garbage into the bins provided in the bin storage room within the basement. A private contractor will be tasked to collect waste from King Street.

## 5. CONCLUSION

This report has examined the merits of the proposal for the contemporary and site responsive redevelopment of the site at 15 King Street, Dandenong. The assessment has found the proposal to be highly consistent with State and Local Planning Policy and will present an appropriate response to the residential periphery of the Dandenong Metropolitan Activity Centre. It is considered that the proposal is appropriate for the following reasons:

- The proposal is highly consistent with the key objectives and policies governed by the State and Local Planning Policy framework which seeks to promote a diverse and increased density development on this strategically located site in Dandenong.
- Development such as the proposal is encouraged within the scope of the Residential Growth Zone and will increase housing stock growth within the Dandenong Activity Centre.
- The provision of a residential building accords with the objectives of the Residential Growth Zone which supports a higher density of housing.
- The site is located with an area that will experience strong growth in population size and density that will be fuelled by the *Dandenong National Employment and Innovation Cluster (NEIC)* and the strong links to the other nearby employment areas of Braeside, Carrum Downs, Pakenham and Knox/Bayswater, an industrial network that supports around 148,000 jobs.
- Developments of this scale will be essential for supporting larger resident and working populations as Dandenong transitions into a major activity centre hub.
- The built form responds appropriately to the site and surrounds existing and future preferred character and provides an appropriate response to an underutilised location.
- The proposal will assist Dandenong to support population growth within the Residential Growth Zone and promote a development typology that accords with the area's designation for higher density development.
- Each interface has been carefully articulated to not result in unreasonable amenity impacts.
- The proposed dwellings have a high level of compliance with Clause 55 (two or more dwellings on a lot) based on the built form encouraged within the Local Planning Policy Framework.
- The site comprises suitable access and car parking for both residents and visitors and the provision of bicycle parking exceed the minimum requirements.
- The strategic location of the site means the site is afforded with good access to sustainable transport options.

# APPENDIX A

# PLANNING POLICY AND CONTROLS

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## PLANNING POLICY FRAMEWORK

The following policies are applicable to the subject site

- **Clause 11** – Settlement- recognises that planning is to anticipate and respond to needs of existing and future communities through provision of land for housing and employment amongst other things.
- **Clause 11.01-1R** –Settlement- Metropolitan Melbourne seeks to focus investment and growth in spaces of state significance including the Sunshine Metropolitan Activity Centre.
- **Clause 11.02** - Managing Growth seeks to ensure that sufficient land and supporting infrastructure is available to meet forecast demand and support sustainable urban development.
- **Clause 11.03** - Planning for Places encourages the concentration of major retail, residential, commercial, administrative, entertainment and cultural development into activity centres that are highly accessible to the community.
- **Clause 13.07** - Amenity aims to safeguard community amenity through ensuring the compatibility of use or development as appropriate to the land use functions and character of the area by directing land uses to appropriate locations and using a range of building design, urban design, operational and land use separation measures.
- **Clause 15.01** - Built Environment seeks to ensure urban environments are ‘safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.’
- **Clause 15.01-2S** - Building Design seeks to ensure that the design of buildings contributes positively to both the public realm and local context.
- **Clause 15.02** – Sustainable Development encourages development that is energy and resource efficient.
- **Clause 16** – Housing recognises that housing should provide for diversity in housing including access to services and walkability to activity centres.
- **Clause 16.01**- Housing diversity seeks to ensure there is a range of housing types to meet diverse needs.
- **Clause 16.01-2R**- Housing opportunity areas recognise that Metropolitan Activity Centres can assist to meet population growth and develop a sustainable city.
- **Clause 16.01-3S**- Housing Diversity seeks to provide a range of housing types to meet diverse needs.
- **Clause 16.01-2R**- Housing opportunity areas - Metropolitan Melbourne identifies opportunities for medium and high density employment in locations including Metropolitan Activity Centres.
- **Clause 16.01-3R**- Housing Diversity – Metropolitan Melbourne strategizes the creation of mixed-use neighbourhoods at varying densities that offer choice in housing.
- **Clause 16.01-2S**- Location of Residential Development aims to locate housing in designated locations with excellent access to jobs and transport.
- **Clause 16.01**- Residential Development seeks to increase supply of housing in appropriate locations.
- **Clause 18.01-1S** – Land Use and Transport Planning supports integrated and accessible transport systems alongside land use.
- **Clause 18.02-1S** – Sustainable personal transport promotes the use of active transport options such as walking and cycling.

