

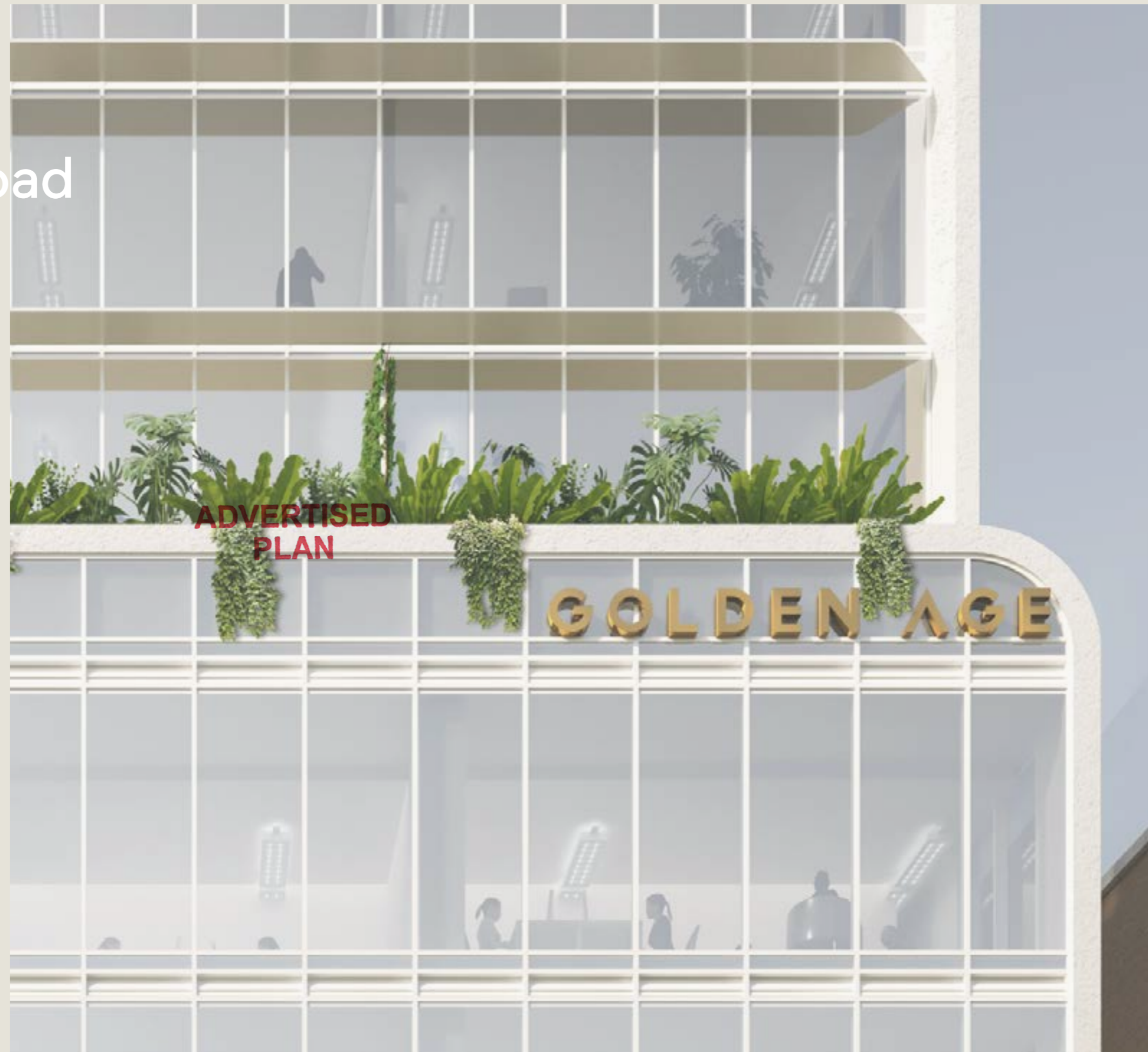
# 69 Carrington Road Box Hill.

Golden Age

Urban Context  
Architectural Design Pack

123146  
19.12.24

**GRAY  
PUKSAND**



# Contents

We acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and culture. We pay our respects to their Elders past and present.

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- 04 — Design Response
- 05 — Ground Plane Activation: Approved Vs. Proposed
  
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- 06 — Architectural Drawings
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## Document Revision

Revision	Issue	Date	Checked
A	Planning Issue	01.12.23	PG
TP1	For Planning Issue	08.12.23	PG
TP2	Updated Planning Issue	15.05.24	PG
TP3	Updated Planning Issue	19.12.24	PG

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PLAN**

A bustling hive of activity; Box Hill is a suburb with an evolving urban realm – high density residential & commerce meet post-war subdivision; where the perfect blend of local workers, food & beverage enthusiasts, merchants, shoppers & local residents breathe life into the community and call it home•

69 Carrington Road will provide a contemporary architectural response "in the round" at precinct scale and human scale to contribute to the evolving commerce of Carrington Road whilst responding to the residential scale to Cambridge Street, and link the two via a connecting pedestrian laneway.

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Project  
Vision.

01

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# Architectural Statement.

The proposal is located in the heart of Box Hill - connecting the continually evolving commerce of Carrington Road and the residential zone to the south of Cambridge Street. This precinct is a fast emerging laboratory of contemporary architecture.

The aim of the project is to create a market leading and sustainable 15-storey commercial building that is designed with its context in mind and provides high quality office accommodation.

The proposal has a clear hierarchy and composition, from its well defined podiums and street-walls, to the elegance of curved shrouds that frame and bind the building as "one" when viewed in the round. The articulation of the built form to the south respects its location as a transitional site and the recessive form reduces the visual bulk of the built form to its south all linked to emphasise "one" building. The shroud in its composition provides vertical separation at various locations of the tower and podium to subtly break up the built form.

Critically, the building provides a public pedestrian link at ground plane between Carrington and Cambridge Street improving the permeability between the commercial and residential zones of the neighbourhood.

Every frontage of this building has been considered in order to contribute to the urban realm whether the building is experienced as a sculptural element from afar, or if it is experienced walking under the canopy on Carrington Road. This is especially celebrated at the main entry, where the composition of the sculptural shroud provides a clear and unambiguous vertical form that signifies "entry" at both building frontages stretching to the top of the podium/street wall. This architectural element also clearly defines the pedestrian connection for the neighbourhood.

The upper levels are set back from Carrington Road. The Cambridge Street frontage the upper levels are continually recessive when viewed from the street. these continual setbacks allow for meaningful landscaping and generous outdoor terraces - all of which link directly to internal workspaces to promote health and wellbeing for inhabitants. The upper facade is further considered with high performing glazing that is arranged with louvres and

spandrel panels to reinforce horizontality of each floor level contained within the architectural form.

The commerce of Carrington Road demands an active street frontage that will contribute to the community for tenants and visitors alike. The traffic and servicing strategy for the building will draw upon the existing use for the north side of Cambridge Street and clearly delineates vehicle and pedestrian access.

The textured concrete and glass boundary walls provide scale, articulation and rhythm to the existing neighbourhood. Every façade of this building will contribute to the evolution of Box Hill and is an opportunity that must be taken. A palette of honest and tonal facade materiality is deliberately subtle in tone - a counterpoint to the rich surrounds of red, yellow and bronze of the visually stimulating Carrington precinct. Textures and subtle shifts in plane provide for shadow-play, visual interest and tactility and are a contemporary interpretation of the subtler tones within the residential precinct.

69 Carrington Road Box Hill delivers a contemporary, yet sensitive design response where urban connectivity, context, sustainability and design quality unite to contribute to the evolving and contemporary character of the precinct.

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## Key Design Principles.



### CONTEXTUAL RESPONSE

A design that responds to the emerging scale, rhythm whilst respecting the grain of the existing area.



### ACTIVE GROUND PLANE

Integrated and active street frontages that are an extension of Box Hill's walkable streets and ground plane character.



### PREMIUM RETAIL SPACES

Premium retail spaces that activates the ground plane, whilst strengthening connectivity to the surrounding urban grain.



### QUALITY OFFICE SPACES

A new strata office building for Box Hill with people at its heart. End of Trip facilities and amenities which support and nourish the worker lifestyle.



### SUSTAINABLE BUILDING

Sustainability principles that underpin a holistic development to create a lasting, sustainable and fulfilling experience for the people who use the building every day.

# Urban Analysis.

# 02

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### Box Hill.

Historically, the Box Hill district was founded on orchards, vineyards and mixed farmlands. At the turn of the century, steady residential growth took hold of the region; with Australian suburban ideals and supporting infrastructure reaching its peak after the post-war period. Now undergoing a rapid transformation, Box Hill is fast emerging as a bustling hive for trade and commerce, shoppers, high density residential apartments and office buildings.

- There is a strong emphasis of trade and retail with food and beverage offers that dominate the area. The established Box Hill Central further facilitates commerce with a wealth of multicultural and specialist store options available.
- Low density residential meets the steady construction and establishment of apartment towers within the precinct.
- Emergence of office and residential buildings in the area.

- |   |  |
|---|--|
|  - Residential Dwellings     |  - Train Line |
|  - Community/Religious       |  - Tram Line  |
|  - Food & Beverage           |  - Bus Stop   |
|  - Shops & Traders           |  |
|  - Industrial/Infrastructure |  |
|  - Commercial Office         |  |



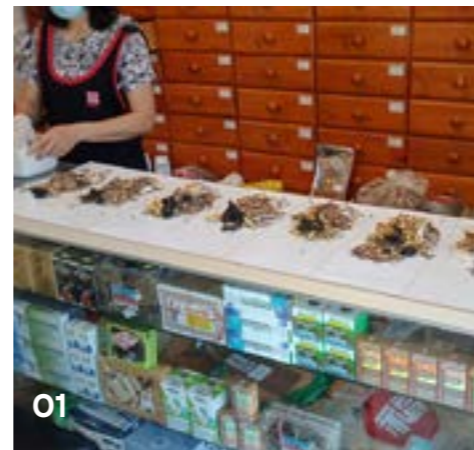


## Shops and Traders.

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A rich tapestry of old and new; merchants and traders have long established themselves within the urban grain. A plethora of fresh produce grocers, Western and Chinese medicinal and financial specialists flank the post-war era streets and street style halls within the shopping centre. Lively and bustling of activity — the selection on offer within the labyrinth of merchants is enough to entice the most discerning of shoppers.

Design response will have retail at the ground plane which will be in continuity to the precinct. The recent upgrade of Box Hill central has lifted the standard of presentation of all retail



01



02



03



04



05

- 01 - Chinese medicinal vendors present in the urban grain
- 02 - Produce Stalls & Vendors on Main Street
- 03 - Typical Shopfronts & Traders seen on Station Street
- 04 - As above
- 05 - Streetstyle Hawker Halls evident in the urban grain

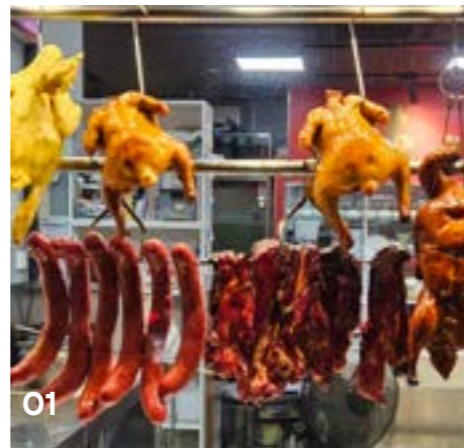


## Food and Drink.

If merchants and traders were the entrée, then food and beverage outlets would be the main course! The plethora of restaurants and bar offerings showcasing their craft – take centre stage at Box Hill. Multiculturally diverse in selection; the choice of eateries from traditional to modern settings are always abundant and lively – within the labyrinth of hawker halls and atrial streets of Box Hill.

Design response at podium levels will include food and drinks offering

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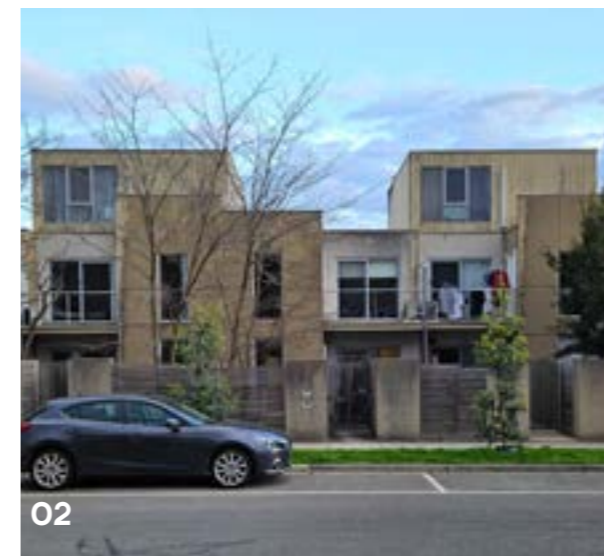
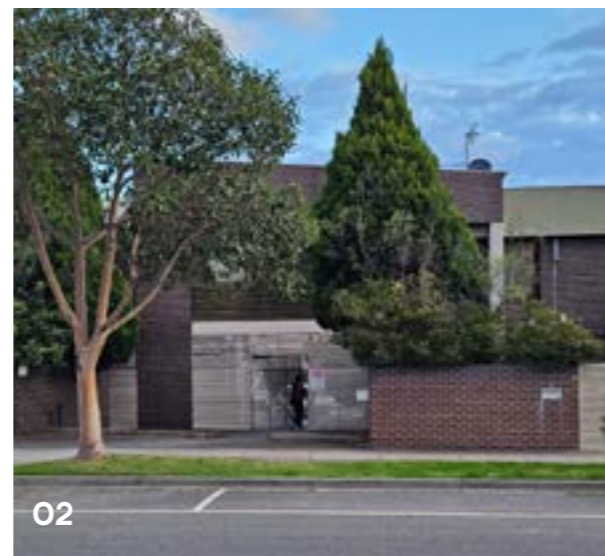
01 – Typical Food & Beverage window shopfront displays  
 02 – Hawker Hall style eateries within the adjacent mall  
 03 – Eateries and Shopfront displays on Carrington Street  
 04/05/06 – As above



## Residents.

Established low density residential predominantly make up the large urban grain against quiet and unassuming tree-lined streets. In stark contrast to the contemporary multi-residential developments in Box Hill central with predominantly glazed buildings which dominate the immediate skyline north.

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01 - Residential developments North of the railline  
02 - Residential dwellings on Cambridge Street  
03 - Residential dwellings on Thurston Street



## Local Workers.

Unlike the scale of merchants, food and beverage offerings available; dedicated commercial office spaces within Box Hill are often sporadic within the urban grain — reserved for the high-density developments north of Whitehorse Road and the existing mid-rise office precinct centered on Prospect Street. What is on offer south of the rail line is a mix of unassuming medium density office buildings and co-working spaces which flank Carrington Road.

A strong growth in office worker population is forecasted as noted in the MGS Box Hill Metropolitan Activity Centre DRAFT Structure Plan, which adds to the demand of office spaces in the area.

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01



02



03

- 01 - 913 Whitehorse Road
- 02 - 43 Carrington Road
- 03 - The Hub Co-working Space

The Site.

03














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# Site Precinct Context

The site is located within, “Major Development Precinct F”; enabling the construction of taller buildings permitted with increase density.

Heights of new buildings must not cause overshadowing of key open spaces, Residential Precincts A or B or residential areas. Transitional heights are to be provided at edges of the precinct to respect the scale of neighboring precincts.

## ADVERTISED PLAN

- |  |  |
|--|--|
|  Structure Plan (Activity Centre) Boundary    |  Whitehorse Road transformation                       |
|  Precinct (Neighbourhood) Boundary            |  Primary Pedestrian Axis                              |
|  Precinct 1: Central Neighbourhood            |  Priority new crossing over rail                      |
|  Precinct 2: Health & Education Neighbourhood |  New pedestrian links delivered through redevelopment |
|  Precinct 3: Prospect Neighbourhood           |  |
|  Precinct 4: Garden Neighbourhood             |  |
|  Precinct 5: Civic & Cultural Neighbourhood   |  |
|  Precinct 6: Enterprise Neighbourhood         |  |
|  Precinct 7: Transition Neighbourhood         |  |

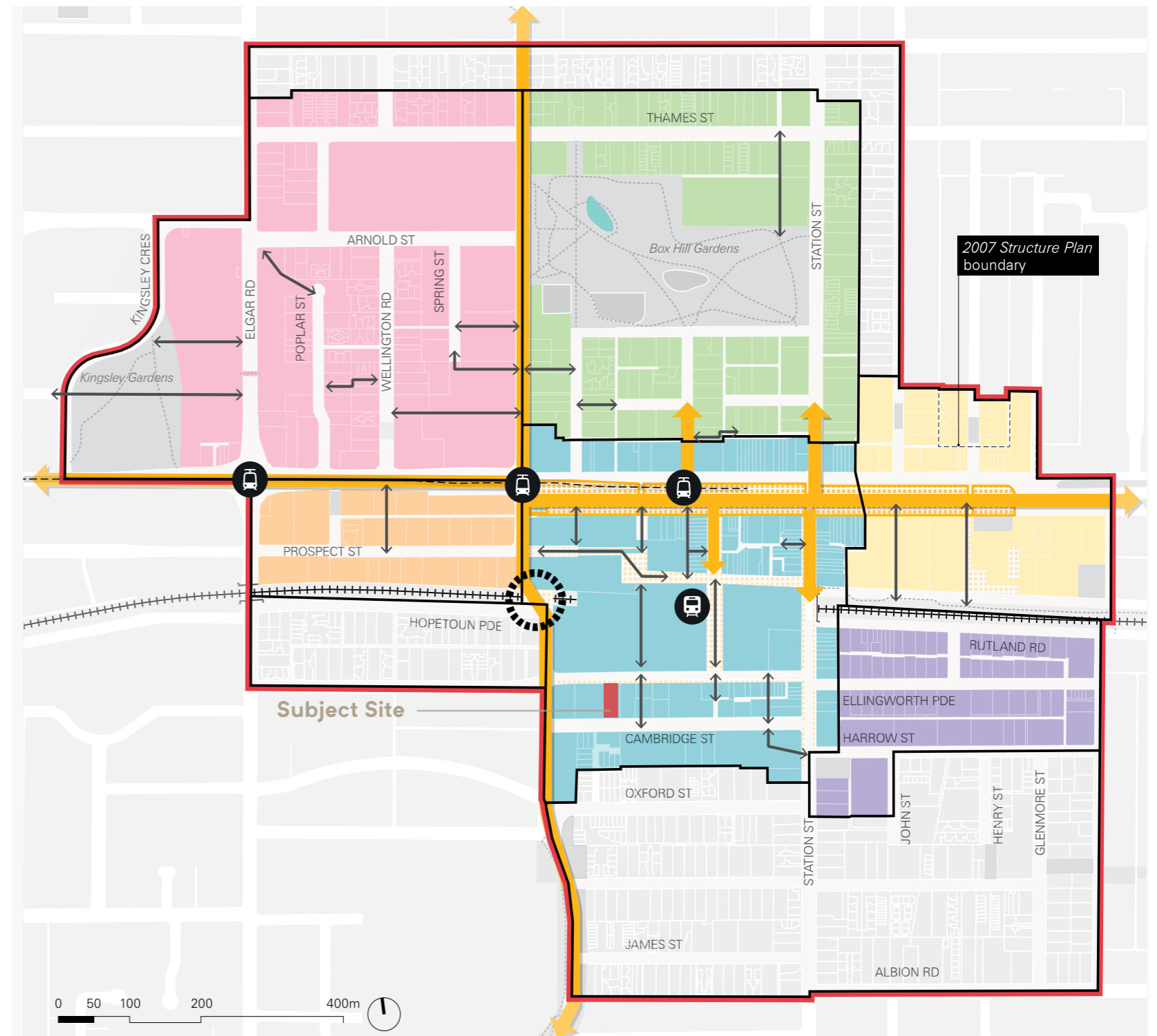


Image Reference: Box Hill Metropolitan Activity Centre to 2036 DRAFT Structure Plan



# High Rise Clusters Study

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## Surrounding Urban Context

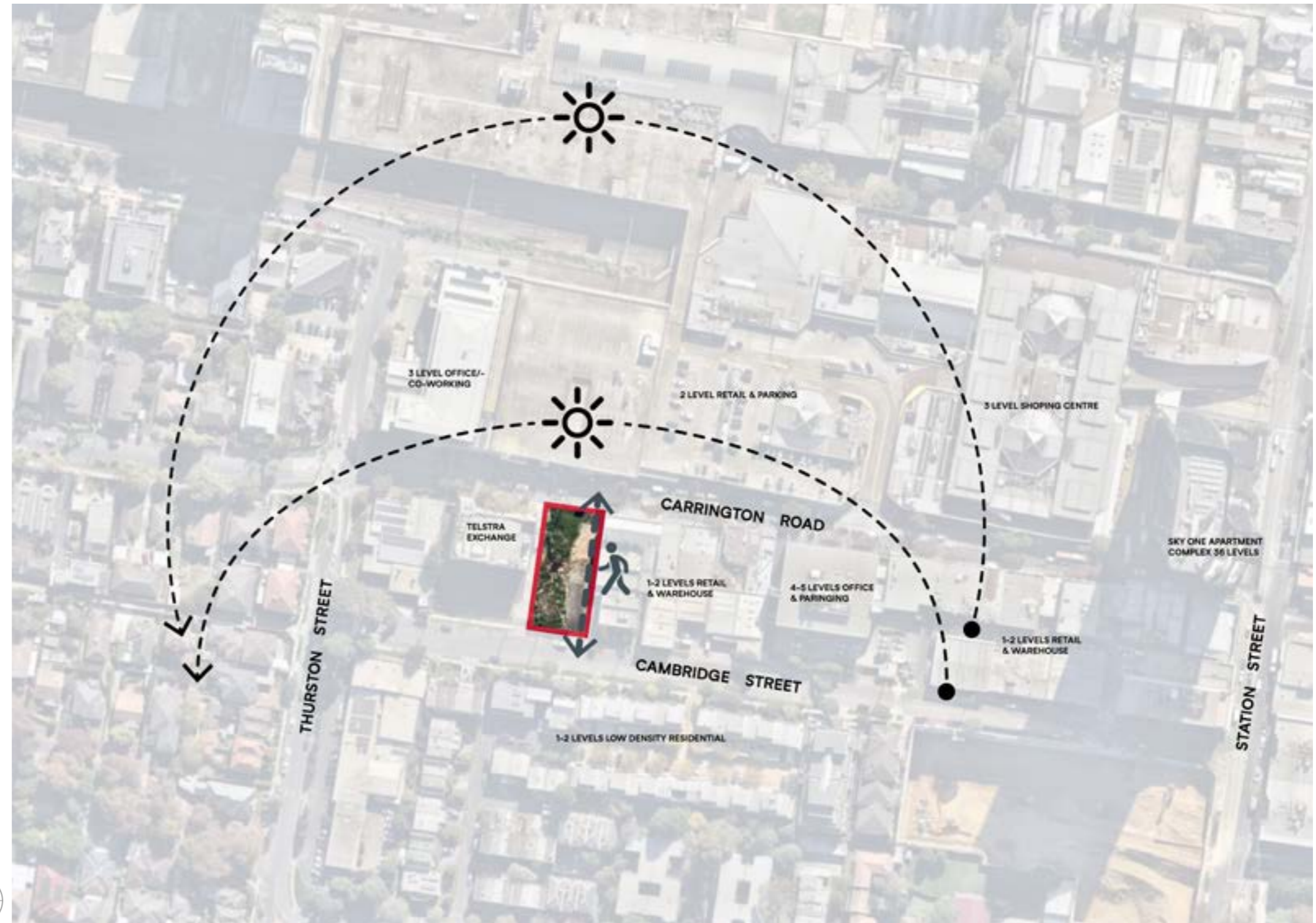
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**The subject site is located within the central retail and trade precinct, with primary frontage to Carrington Road.**

North of the site, recently renovated Box Hill Central houses a wealth of merchants, chain stores and food and beverage offerings within the shopping centre. There is an existing 1-2 level multi-use building housing a dental clinic, with food and beverage vendors flanking both Carrington and Cambridge roads. To the south — low density 1-2 storey townhouses flank Cambridge Road; with the 3 storey Telstra Exchange building adjacent to the site to the west.

At the time of writing this report, there is a live planning application for 30 Cambridge Street under assessment which shares the boundary south-west of the site. If planning permission is granted, this new commercial/mixed use building will be 10 storeys.

Residents use the eastern edge of the site as a laneway as a shortcut. The recently refurbished Box Hill central has provided a new mall entry opposite

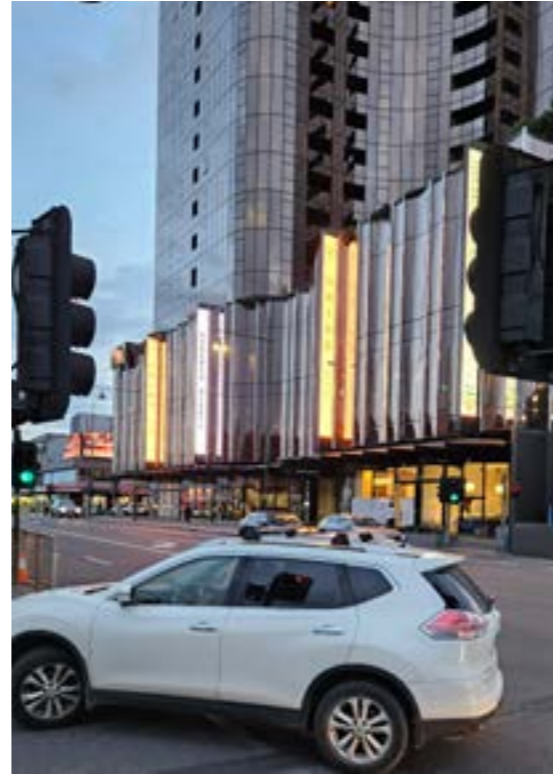




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# Existing Street Views

## Carrington Road Streetscapes

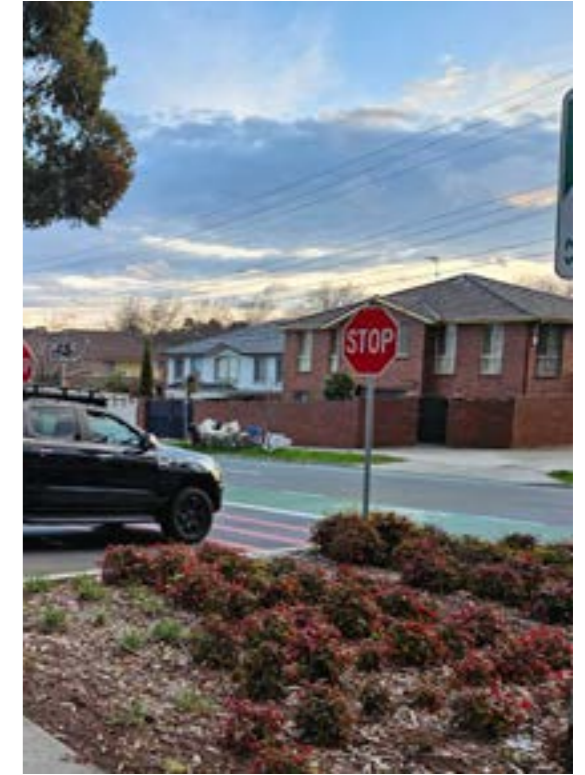




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# Existing Street Views

## Cambridge Street Streetscapes



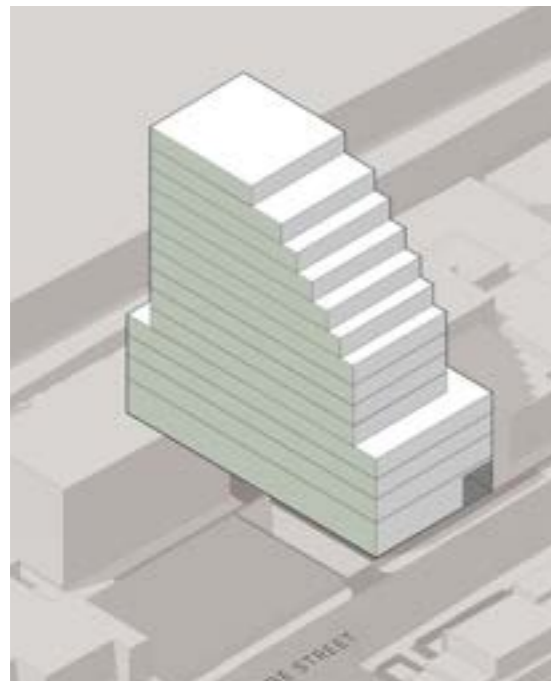


Design  
Response.

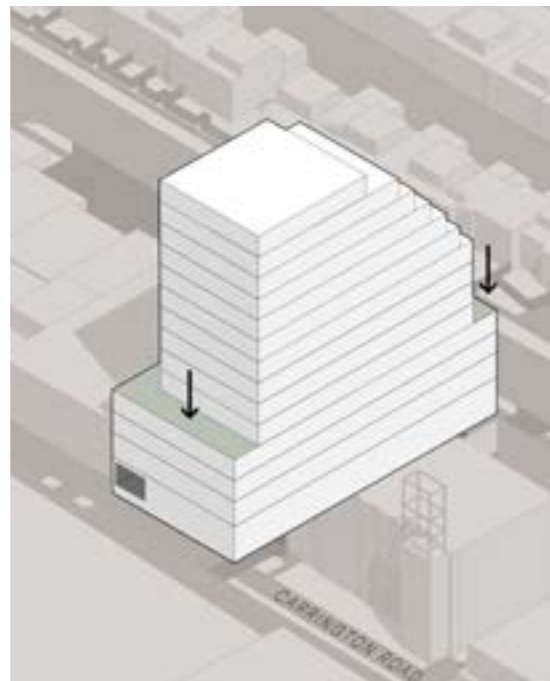
04

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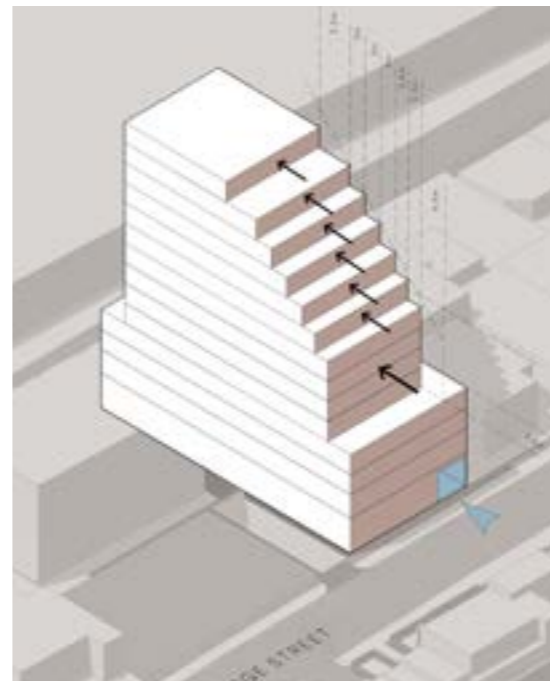
## Concept Massing Evolution



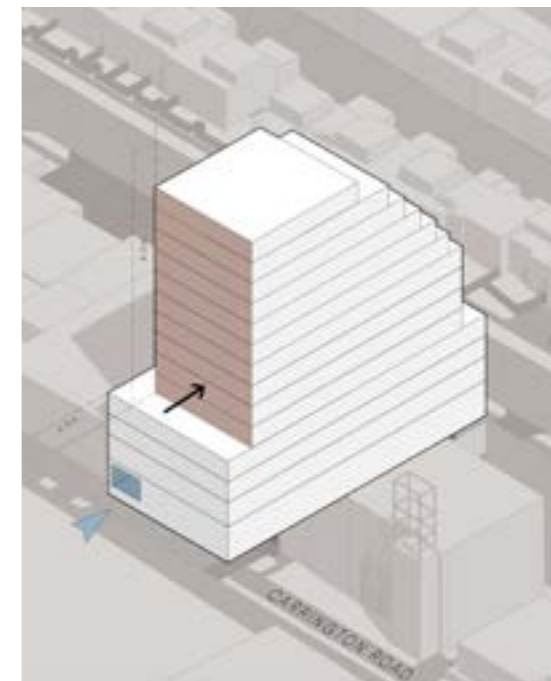
Party walls to the west extents of the boundary.