## LOCAL PLANNING POLICY FRAMEWORK

The Greater Dandenong City Council’s Local Planning Policies build upon the strategic directions of Plan Melbourne and the State Planning Policy Framework. There is clear policy support at the local level for the development of the subject site for residential purposes. The following Local Planning Policies are applicable to the subject site:

- **Clause 21.02 - Municipal Profile** identifies Greater Dandenong as a rapidly developing city that will continue to experience continued population increases. Amongst other things, the city recognises the

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importance of providing higher density housing within proximity to Activity Centres and train stations to meet housing needs.

- **Clause 21.03 - A Vision for Greater Dandenong** seeks to achieve a municipality where, housing diversity and choice is promoted in its various attractive neighbourhoods.
- **Clause 21.04 - Land Use Issues** include management of increased population growth, ensuring high quality built form and management of increased housing choice and diversity.
- **Clause 21.05 - Built Form** aims to facilitate high quality building design and architecture for housing with Greater Dandenong.
- **Clause 22.06 - Environmentally Sustainable Development** seeks to ensure best practice in environmentally sustainable development. The above Local Planning Policies seek to provide for a range of development and uses to meet the needs of the community.
- **Clause 22.07 – Central Dandenong Local Planning Policy** applies to all land within the Central Dandenong Metropolitan Activity Centre boundary as described in this policy and seeks to support and deliver Council and VicUrban’s shared vision for Central Dandenong.
- **Clause 22.09 - Residential Development and Neighbourhood Character Policy** aims to guide the location and design of different types of residential development within Greater Dandenong, having regard to State and local planning policies, while respecting the valued characteristics and identified future character of residential neighbourhoods

## ZONE

The subject site is located within the Residential Growth Zone (RGZ) of the Greater Dandenong Planning Scheme. The relevant purposes of the Activity Centre Zone include:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

The preferred maximum building height for residential buildings within the RGZ is 13.5 metres.

The subject site is subject to Schedule 1 of the RGZ, which outlines specific policy outcomes of land located within the *Dandenong Declared Area and Urban Renewal Area*.

Pursuant to Clause 37.08 a permit will be required for the construction of two or more dwellings on a lot.

## OVERLAYS

There are no overlays affecting the subject site.

## GENERAL AND PARTICULAR PROVISIONS

### Clause 52.06 – Car Parking

Pursuant to Clause 52.06-1, before a new use commences the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the Responsible Authority.

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Given the location of the site in the Principal Public Transport Network Area, the Column B rates apply as follows:

- Dwelling: 1 to each one or two-bedroom dwelling

The proposed development has a statutory carparking requirement of 15 spaces and it exceeds this requirement by one with the provision of 16 spaces.

A full assessment is included in the Traffic Impact Assessment prepared by Cardno.

## Clause 52.34 – Bicycle Facilities

Clause 52.34 of the Planning Scheme sets out the statutory requirements for bicycle facilities. The bicycle parking rate for dwellings is set out below:

- *Dwelling: In developments of four or more storeys, 1 bicycle space to each 5 dwellings*
- *Visitors: In developments of four or more storeys, 1 bicycle space to each 10 dwellings*

The proposed dwellings are less than four storeys high and accordingly has no statutory requirement to provide bicycle parking. Nevertheless, an area is proposed to be reserved for bicycle parking within the basement car park.

## Clause 53.18 – Stormwater Management in Urban Development

This clause applies to an application under a provision of a zone to construct a building, or construct or carry out works. The purpose of the clause is:

- *To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.*

An application to construct a building or construct or carry out works must meet all the objectives and should meet all the standards of Clause 53.18-5 and Clause 53.18-6.