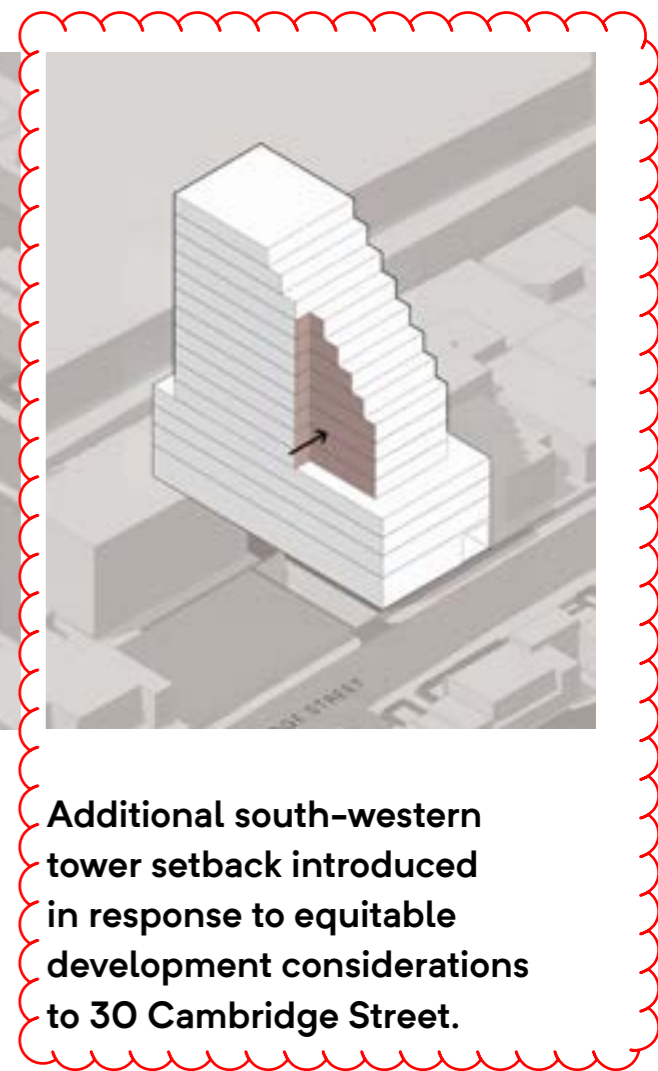
Podium heights responds to the character of their respective buildings.



Rear setbacks to minimise overshadowing to the residential precinct.



Front and East setbacks to provide clear distinction between tower and podium.

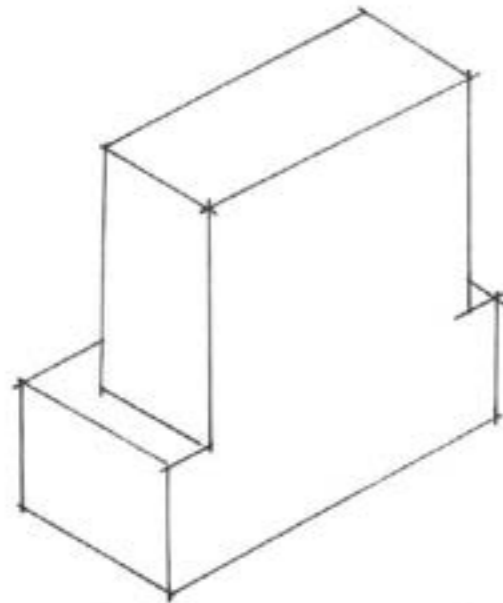


Additional south-western tower setback introduced in response to equitable development considerations to 30 Cambridge Street.

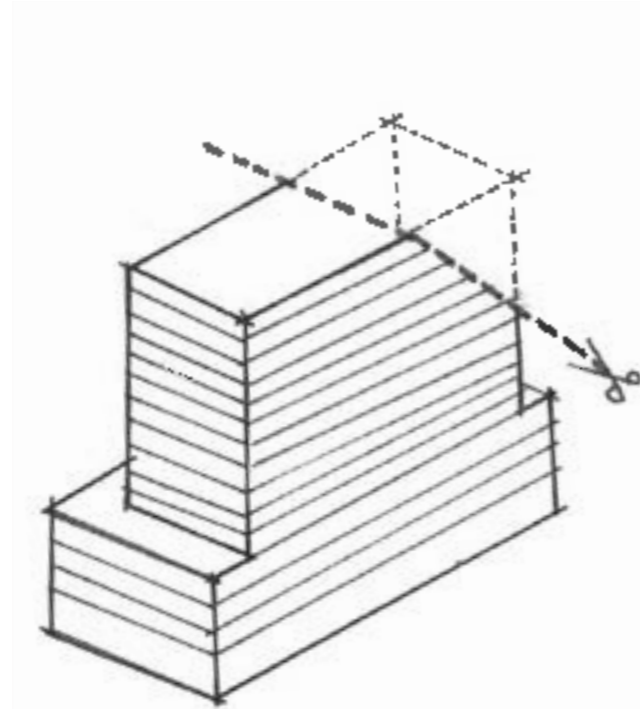
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# ADVERTISED PLAN

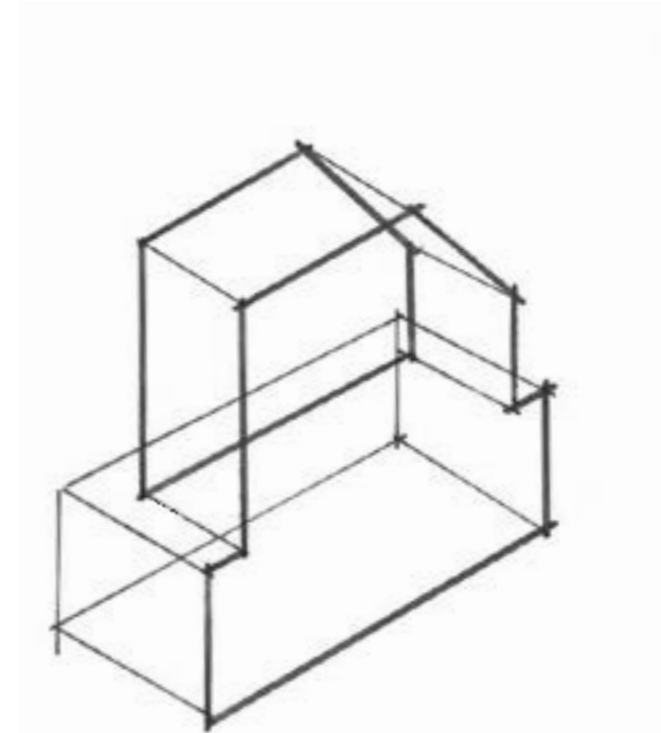
## Concept Sketches



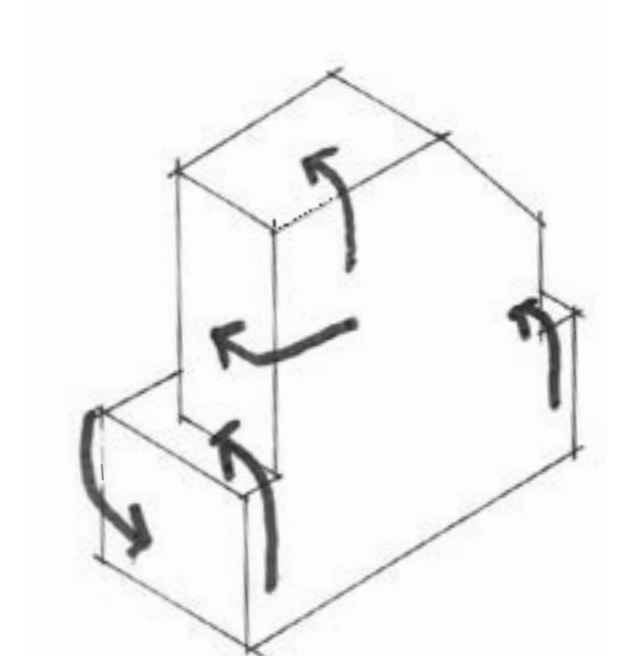
Raw Envelope



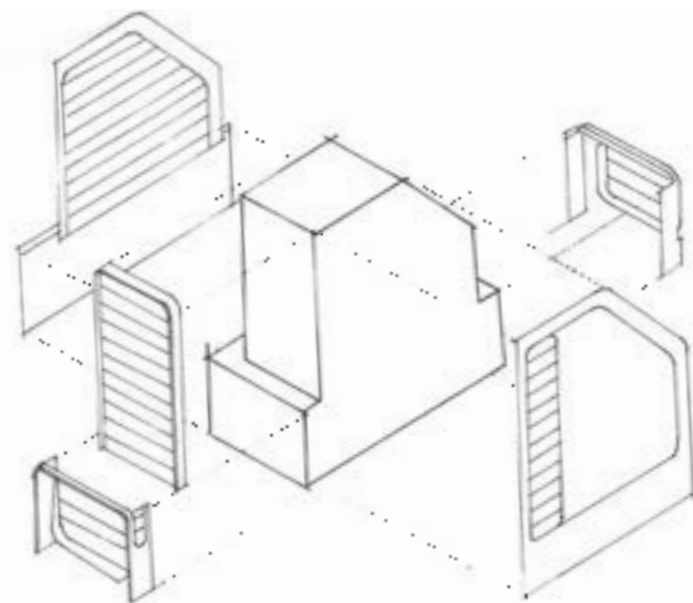
Slice Southern Portion of envelope to reduce shadows to residential



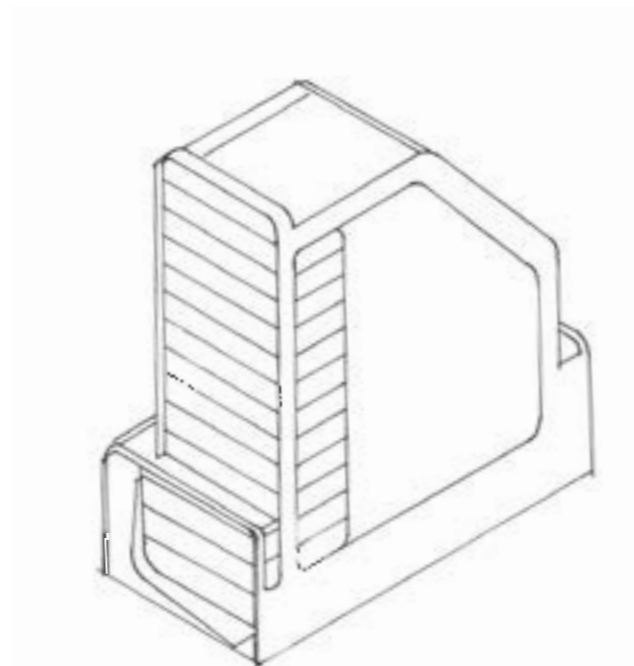
Composition of two solid planes and two glass fronted planes.



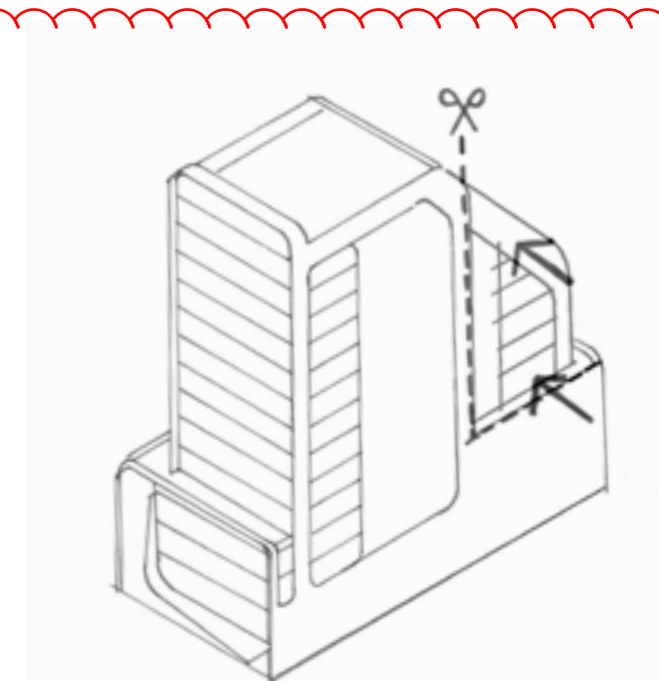
Morph, shape and bend planes to make building read as "one building"



Provide architectural treatments and consider opportunity for glazing adjacent to Telstra easement



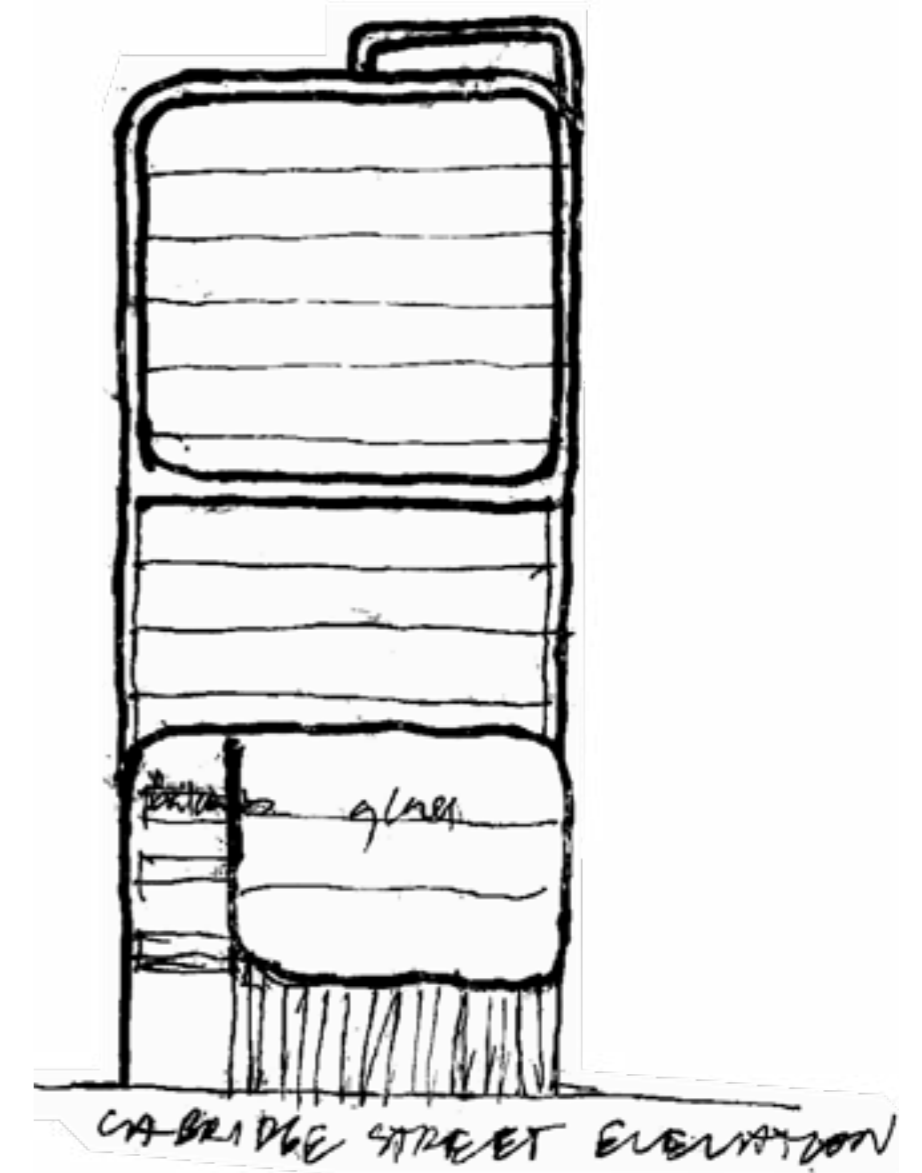
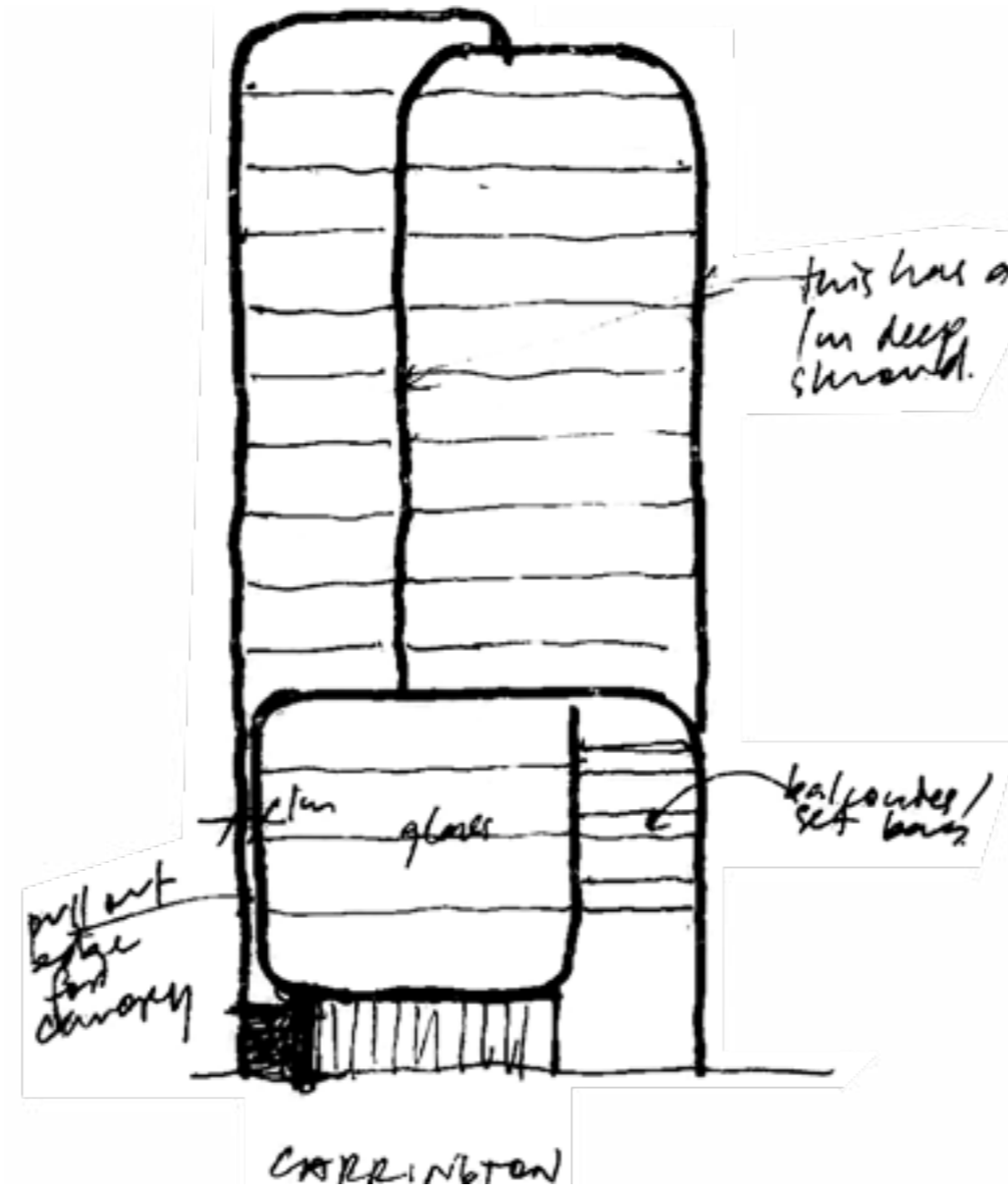
'One Building' in the round.



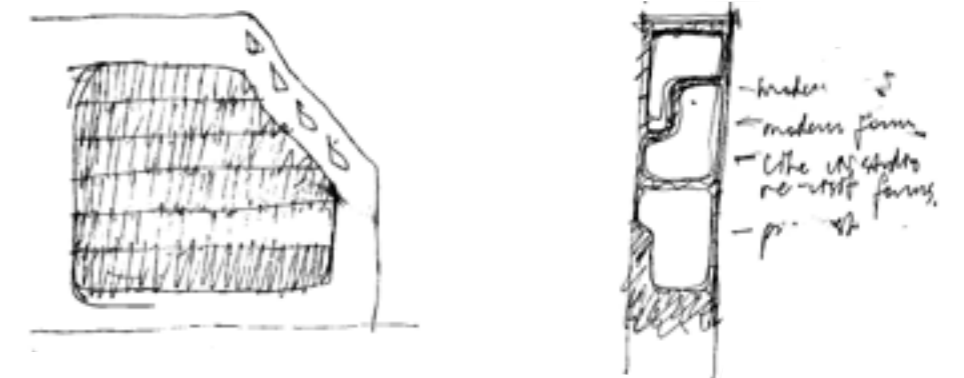
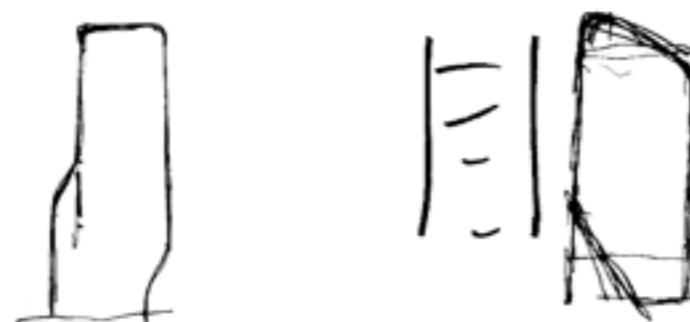
Additional south-western tower setback introduced in response to equitable development considerations to 30 Cambridge Street.

# Design Evolution

- Bold + Sculptural
- Sophisticated
- "One" Building in the Round
- Contribute to Street
- Confident
- Future Focused
- Respectful Neighbour



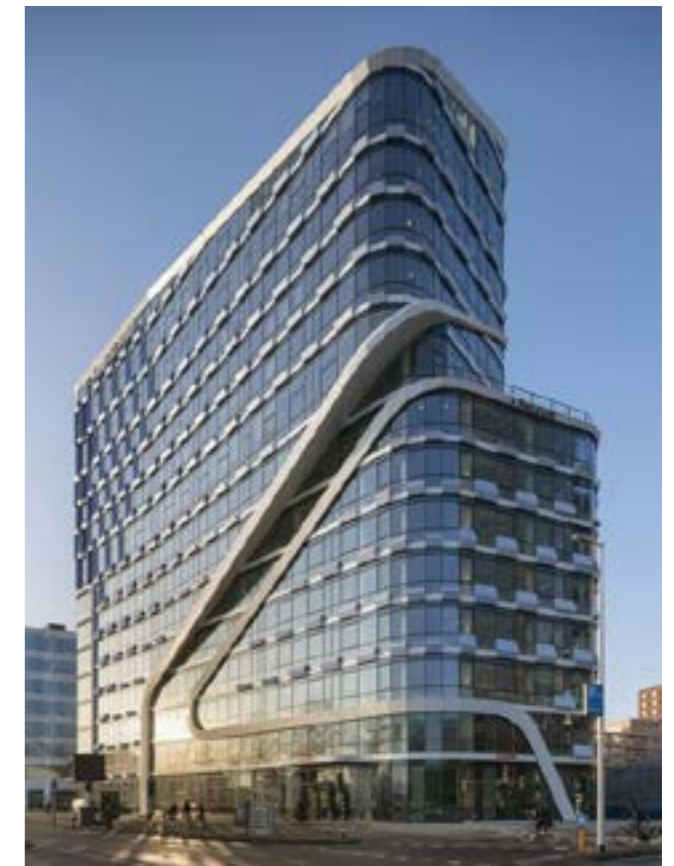
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# A Unifying Element "Shroud" Emphasizing Sculptural Forms: Precedent Images

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# ADVERTISED PLAN

## East and West Facade Studies: Key Elements

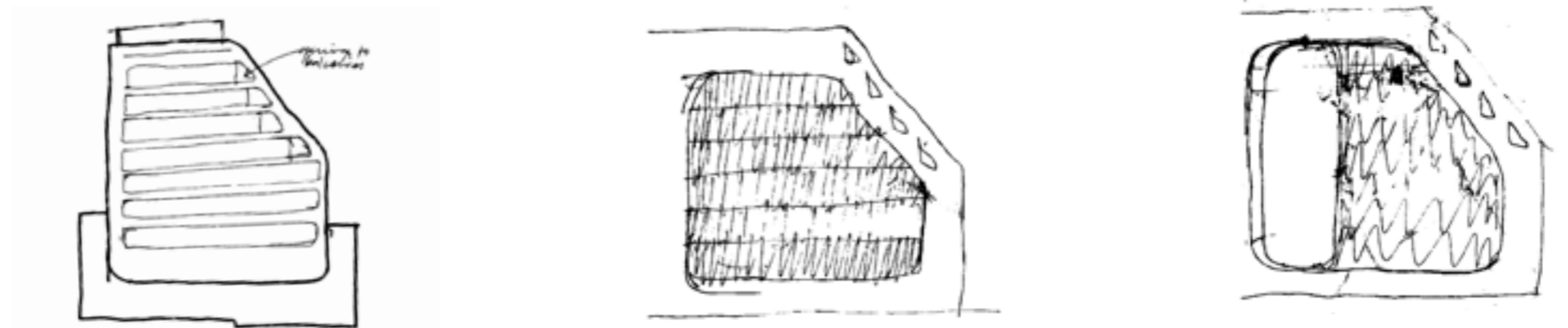
### Elevational Form

Evolution of party wall elevations to be sculptural in nature.



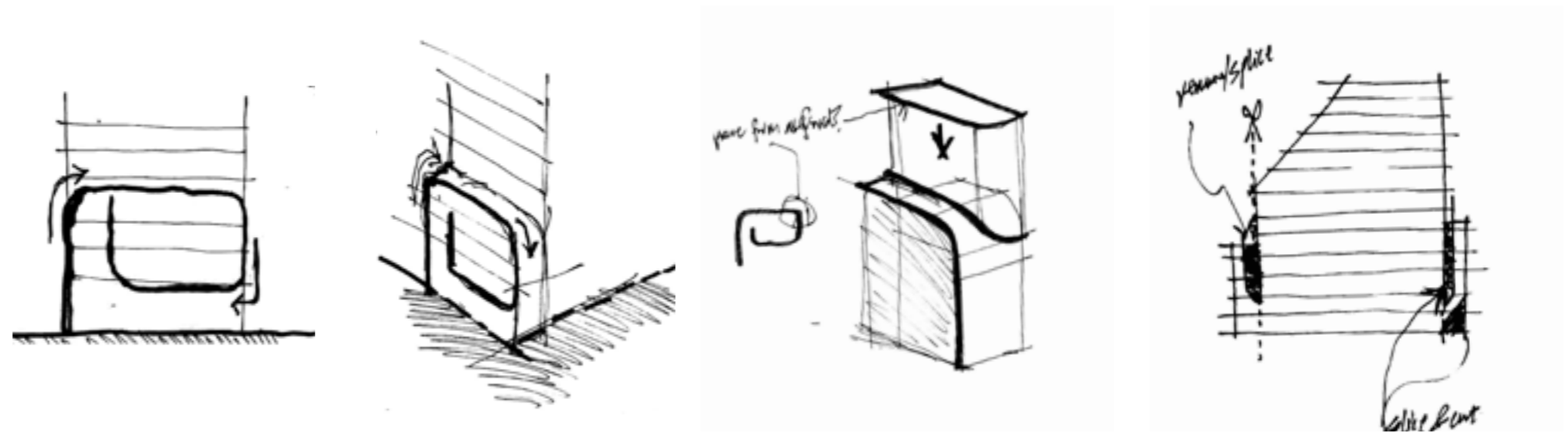
### Materiality & Patternization

Exploration of elevation breakup through window and wall punctures; and between smooth and textured elements.



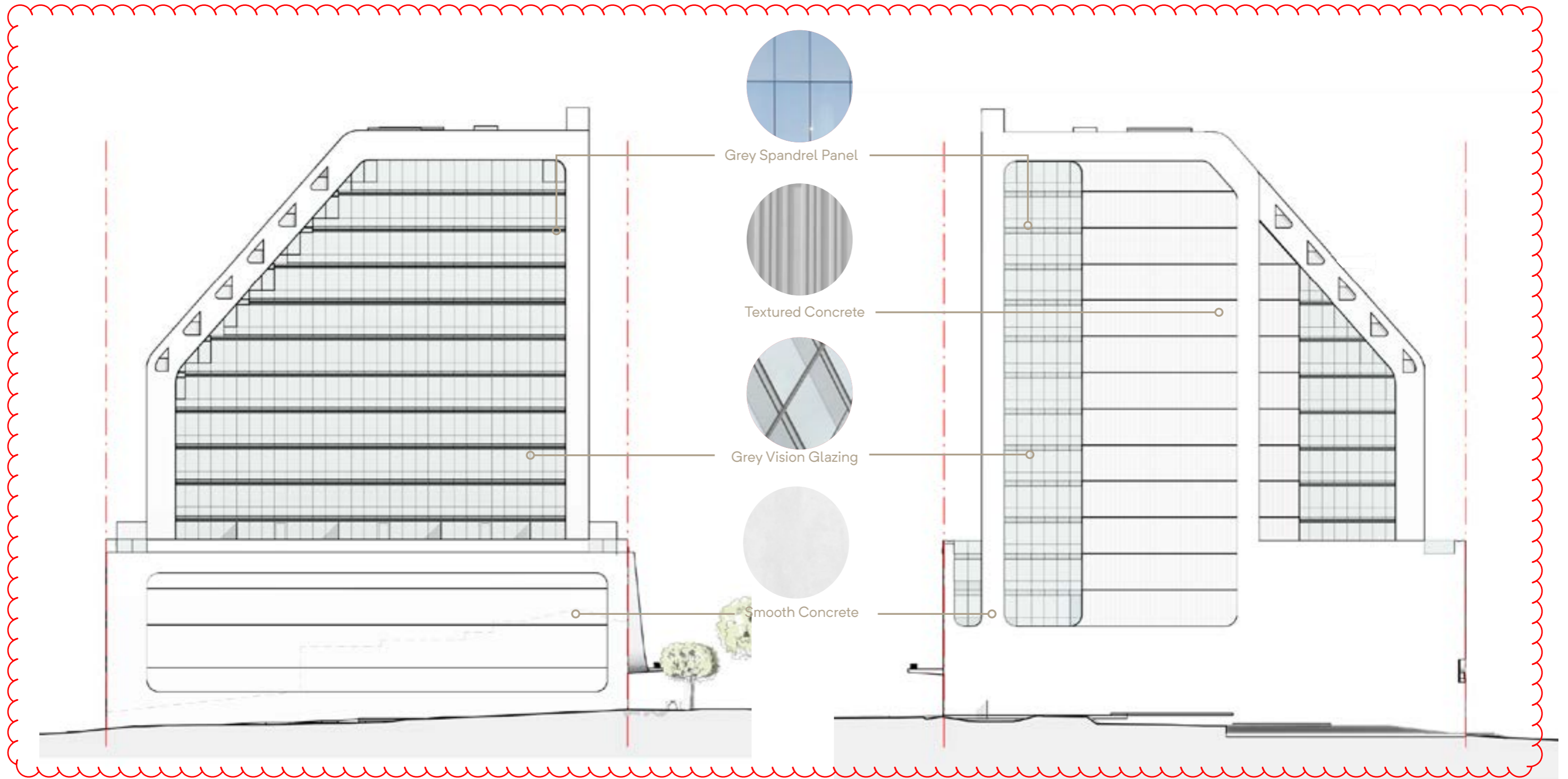
### Morph and Shape

Morph, shape and bend planes and party walls to make building read as "one building".



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East and West Facade Studies: Proposed Materials



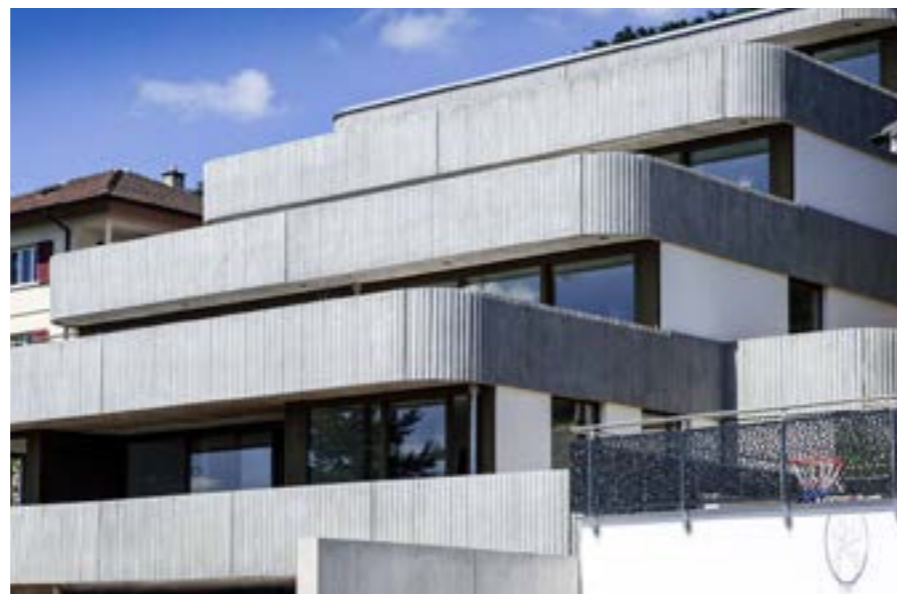
East Elevation

West Elevation



# East and West Facade : Texture & Shadow

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# Ground Plane Activation: Precedent Images

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# Outdoor Terraces : Precedent Images

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URBAN CONTEXT ARCHITECTURAL DESIGN PACK [TP3]





# ADVERTISED PLAN

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URBAN CONTEXT ARCHITECTURAL DESIGN PACK [TP3]



GP.