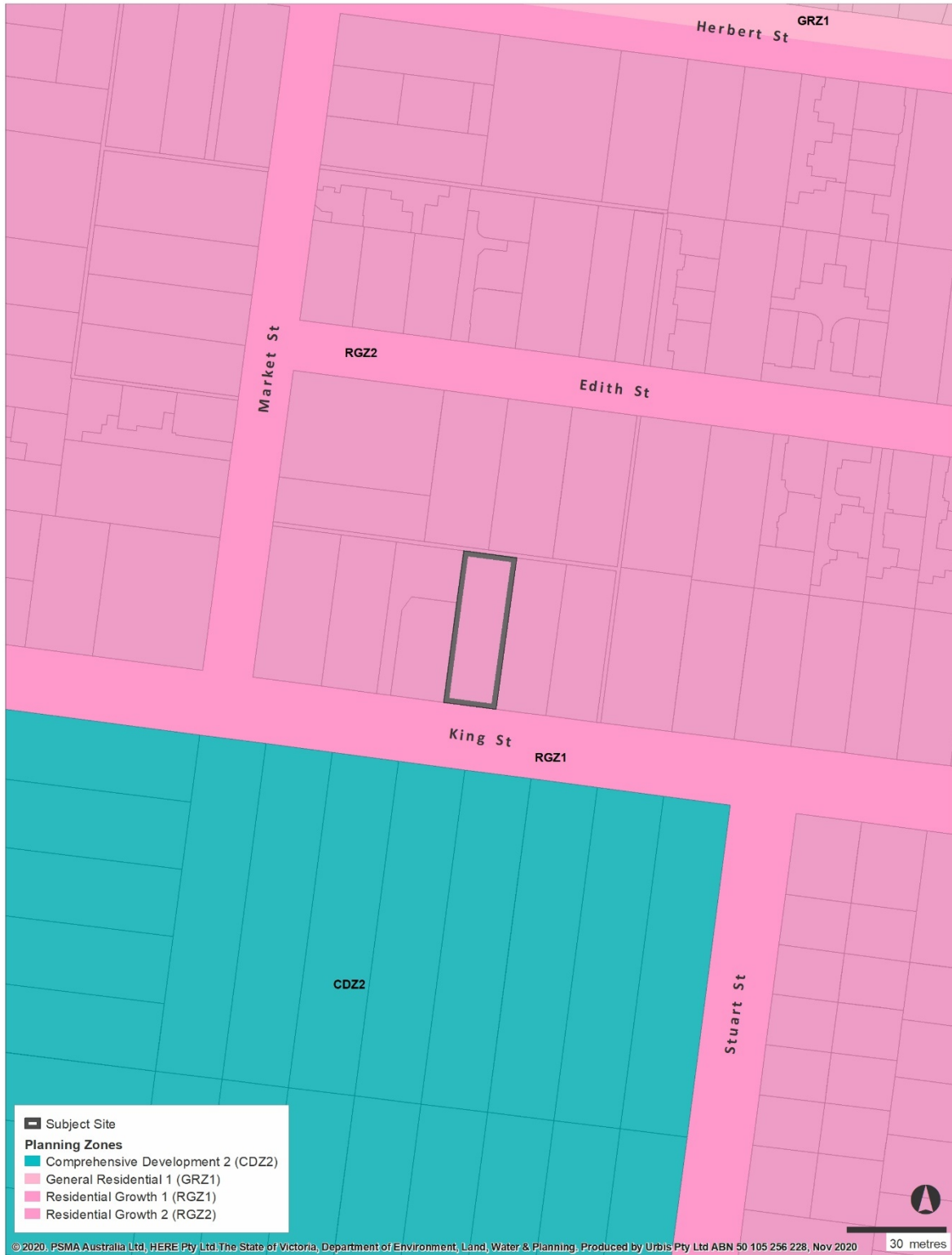
A full assessment is provided in the Sustainability Management Plan prepared by EcosResults.

## Clause 55 – Two or more dwelling on a lot

The proposed development has been assessed against the requirements of Clause 55. It is noted that Schedule 1 to Clause 32.07 varies the requirements of Standards B6, B8, B13 and B32. Refer to **Appendix B** for the full assessment.

## Clause 65 – Decision Guidelines

The responsible authority must consider the decision guidelines of Clause 65 when considering a planning permit application.



## 15 KING STREET, DANDENONG PLANNING ZONES

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# APPENDIX B

# CLAUSE 55 RESCODE ASSESSMENT

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Clause	Standard	Complies / Does Not Comply / Variation Required
55.02-1 – Neighbourhood character objectives	Standard B1	<p>✓ <b>Complies</b></p> <p>The proposal appropriately responds to Clause 22.09 Residential Development &amp; Neighbourhood Character, as well as the emerging built form character that Council envisages for residential development within the Sustainable Change Area.</p> <p>Overall, it is considered that the design response and built form of the proposed development, with regards to its presentation to key interfaces and incorporation of features of the surrounding area, will sit comfortably within the preferred character and existing features of the surrounding area.</p> <p>The proposed density of development accords with what is expected of the Residential Growth Zone which supports development of up to four storeys.</p> <p><i>Please refer to Section 4.4.1 of this Report for further detail.</i></p>
55.02-2 – Residential policy objectives	Standard B2	<p>✓ <b>Complies</b></p> <p>The proposal is consistent with both the Planning Policy and Local Planning Policy Frameworks having regard to policies surrounding housing and residential development.</p> <p>Specifically, the proposal is consistent with the support for medium-high density (4 storeys, including ground level.) development within Substantial Change Areas.</p> <p>The proposal reflects an appropriate increase in residential density at a site that is well serviced by existing transport infrastructure. Additionally, the site has convenient access to a range of community services and facilities within the nearby Dandenong Activity Centre.</p> <p>Please refer to Section 4 of this Report for a detailed discussion regarding the proposal's compliance with relevant policy.</p>
55.02-3 – Dwelling diversity objective	Standard B3	<p>✓ <b>Complies</b></p> <p>A key component of this proposal has focused on creating a mix of housing typologies within the development.</p> <p>A range of one and two-bedroom apartments (in varying configurations) have been provided across the proposal:</p> <ul style="list-style-type: none"> <li>▪ One Bedroom – 2 (14%)</li> <li>▪ Two Bedroom – 12 (86%)</li> </ul> <p><i>Refer to Architectural Plans prepared by David Natale for further detail.</i></p>

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<p>55.02-4 – Infrastructure objectives</p>	<p>Standard B4</p>	<p>✓ <b>Complies</b></p> <p>The dwellings will be provided with appropriate utility services and infrastructure.</p> <p>It is not considered that the development will unreasonably exceed the capability of existing infrastructure.</p>
<p>55.02-5 – Integration with the street objective</p>	<p>Standard B5</p>	<p>✓ <b>Complies</b></p> <p>The design of the proposed development has carefully considered the site's context including the street frontage to King Street is in accordance with Standard B5.</p> <p>The proposal allows for vehicle access to the basement via a proposed crossover on King Street, while the other existing crossover will be removed. A pedestrian entry will be located to the east of the vehicle entry, around the central area of the site's frontage.</p> <p>This will ensure appropriate integration and activation of the proposed development with the King Street streetscape, while providing high-quality on-site amenity to these dwellings.</p> <p>Care has been taken to design a building mass that integrates with the street and avoids dominating the streetscape with a recessive form that works in conjunction with intense landscaping.</p> <p>The proposal utilises fencing which respects the neighbourhood character and does not overwhelm the streetscape.</p> <p>For further detail please refer to Section 4 of this Report and architectural drawings prepared by David Natale</p>
<p>55.03-1 – Street setback objective</p>	<p>Standard B6</p> <p>Variation: As per B6 or 5 metres, whichever is lesser</p>	<p>✓ <b>Complies</b></p> <p>For sites within the Schedule 1 of the Residential Growth Zone, the variation to standard B6 seeks <i>As per B6 or 5 metres, whichever is lesser</i></p> <p>The proposed development provides a primary residential frontage to King Street. As such, the proposed development meets the numerical variation to the Standard as the proposal is setback 5.0 metres from King Street.</p> <p>For further detail please refer to Section 4 of this Report and architectural drawings prepared by David Natale.</p>
<p>55.03-2 – Building height objective</p>	<p>Standard B7</p>	<p>✓ <b>Complies</b></p>