# ADVERTISED PLAN

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URBAN CONTEXT ARCHITECTURAL DESIGN PACK [TP3]



GP.



# ADVERTISED PLAN

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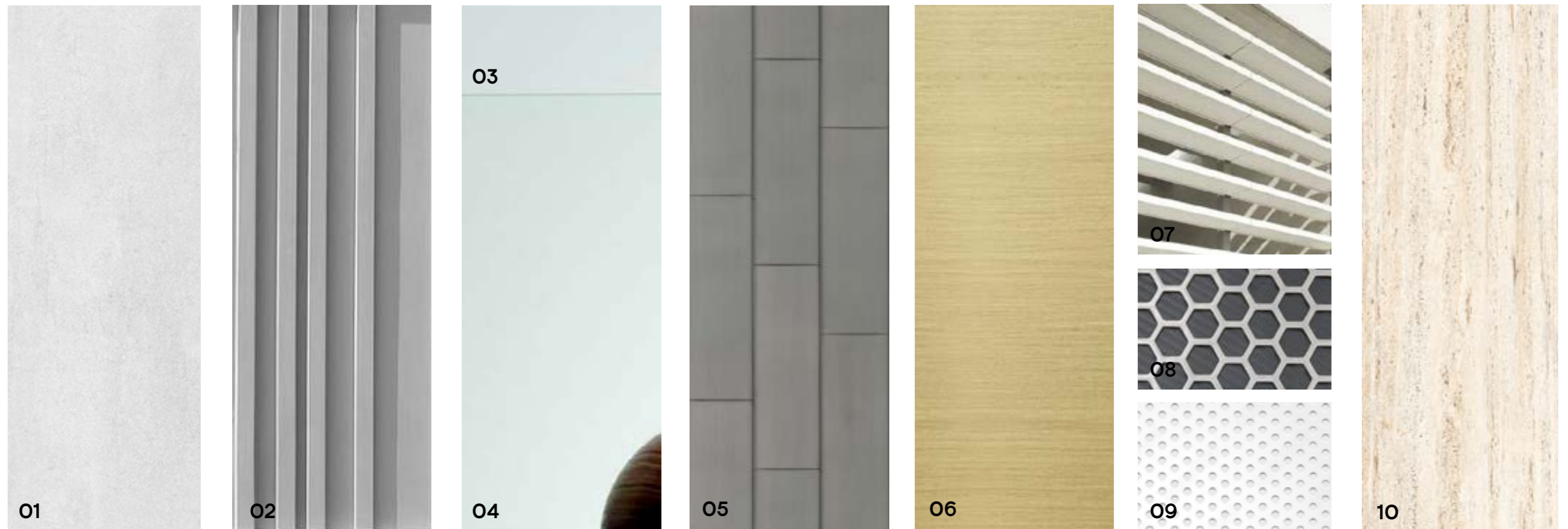
URBAN CONTEXT ARCHITECTURAL DESIGN PACK [TP3]





# Materiality

## ADVERTISED PLAN



- 01 Off-White Textured Precast Concrete
- 02 Off-White Coloured Ribbed Precast Concrete
- 03 Grey Spandrel Glass Panel (appearance to closely match GLO1)
- 04 Grey Vision Glazing
- 05 Metal Cladding - Dark Grey
- 06 Brushed Metal - Brass or Similar
- 07 Metal Sunshade - White
- 08 Perforated Metal - Dark Grey
- 09 Perforated Metal - Light Colour
- 10 Stone

# Facade Sections

## ADVERTISED PLAN

Precast Wall

Glass Balustrade

Spandrel Panel

Louvre System

Window Wall

Glazing System

Podium Section - North



Sunshading

Intergrated Planter & Balustrade

Spandrel Panel

Canopy/Awning

Louvre System

Window Wall

Glazing System

Podium & Tower Transition Section - North





# Facade Sections

## ADVERTISED PLAN



Carrington Road Podium Section



Typical Tower Planter - South



# Facade Sections



Eastern Facade Podium Section & Typical East/West Facade Spandrel Arrangement



# Entry from Carrington





# Entry from Cambridge





# Ground Plane Activation: Approved Vs. Proposed.

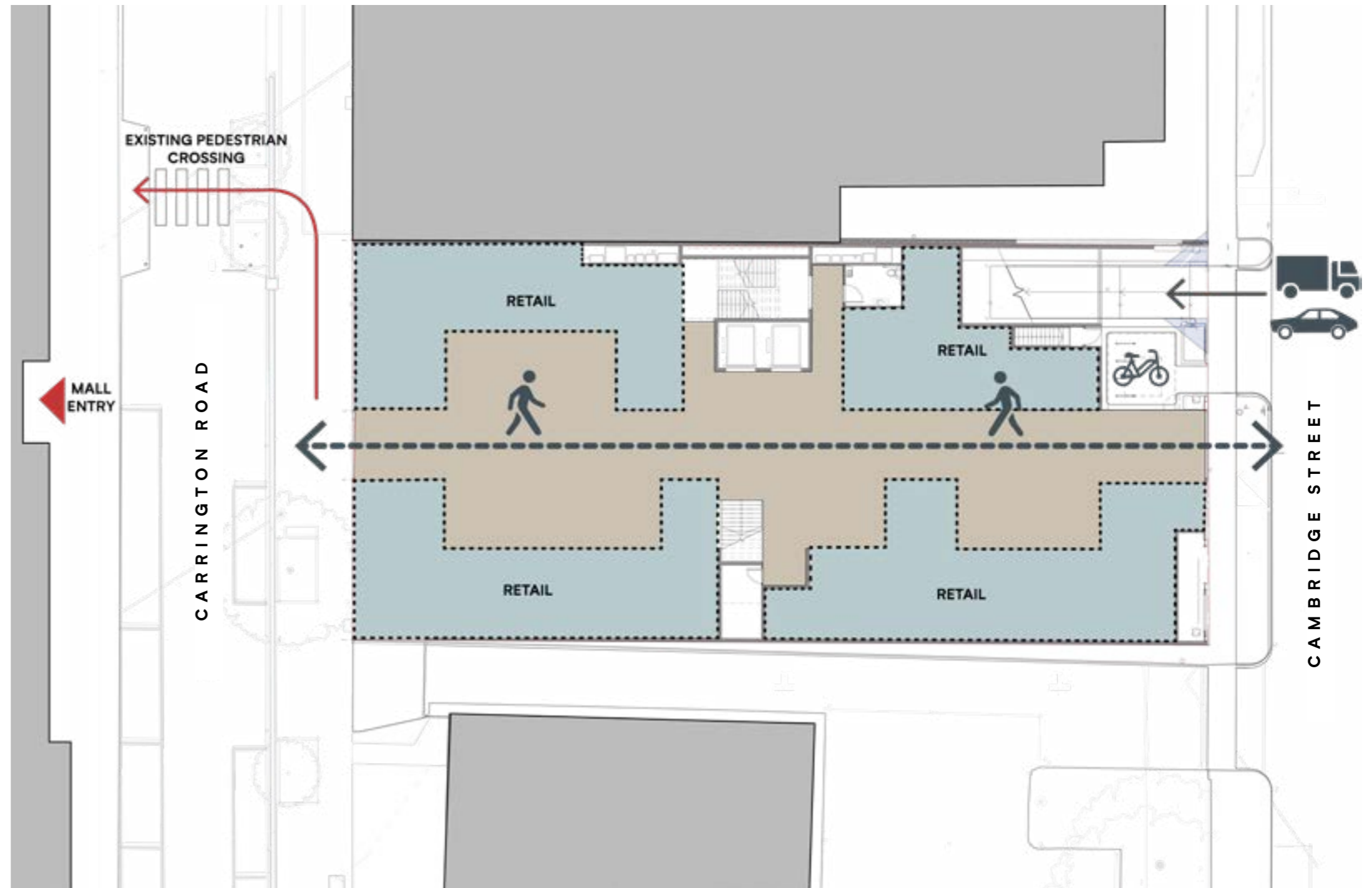
05

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# Current/Approved Ground Plane Activation.

## ADVERTISED PLAN

The approved proposal by Buchan/ LongRiver Group has a ground plane bisected with a pedestrian mall linking Cambridge Street and Carrington Road. Small retail and kiosk spaces ranging from 15-45sqm flank this mall axis; with vehicular, bike and deliveries access of Cambridge Street.



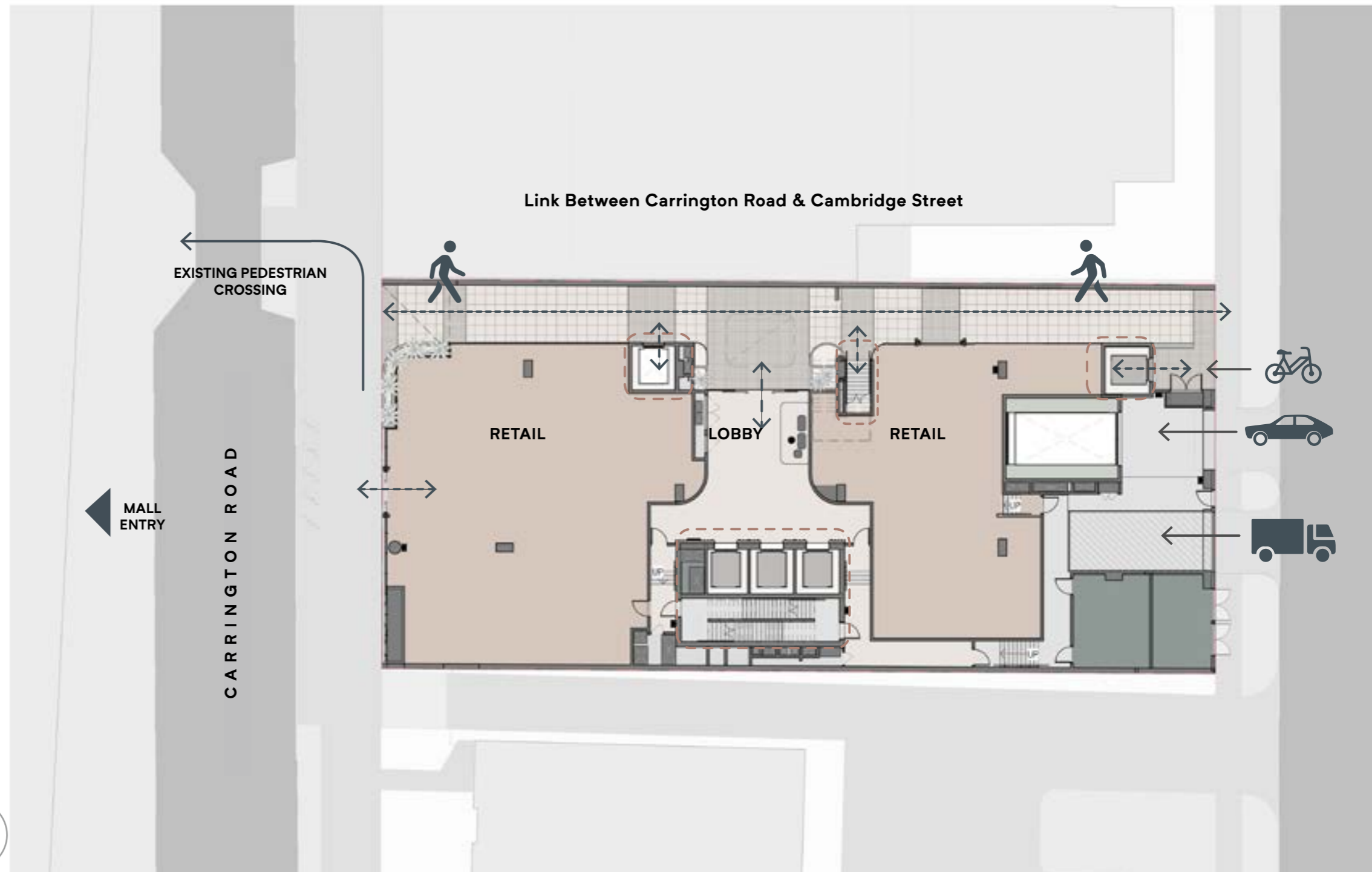


# Proposed Ground Plane Activation.

## ADVERTISED PLAN

The proposed ground plane comprises of a generous single loaded laneway to the western boundary which creates a strong connection between Cambridge Street and Carrington Road — whilst enabling larger tenancy opportunities to activate the laneway and street face. Segregated vehicular, bike and deliveries access is positioned directly off Cambridge Street.

This is in line with the MGS Box Hill Metropolitan Activity Centre DRAFT Structure Plan which nominates link across Carrington Road and Cambridge street, and crossovers off Cambridge Street only



Appendix A -  
Architectural Drawings.  
Shadow Study.

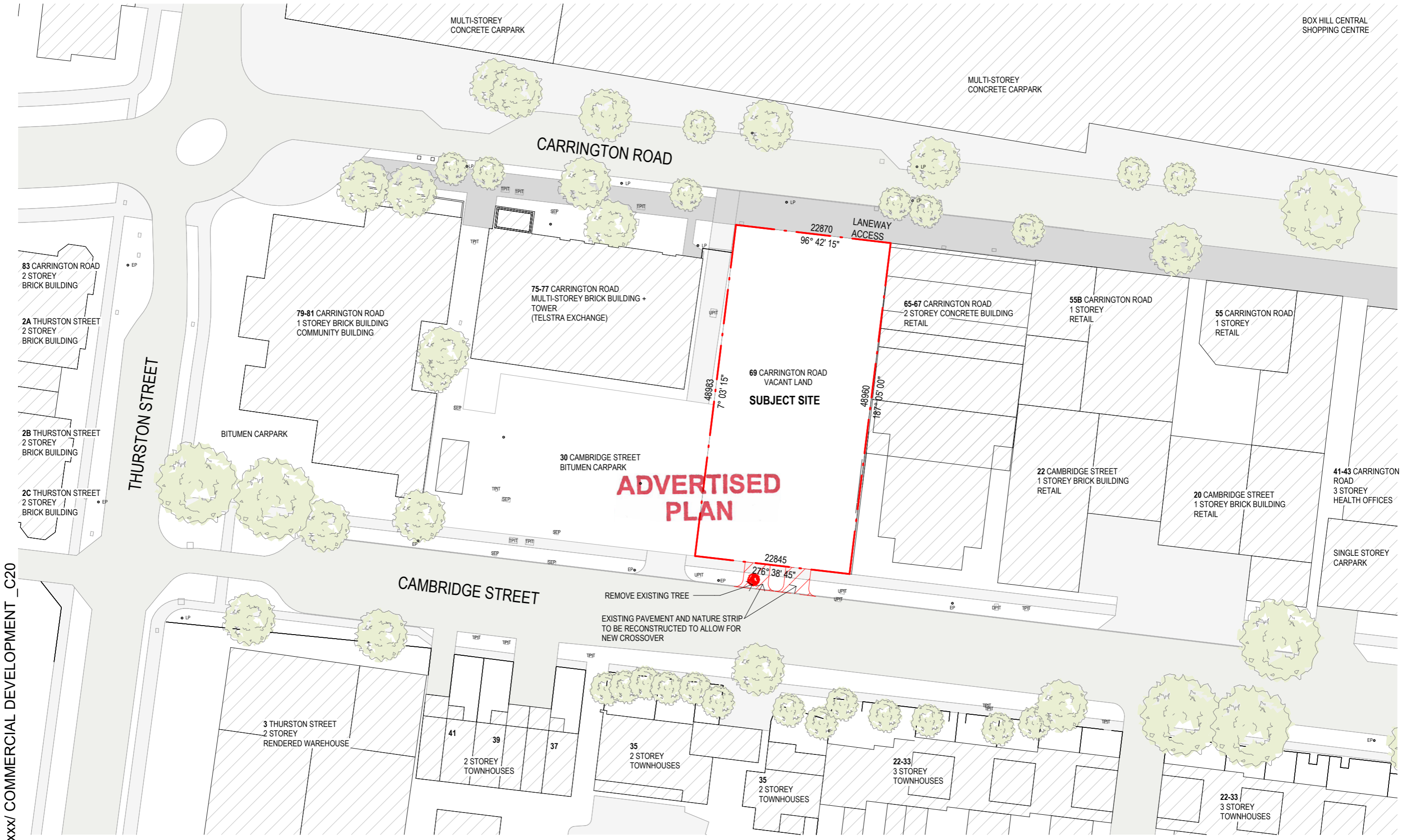
06

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 Contractors to use Architectural drawings for set out.  
 Contractors to check & verify all Dimensions on Site prior to Construction/Fabrication.  
 Figured Dimensions take precedence over Scaled Dimensions.  
 Any Discrepancies should be immediately referred to the Architect.  
 All work to comply with N.C.C. Statutory Authorities & Relevant Australian Standards.  
 NSW Nominated Architects Scott Moylan 7147 Craig Saltmarsh 6569