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		The development proposes a maximum building height of 12.5 m, which is below the 13.5m maximum set out in the Residential Growth Zone.
55.03-3 – Site coverage objective	Standard B8  Variation:  Maximum of 70%	✓ <b>Complies</b>  The site area coverage is 57.8%, which is under the 70% maximum set out in the Residential Growth Zone.
55.03-4 – Permeability objectives	Standard B9	✓ <b>Complies</b>  The site area covered by pervious surfaces cover is 22%, above the minimum of 20%.
55.03-5 – Energy efficiency objectives	Standard B10	✓ <b>Complies</b>  The proposed development has been carefully designed to take advantage of all orientations of the site, including several private open spaces located to the north of the site. All habitable room windows will have direct access to daylight and natural ventilation, which helps to improve energy efficiency.  Further the proposal will not unreasonable impact the energy efficiency of adjoining lots, as discussed further in Clause 55.04-3, Clause 55.04-4 and Clause 55.04-5 assessments. Therefore, the proposed development is compliant with the Standard.  <b>Refer to Standard B35 for additional discussion.</b>
55.03-6 – Open space objective	Standard B11	<b>N / A</b>  There is no adjoining public open space.
55.03-7 – Safety objective	Standard B12	✓ <b>Complies</b>  A pedestrian entry will be located to the south of the frontage to King Street and will be identifiable through its paved path.  The entrances to the apartments are located within the foyer area, accessed from the front entrance and stairs or lift.  This development has been designed to allow good passive surveillance of all entry ways, maintaining clear sightlines throughout the walkway.
55.03-8 – Landscaping objectives	Standard B13  Variation:  70% of ground level front setback planted	✓ <b>Complies</b>  70% of the ground level frontage has been plated with substantial landscaping and canopy trees.  The landscaping of the site has been carefully considered in the development's design, through the vegetated setbacks.

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	with substantial landscaping and canopy trees	<p>numerous tree plantings, permeable landscaping along the pedestrian entry and vehicle entry and opportunities for planting within the SPOS of the ground floor apartments. This results in a landscape layout and design that is consistent with the landscape character of the surrounding area.</p> <p>All existing significant trees on the adjoining land will be retained.</p> <p>Please refer to the landscape plan for further detail.</p>
55.03-9 – Access objectives	Standard B14	<p>✓ <b>Complies</b></p> <p>Standard B14 stipulates that accessways or car spaces should not exceed 40% of the street frontage if the street frontage is less than 20 metres, should have no more than one single width crossover per dwelling, and maximize the retention of on-street car parking spaces.</p> <p>The proposal entails the removal of the existing crossover access from King Street and proposes that all vehicular access to the site should occur from the slightly modified existing single width vehicle crossing from King Street Road.</p> <p>Please refer to the Traffic Engineering Assessment prepared by Cardno for further detail</p>
55.03-10 – Parking location objectives	Standard B15	<p>✓ <b>Complies</b></p> <p>Car parking is located within the basement level of the development and will be accessed via a ramp from King Street. This basement area will be secure and well ventilated. Each dwelling is allocated at least one car parking space which can be accessed via stairs or lift leading to the apartment foyer area.</p> <p>The car parking is not within 1.5 metres of any habitable room windows.</p>
55.04-1 – Side and rear setback objectives	Standard B17	<p><b>Variation required</b></p> <p>The building has been designed to respond to the Substantial Change Area, as well as the existing and emerging built form, cognisant of the design objectives outlined in the Clause 22.09 and the existing and potential future development of adjoining sites. Further, the proposed built form is reflective of the objectives of the Residential Growth Zone as discussed in Section 4.1 of this report.</p>