REV	DESCRIPTION	DATE
A	FOR REVIEW	06.12.2024
TP1	FOR PLANNING ISSUE	08.12.2023
TP2	PLANNING UPDATES	15.05.2024
TP3	PLANNING UPDATES	19.12.2024

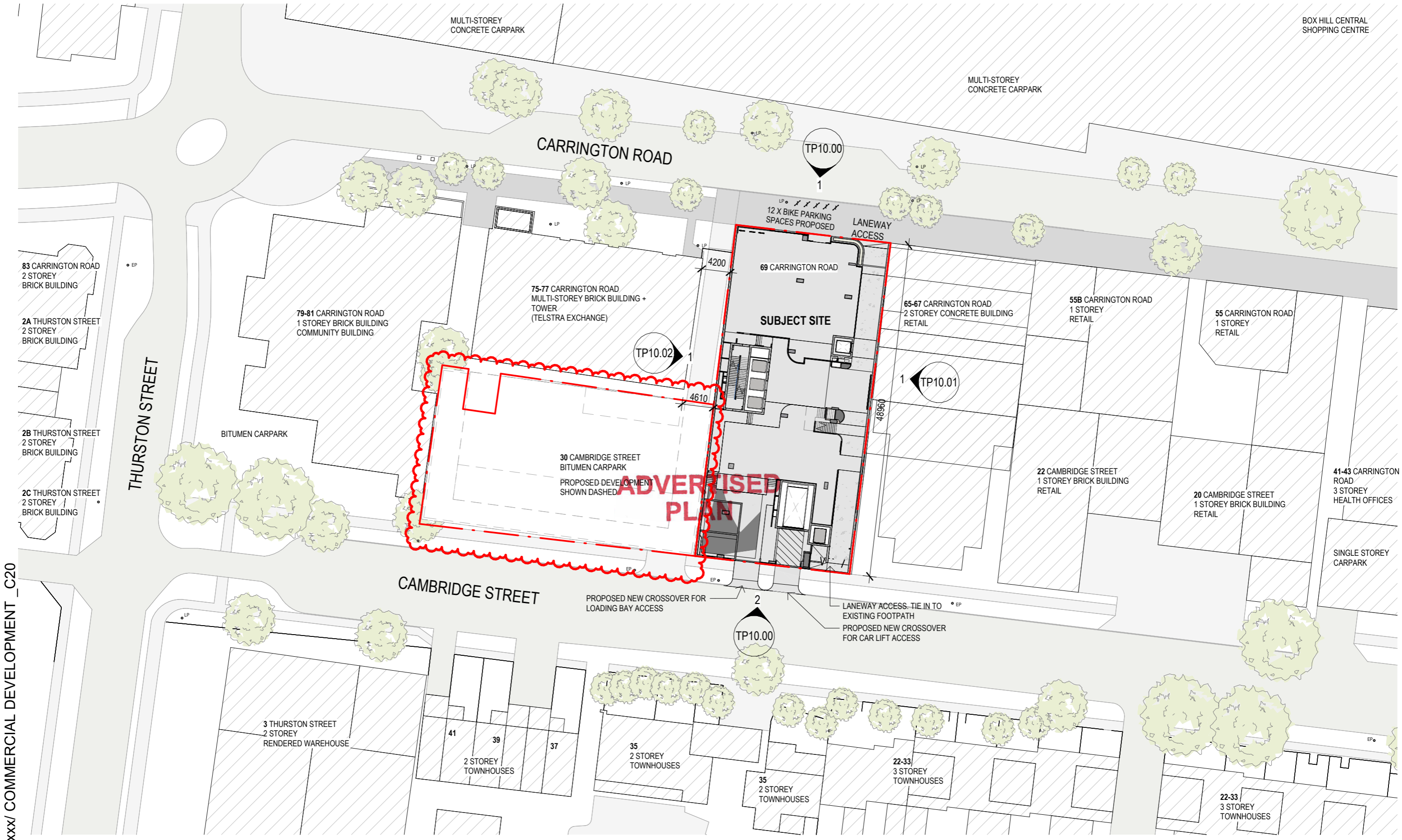
PROJECT NO 123146  
 DRAWN SM/MC  
 CHECKED PG  
 APPROVED NT  
**COMMERCIAL DEVELOPMENT**  
 69 CARRINGTON ROAD, BOX HILL



**GRAY PUKSAND**  
 TOWN PLANNING  
**EXISTING AND DEMOLITION PLAN**  
 DWG # **TP01.00** REV **TP3**  
 SCALE @ A3 1 : 500



RSN://xxx-ivt-01/x2xxx/ COMMERCIAL DEVELOPMENT \_C20



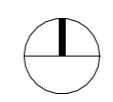
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 Contractors to check & verify all Dimensions on Site prior to Construction/Fabrication.  
 Figured Dimensions take precedence over Scaled Dimensions.  
 Any Discrepancies should be immediately referred to the Architect.  
 All work to comply with N.C.C. Statutory Authorities & Relevant Australian Standards.  
 NSW Nominated Architects Scott Moylan 7147 Craig Saltmarsh 6569

REV	DESCRIPTION	DATE
A	FOR REVIEW	06.12.2024
TP1	FOR PLANNING ISSUE	08.12.2023
TP2	PLANNING UPDATES	15.05.2024
TP3	PLANNING UPDATES	19.12.2024

PROJECT NO 123146  
 DRAWN SM/MC  
 CHECKED PG  
 APPROVED NT  
**COMMERCIAL DEVELOPMENT**  
 69 CARRINGTON ROAD, BOX HILL



**GRAY PUKSAND**  
 TOWN PLANNING  
**PROPOSED SITE PLAN**  
 DWG # **TP01.01** REV **TP3**  
 SCALE @ A3 1 : 500

19-Dec-24

**Development Summary**

Overall Site Area: 1119m2

Level - Use	Gross Floor Area (m2)	Net Sellable Area (m2)	Retail Net Floor Area (m2)	Terraces + Landscaping	Efficiency	Car Spaces	FFL to FFL
Basement 02	1,119	-	-	-	0.00%	24	3000
Basement 01	1,119	-	-	-	0.00%	17	4700
<b>Ground Floor - Retail, Commercial Entry &amp; BOH</b>	1,119	471	471		<b>42.09%</b>	0	4200
Level 01 - Retail Tenancy	1,090	919	919		<b>84.31%</b>	0	4000
Level 02 - Office Tenancy	1,104	867	-	14	<b>78.53%</b>	0	3400
Level 03 - Office Tenancy	1,104	867	-	14	<b>78.53%</b>	0	3400
Level 04 - Office Tenancy	704	512	-	373	<b>72.73%</b>	0	3400
Level 05 - Office Tenancy	704	512	-		<b>72.73%</b>	0	3400
Level 06 - Office Tenancy	704	512	-		<b>72.73%</b>	0	3400
Level 07 - Office Tenancy	704	512	-		<b>72.73%</b>	0	3400
Level 08 - Office Tenancy	704	512	-		<b>72.73%</b>	0	3400
Level 09 - Office Tenancy	666	477	-	37	<b>71.62%</b>	0	3400
Level 10 - Office Tenancy	627	438	-	40	<b>69.86%</b>	0	3400
Level 11 - Office Tenancy	580	397	-	39	<b>68.45%</b>	0	3400
Level 12 - Office Tenancy	533	373	-	39	<b>69.98%</b>	0	3400
Level 13 - Office Tenancy	487	371	-	39	<b>76.18%</b>	0	3400
Level 14 - Office Tenancy	427	311	-	47	<b>72.83%</b>	0	3800
<b>Subtotal - Above Ground</b>	<b>11,257</b>	<b>8,051</b>	<b>1,390</b>	<b>642</b>	<b>72%</b>	<b>0</b>	<b>52800.00</b>
<b>Total</b>	<b>13,495</b>	<b>8,051</b>	<b>1,390</b>	<b>642</b>	<b>60%</b>	<b>41</b>	<b>60500.00</b>

**TOTAL CARPARKS**

OFFICE: 37 SPACES  
RETAIL : 3 SPACES  
DDA: 1 SPACES

**TOTAL: 41 SPACES**

**TOTAL BIKE NUMBERS:**

B2 BUILDING OCCUPANTS: 40 SPACES  
GROUND FLOOR VISITORS: 10 SPACES

**TOTAL:**

**50 SPACES**

**END OF TRIP SUMMARY:**

MALE & FEMALE SHOWERS: 6  
UNISEX DDA SHOWER: 1

**TOTAL SHOWERS: 7**

MALE AND FEMALE LOCKERS: 60  
UNISEX LOCKERS: 8

**TOTAL LOCKERS: 68**

**ADVERTISED PLAN**

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NSW Nominated Architects Scott Moylan 7147 Craig Saltmarsh 6569

REV	DESCRIPTION	DATE
A	FOR INFORMATION	25.11.2024
B	FOR REVIEW	06.12.2024
TP1	FOR PLANNING ISSUE	08.12.2023
TP2	PLANNING UPDATES	15.05.2024
TP3	PLANNING UPDATES	19.12.2024

PROJECT NO 123146  
DRAWN SM/MC  
CHECKED PG  
APPROVED NT

**COMMERCIAL DEVELOPMENT**

69 CARRINGTON ROAD, BOX HILL

**GRAY PUKSAND**

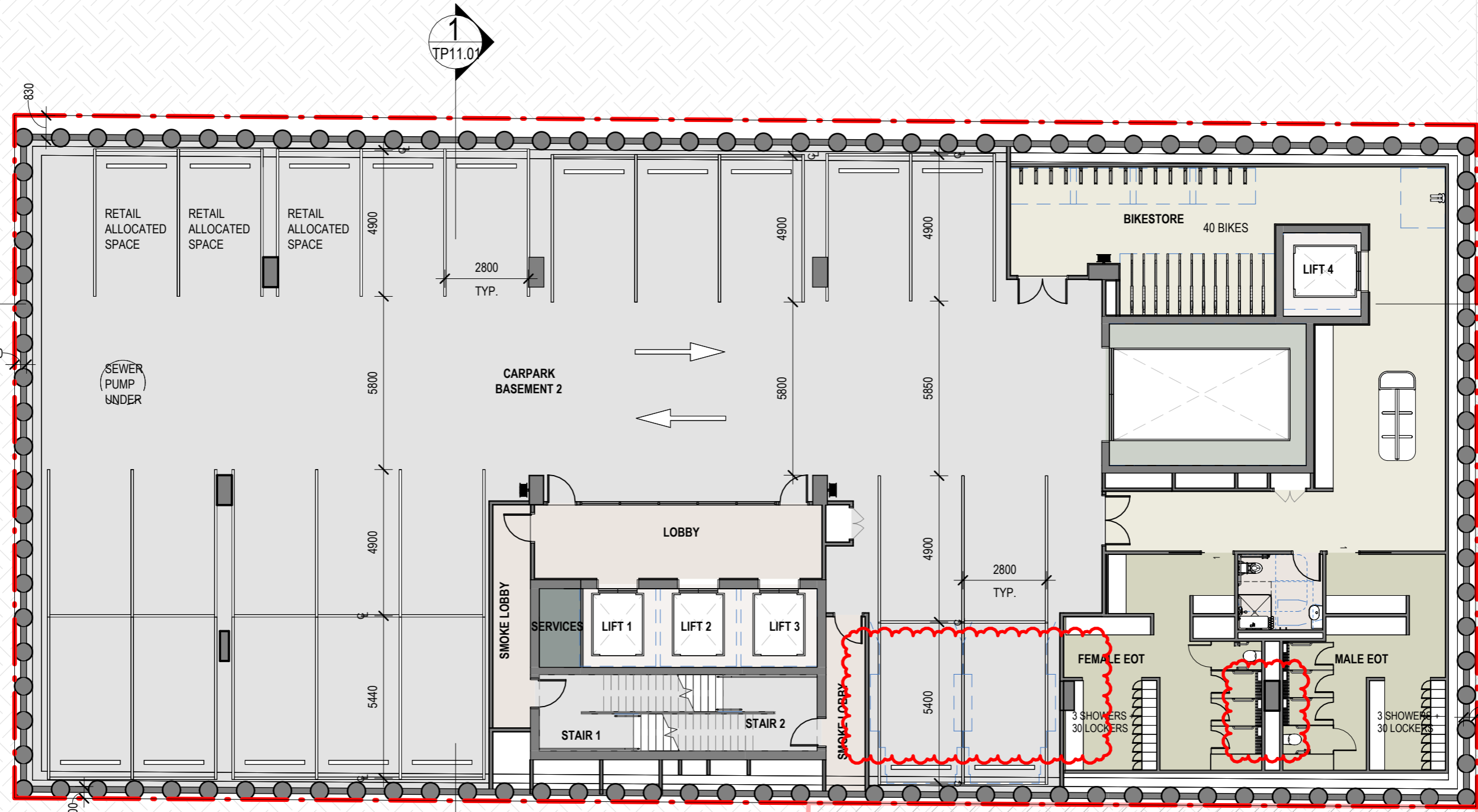
TOWN PLANNING  
**DEVELOPMENT SUMMARY**

DWG # **TP01.10** REV **TP3**  
SCALE @ A3

RSN://xxx-ivt-01/x2xxx/ COMMERCIAL DEVELOPMENT \_C20



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30 CAMBRIDGE  
PROPOSED DEVELOPMENT



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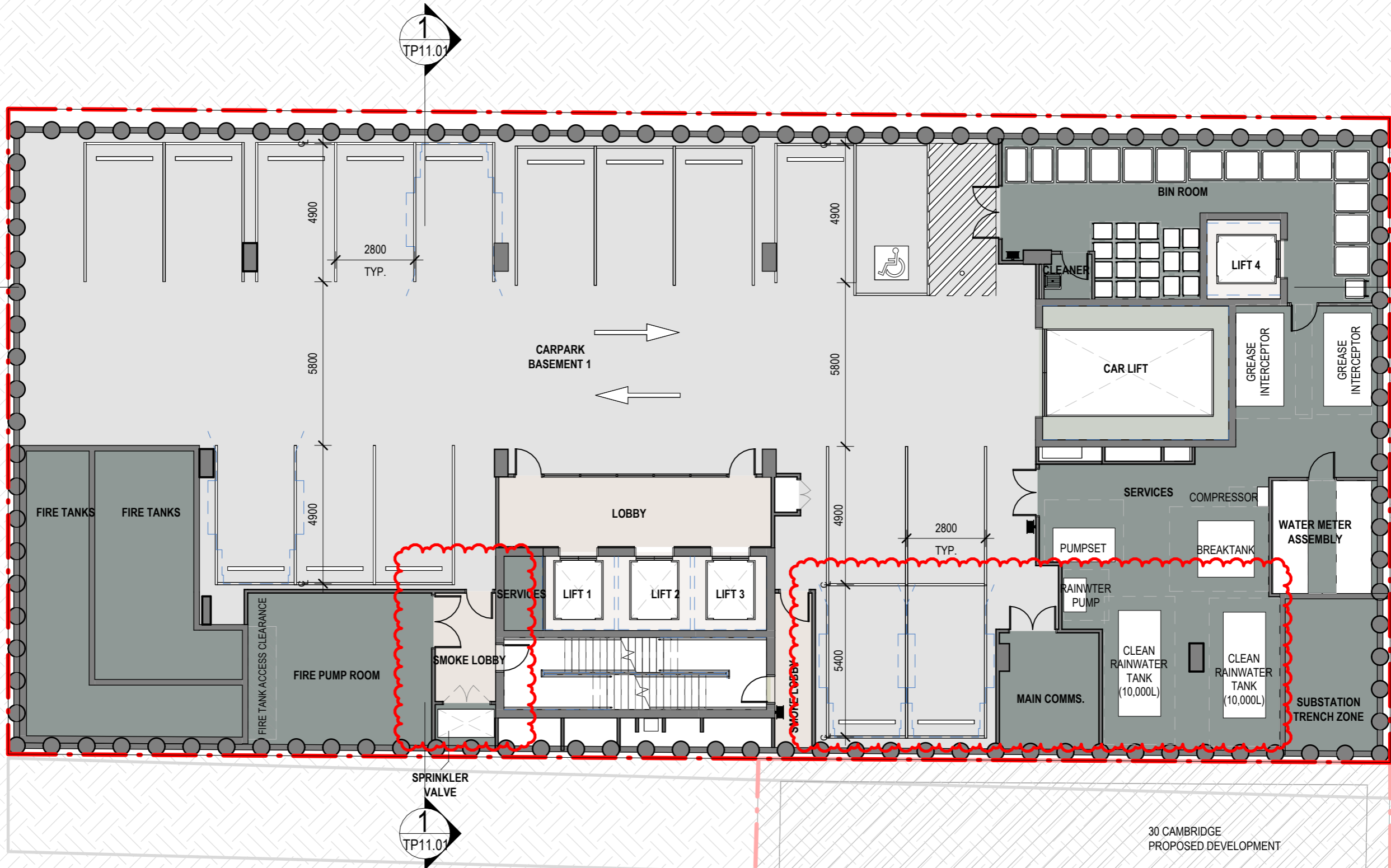
COMMERCIAL DEVELOPMENT