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		<p>The proposed development establishes a built form that comprises a scale, height and setbacks which appropriately responds to the emerging character of Central Dandenong.</p> <p>The setbacks of the proposed building is largely compliant with Standard B17 and provide a site-specific response that appropriately manages visual bulk and ensures adequate daylight to all existing and proposed new dwellings. However, there are minor areas of non-compliance which are negated by the achievement of the objectives for this Standard.</p> <p>It is considered that the development meets the objective as the built form incorporates varied building breaks to the east and west, and at the third and fourth level the development significantly narrows, which mitigates the appearance of visual bulk when viewed from the neighbouring dwellings to the north, east and west.</p> <p><i>For further detail please refer to Section 4 of this Report and architectural drawings prepared by David Natale.</i></p>
55.04-2 – Walls on boundaries objective	Standard B18	<p>✓ <b>Complies</b></p> <p>No walls on boundaries are proposed</p>
55.04-3 – Daylight to existing windows objective	Standard B19	<p>✓ <b>Complies</b></p> <p>All existing habitable room windows have access to sufficient light courts. There are habitable room windows to the west and east of the site. The proposed developments setbacks from these boundaries exceed the requirements under the Standard.</p> <p>Further all existing habitable room windows opposite the proposed development are provided with a light court of 3 square metres with a minimum dimension of 1 square metre clear to the sky, in accordance with this Standard.</p> <p>For further detail please refer to Section 4 of this Report and architectural drawings prepared by David Natale.</p>
55.04-4 – North facing windows objective	Standard B20	<p><b>N / A</b></p> <p>There are no existing north-facing habitable rooms on adjoining sites that interface with the subject site.</p>
55.04-5 – Overshadowing open space objective	Standard B21	<p>✓ <b>Complies</b></p> <p>Due to the north orientation of the site, the development will not overshadow the SPOS of the dwellings to the north. The proposed overshadowing of the site to the east and west will have minimal impact, as the extent of overshadowing will only</p>

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		<p>occur at 9am and 3pm. Moreover, it will mainly affect the front setbacks rather than the rear SPOS.</p> <p>For further detail please refer to Section 4 of this Report and architectural drawings prepared by David Natale.</p>
55.04-6 - Overlooking objective	Standard B22	<p>✓ <b>Complies</b></p> <p>The dwellings interface the SPOS of the neighbouring dwellings to the north, west and east. Overlooking from the second, third and fourth storey will be prevented by incorporating louvre screens and Garden beds on balconies.</p>
55.04-7 – Internal views objective	Standard B23	<p>✓ <b>Complies</b></p> <p>Open space has been provided via balconies incorporated into the design of each apartment.</p> <p>The proposal has been carefully designed to protect the private open space and habitable rooms of dwellings within the development.</p> <p>Screening measures have been implemented to minimising overlooking.</p> <p>Refer to architectural plans for further details with respect to internal views.</p>
55.04-8 – Noise impacts objectives	Standard B24	<p>✓ <b>Complies</b></p> <p>All appropriate measures to contain and protect residence noise sources have been incorporated into the proposal.</p> <p>It is not considered that the site will be affected by noise from adjacent buildings.</p> <p><b>Refer to Standard B40</b></p>
55.05-1 – Accessibility objective	Standard B25	<p>✓ <b>Complies</b></p> <p>All dwelling entries are at grade as outlined within the Plans prepared by David Natale.</p> <p><b>Refer to Standard B41</b></p>
55.05-2 – Dwelling entry objective	Standard B26	<p>✓ <b>Complies</b></p> <p>Each apartment features an individual doorway in the foyer area.</p> <p><b>Refer to Standard B42</b></p>
55.05-3 –	Standard B27	<p>✓ <b>Complies</b></p>

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Daylight to new windows objective		The habitable rooms of each apartment have outlook to outdoor space clear to the sky with a minimum area of 3sqm and a minimum dimension of 1m.
55.05-4 – Private open space objective	Standard B28	<p>✓ <b>Complies</b></p> <p>All ground floor dwellings are provided with an area of private open space exceeding 40 square metres. This includes a minimum 25 square metre area of secluded private open space that exceeds 25 square metres with a minimum dimension 3 metres. Each apartment is afforded a minimum of 8sqm of balcony space. The SPOS of each dwelling is accessible from the living room.</p> <p>Please refer to Standard B43 for discussion with regards to private open spaces proposed above ground floor.</p>
55.05-5 – Solar access to open space objective	Standard B29	<p>✓ <b>Complies</b></p> <p>The proposed SPOS of each dwelling is orientated to the north where appropriate to maximise solar access. South facing private open spaces are adjacent King Street to ensure appropriate amenity is provided to these spaces.</p>
55.05-6 – Storage objective	Standard B30	<p>✓ <b>Complies</b></p> <p>Each dwelling is provided with the minimum Standard of 6 cubic metres of externally accessible, secure storage space within the basement area.</p>
55.06-1 – Design detail objective	Standard B31	<p>✓ <b>Complies</b></p> <p>The proposed design is respectful of the existing building and neighbourhood character and provides for an appropriate level of articulation and detailing.</p> <p>Please refer to the Section 4.4 of this Report for a discussion regarding neighbourhood character.</p>
55.06-2 – Front fences objective	<p>Standard B32</p> <p>Variation:</p> <p>Maximum 1.5 metre height in streets in Road Zone Category 1</p> <p>Maximum 1.2 metre height for other streets</p>	<p><b>Meets Objective - Variation required to Standard</b></p> <p>The proposed front fence is located along on the King Street, which is a road zone, therefore the variation to the Standard under the Residential Growth Zone stipulates a front fence height of 1.2 metres. A 1.5 metre front fence is proposed, comprising of brickwork and openings between vertical aluminium pailings, exceeding the allowable height and triggering a permit under 32.07-5.</p> <p>Despite this, the objectives of the standard are met. The proposed fence will blend against the existing and proposed landscaping along the King Street frontage, which includes various trees and shrubs at varying heights. Further, the</p>

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		<p>proposed fences incorporate landscaped openings that provide a level of transparency to ensure integration with the streetscape is retained.</p> <p>The proposed street interface complements the mixed style of front boundary treatments in the surrounding streetscape.</p>
55.06-3 – Common property objectives	Standard B33	<p>✓ <b>Complies</b></p> <p>The internal layout of the building also provides for the safe, functional and efficient movement of residents in and around the apartment. The internal and external garden area will be maintained by the body corporate.</p>
55.06-4 – Site services objective	Standard B34	<p>✓ <b>Complies</b></p> <p>The proposal includes the adequate provision of services and facilities that are accessible, attractive and can be easily maintained.</p> <p>The bin storage area is centrally located in the basement level and is easily accessed by all residents.</p> <p>Mailboxes will be located along the southern boundary next to the residential lobby entry for convenient access by Australia Post.</p>
Clause 55.07-1 Energy efficiency objective	Standard B35	<p>✓ <b>Complies</b></p> <p>No apartment will exceed the annual cooling load requirement of 21MJ per sqm as per Standard B35. The apartments will make use of energy efficient fixtures and are sited to make appropriate use of solar energy.</p>
Clause 55.07-2 Communal open space objective	Standard B36	<p><b>N/A</b></p> <p>The proposal does not include more than 40 dwellings.</p>
Clause 55.07-3 Solar access to communal outdoor open space objective	Standard B37	<p><b>N/A</b></p> <p>The proposal does not include communal open space.</p>
Clause 55.07-4 Deep soil areas and canopy trees objective	Standard B38	<p>✓ <b>Complies</b></p> <p>The proposal includes well-considered landscaping design as part of the development to ensure the provision of permeable areas to reduce heat absorption. As the site is under 750sqm in area, deep soil areas are not required, however, small canopy</p>