BASEMENT 2 PLAN

**ADVERTISED  
PLAN**

DWG # TP03.00 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150





30 CAMBRIDGE  
PROPOSED DEVELOPMENT



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COMMERCIAL DEVELOPMENT

BASEMENT 1 PLAN

**ADVERTISED  
PLAN**

DWG # TP03.01 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150

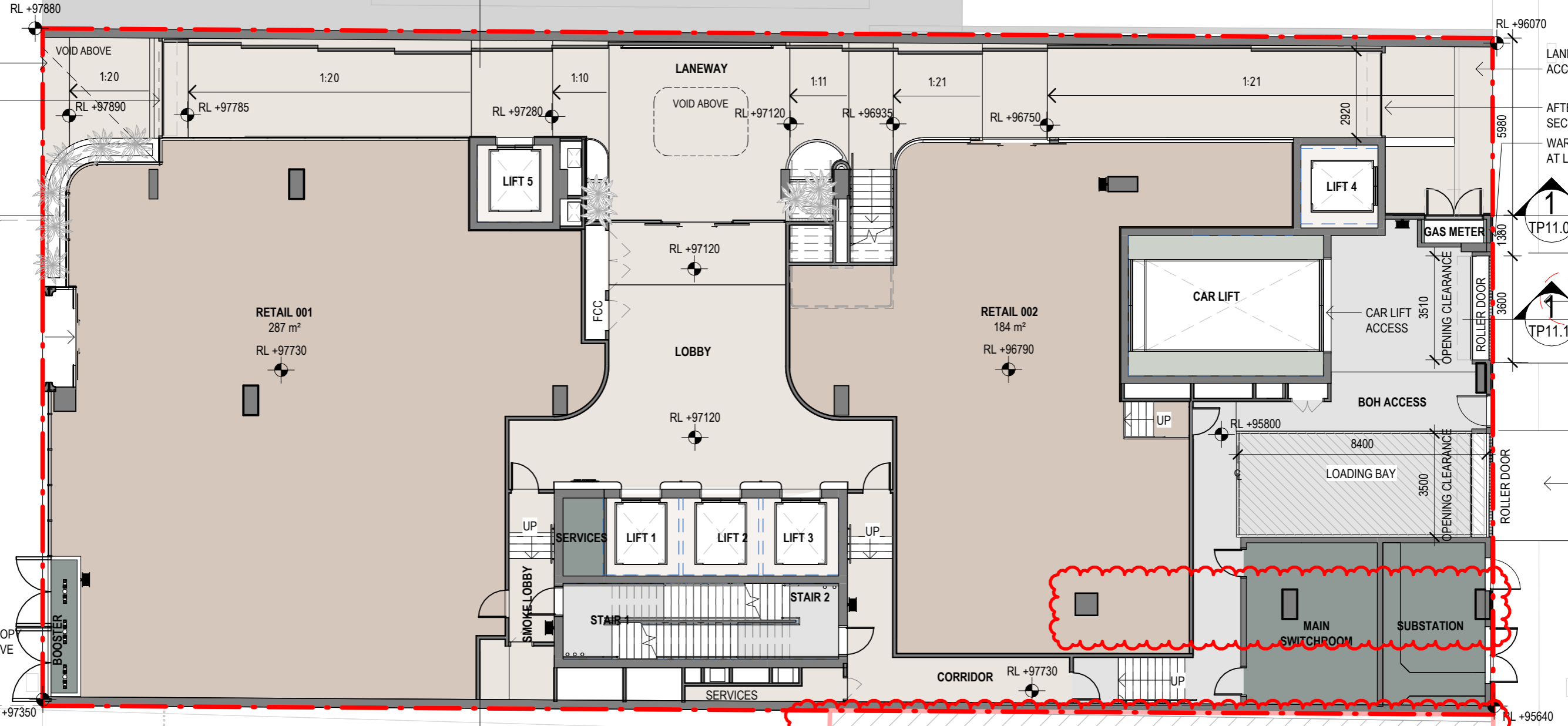


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65-67 CARRINGTON ROAD

24 CAMBRIDGE STREET



CARRINGTON ROAD

CAMBRIDGE STREET

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COMMERCIAL DEVELOPMENT

GROUND LEVEL PLAN

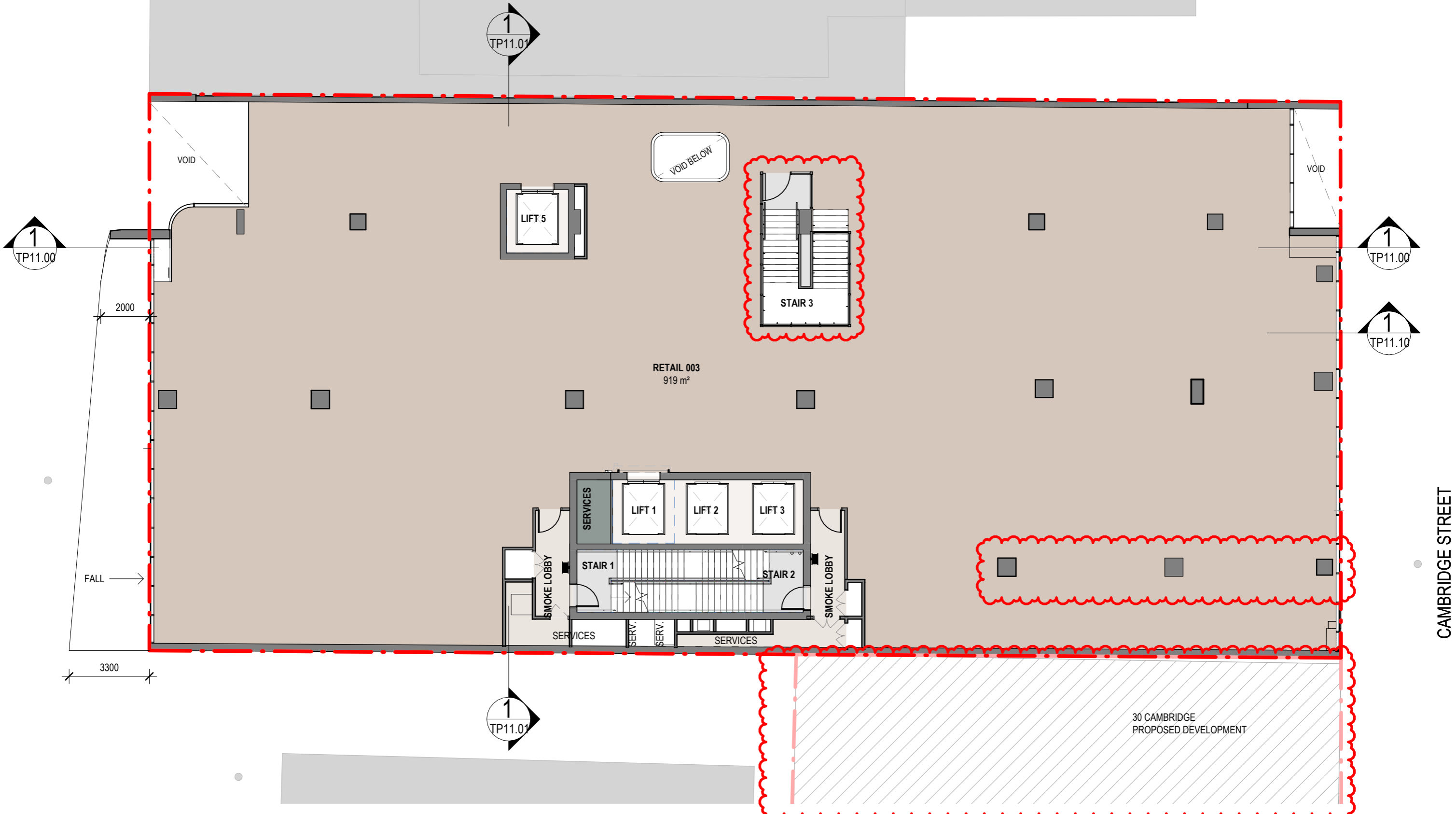
**ADVERTISED  
PLAN**

DWG # TP03.02 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



CARRINGTON ROAD

CAMBRIDGE STREET



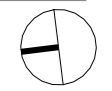
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COMMERCIAL DEVELOPMENT

LEVEL 1 PLAN

**ADVERTISED  
PLAN**

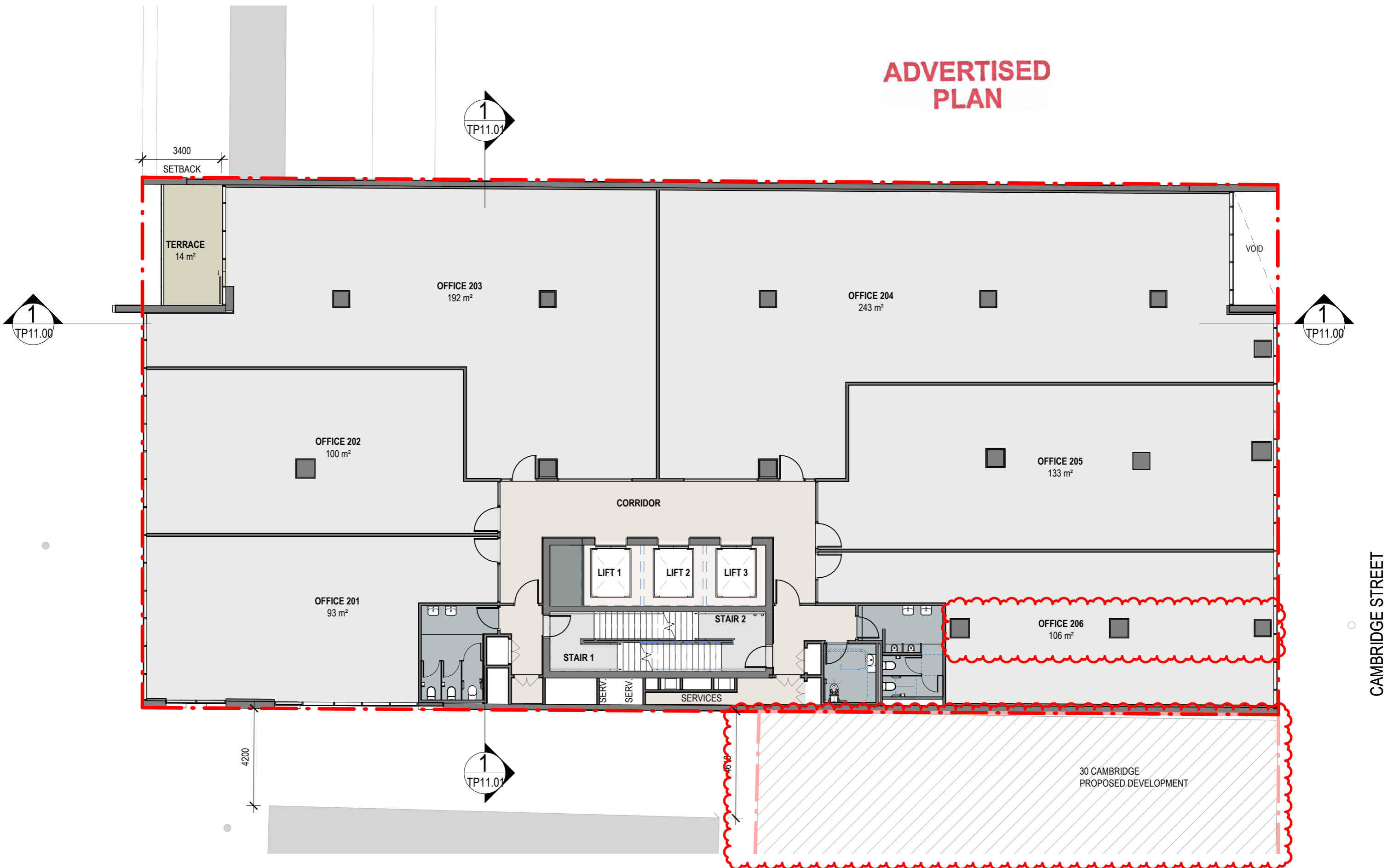
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 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150