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		trees have been included where appropriate along the site's boundaries.
Clause 55.07-5  Integrated water and stormwater management objectives	Standard B39	<p>✓ <b>Complies</b></p> <p>The proposal has been designed to capture and make use of alternative water sources as well as reduce the impact of stormwater runoff.</p> <p>The effective catchment area will be used to harvest stormwater into a rainwater tank with an effective storage of 10,000L. As a minimum, collected water will be used for flushing toilets in all apartments on levels.</p> <p>Please refer to the Sustainable Management Plan and Water Sensitive Urban Design Response prepared by Eco Results . The inclusion of this tank will help to reduce potable water demands and reduce the impact on downstream waterways.</p>
Clause 55.07-6  Noise impact objectives	Standard B40	<p>✓ <b>Complies</b></p> <p>The proposed apartments will be designed and constructed to ensure noise sources originating from the proposed development will not affect any future dwellings in proximity to the proposal.</p> <p>Additionally, the proposal will be designed to ensure future residents are protected from both internal and external noise sources.</p> <p>A/C units have been located either on the ground floor or roof to ensure they will not cause detriment to residents of this proposal and future proposals surrounding the site.</p> <p>Please refer to the architectural drawings prepared by David Natale for further detail.</p>
Clause 55.07-7  Accessibility objective	Standard B41	<p>✓ <b>Complies</b></p> <p>The internal layout of many of the proposed apartments have been designed to ensure they can be easily accessed (current form) and retrofitted to meet the needs of people with limited mobility. Notably at least 50 per cent of the dwellings will achieve the design requirements within the Standard.</p> <p>The wider development (in addition to the dwellings) has also sought to ensure the needs of people with limited mobility have been met.</p>

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		Please refer to the architectural drawings prepared by David Natale for confirmation of the proposal's alignment with the objectives of this standard and the required dimensions.
Clause 55.07-8 Building entry and circulation objective	Standard B42	<p>✓ <b>Complies</b></p> <p>The proposal is considered to meet the requirements of this standard in that each dwelling and use within the overall development have been designed to provide their own sense of identity and address.</p> <p>The internal layout of the building also provides for the safe, functional and efficient movement of residents in and around the complex whilst ensuring adequate natural ventilation and solar access to common areas.</p> <p>Please refer to the architectural drawings prepared by David Natale for further detail.</p>
Clause 55.07-9 Private open space above ground floor objective	Standard B43	<p>✓ <b>Complies</b></p> <p>Each dwelling is provided with a balcony with a minimum area of 10 sqm.</p>
Clause 55.07-10 Storage objective	Standard B44	<p>✓ <b>Complies</b></p> <p>Ample storage area is provided for each apartment, both internally and externally within storage cages in the basement measuring 6 cubic metres each.</p>
Clause 55.07-11 Waste and recycling objective	Standard B45	<p>✓ <b>Complies</b></p> <p>The proposal has been designed to ensure that waste and recycling facilities are accessible, adequate and attractive. Additionally, waste and recycling facilities have been designed and managed to minimise impacts on residential amenity.</p> <p>The waste refuse room is provided in the basement level.</p> <p>Adequate internal storage space has also been provided within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.</p> <p>For further detail please refer to the Waste Management Plan prepared by EcoResults.</p>
Clause 55.07-12 Functional layout objective	Standard B46	<p>✓ <b>Complies</b></p> <p>All bedrooms and living rooms incorporate appropriate dimensions in accordance with the Standard.</p>
Clause 55.07-13 Room depth objective	Standard B47	<p>✓ <b>Complies</b></p>

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		All single aspect habitable rooms do not exceed a room depth of 2.5 times the ceiling height, ensuring adequate daylight is provided.
Clause 55.07-14 Windows objective	Standard B48	<p>✓ <b>Complies</b></p> <p>The design of each dwelling ensures they all receive good amounts of solar/daylight access, with no habitable room relying on borrowed light, saddle-back arrangements or light wells.</p>
Clause 55.07-15 Natural ventilation objective	Standard B49	<p>✓ <b>Complies</b></p> <p>Appropriate natural ventilation will be achieved across all dwellings with the incorporation of openable windows.</p>

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