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# ADVERTISED PLAN



CARRINGTON ROAD

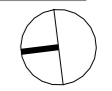
CAMBRIDGE STREET

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COMMERCIAL DEVELOPMENT

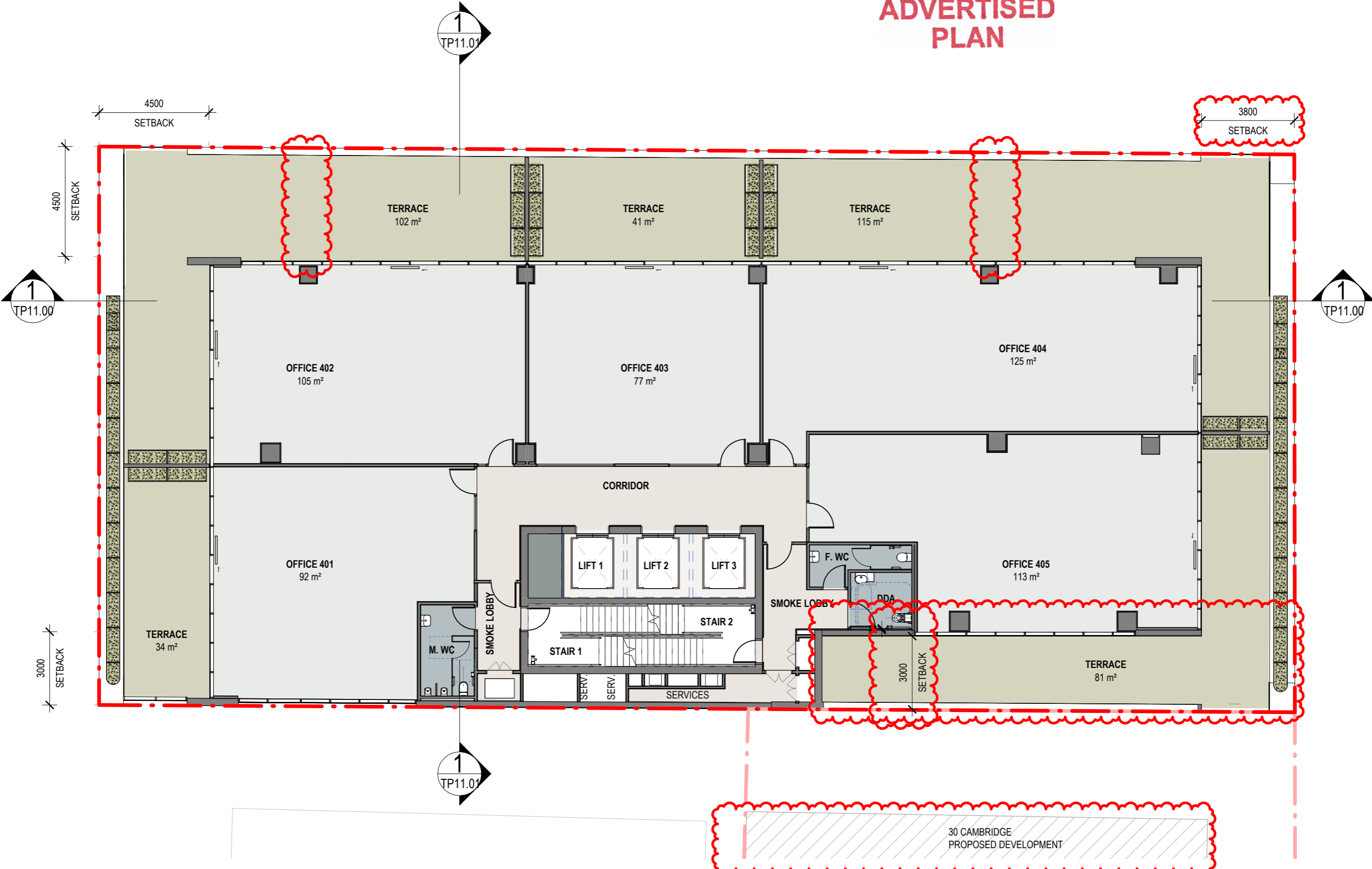
LEVEL 2-3 (TYPICAL) PLAN

DWG # TP03.04 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



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# ADVERTISED PLAN



CARRINGTON ROAD

CAMBRIDGE STREET

COMMERCIAL DEVELOPMENT

LEVEL 4 PLAN



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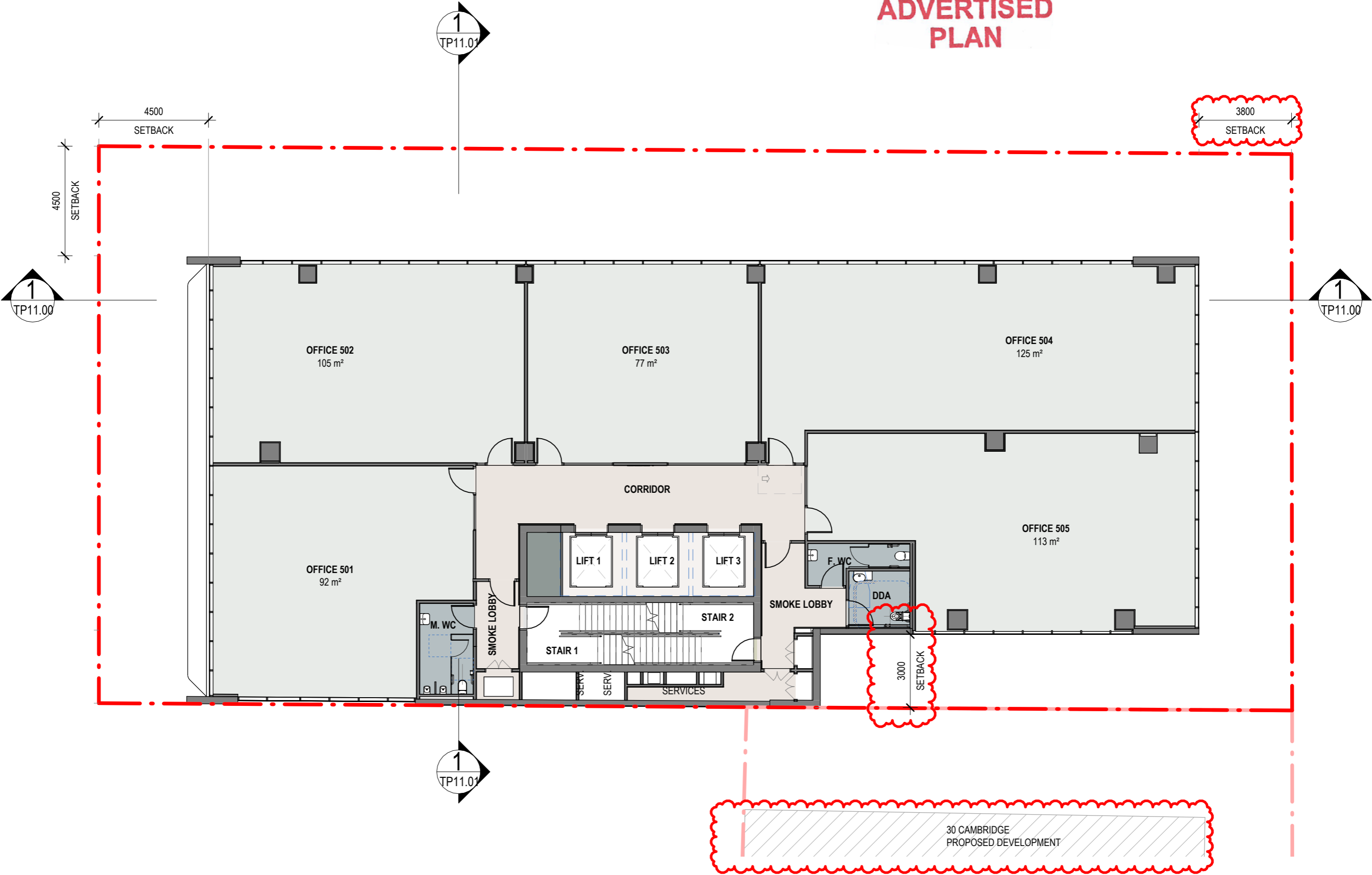
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 DATE 19.12.2024  
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CARRINGTON ROAD

CAMBRIDGE STREET



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COMMERCIAL DEVELOPMENT

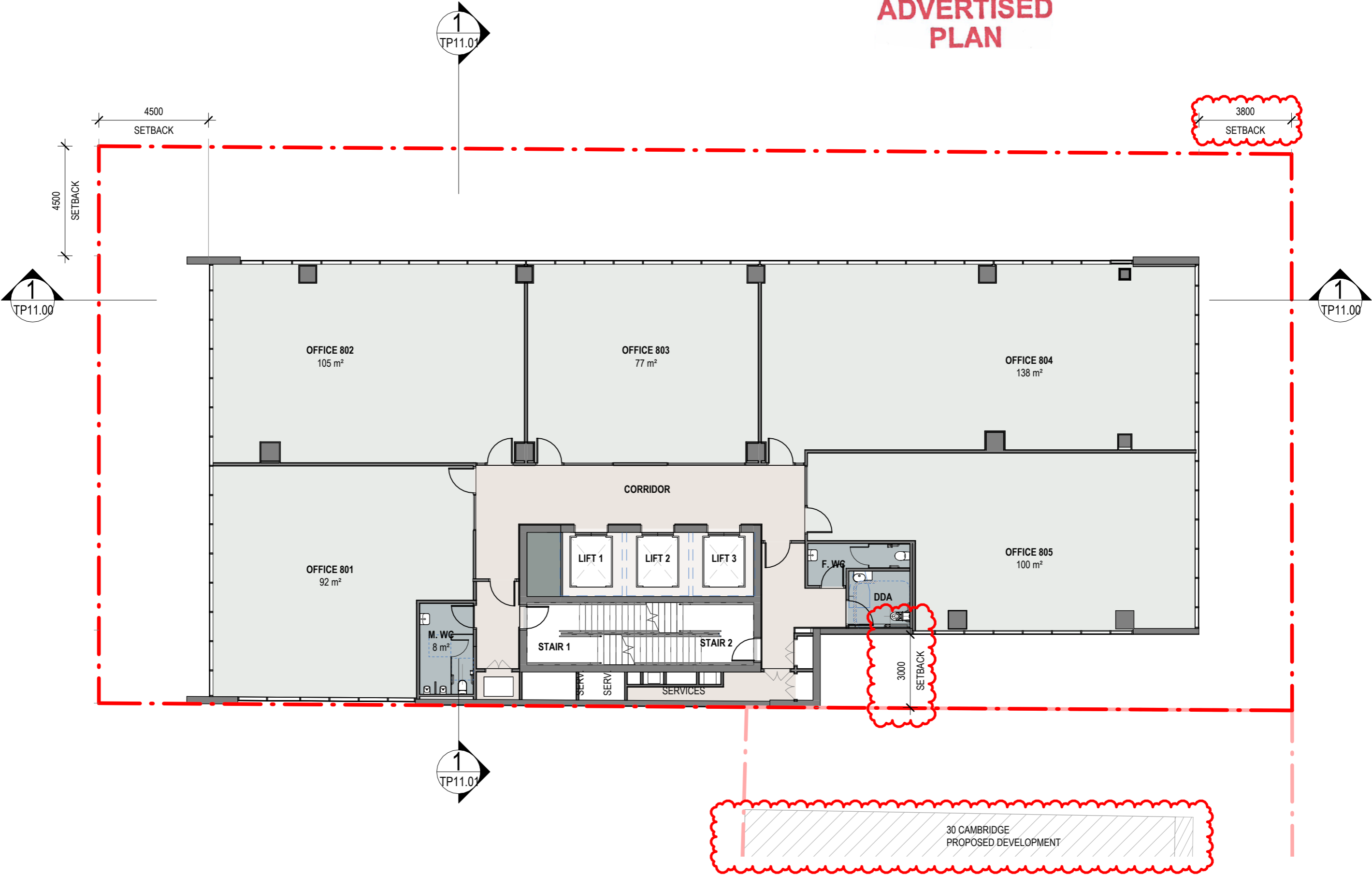
LEVEL 5 - 7 (TYPICAL) PLAN

DWG # TP03.07 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150



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# ADVERTISED PLAN



CARRINGTON ROAD

CAMBRIDGE STREET

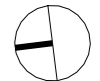


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COMMERCIAL DEVELOPMENT

LEVEL 8 PLAN

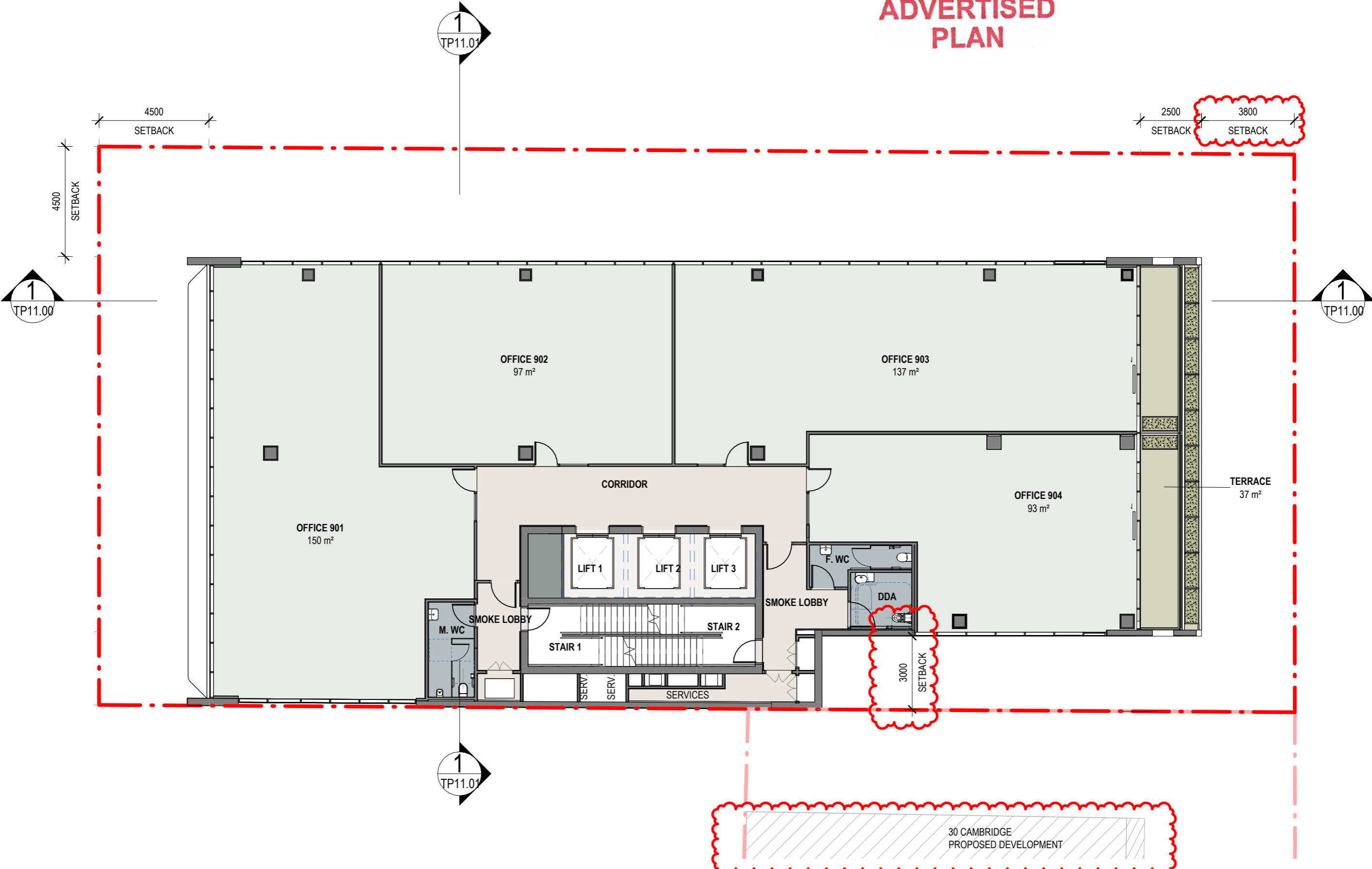
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 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150



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LEVEL 9 PLAN

DWG # TP03.09 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150



CARRINGTON ROAD

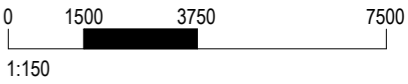
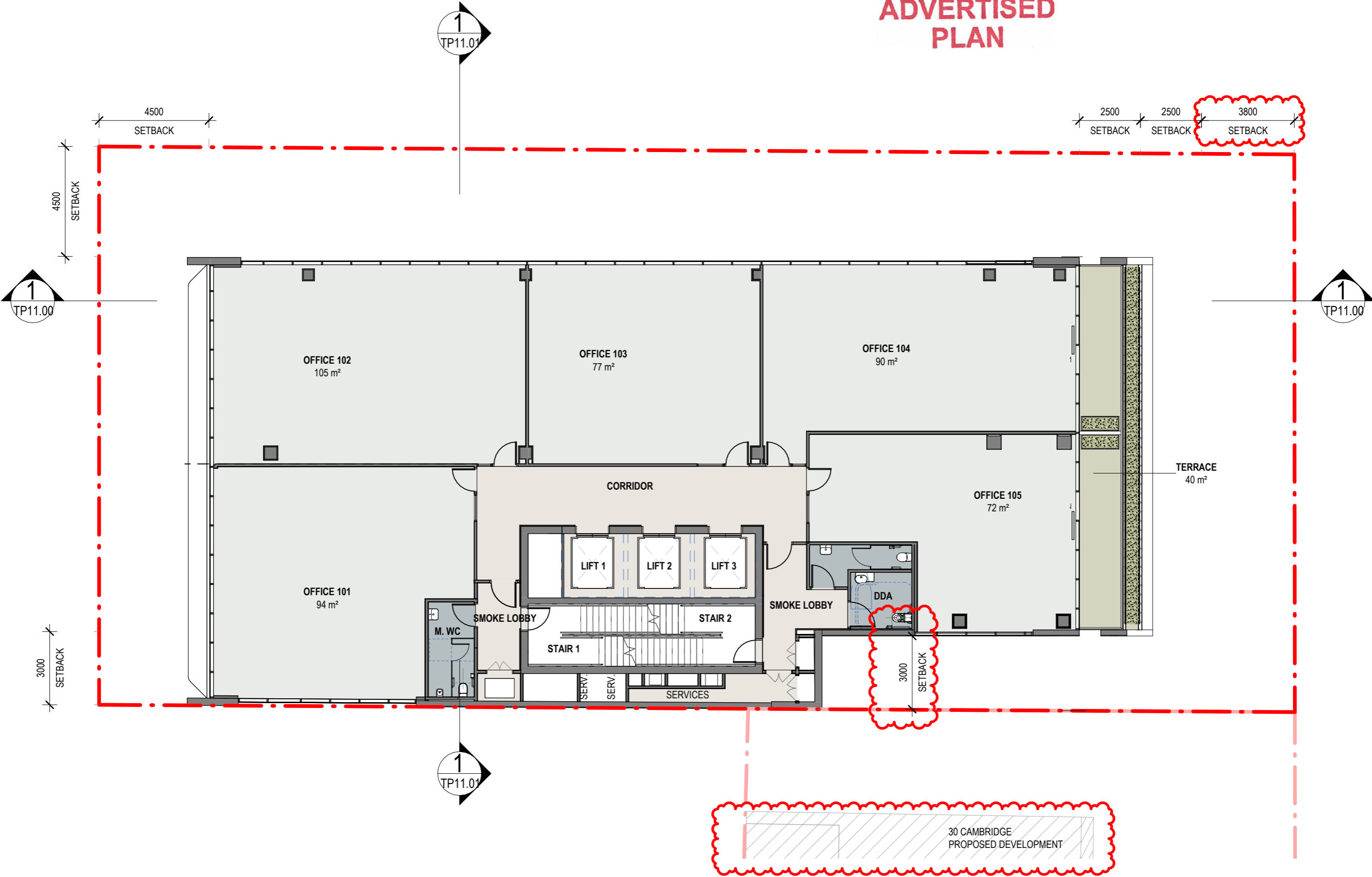
CAMBRIDGE STREET

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# ADVERTISED PLAN

CARRINGTON ROAD

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COMMERCIAL DEVELOPMENT

LEVEL 10 PLAN

DWG # TP03.10 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



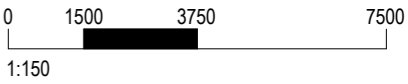
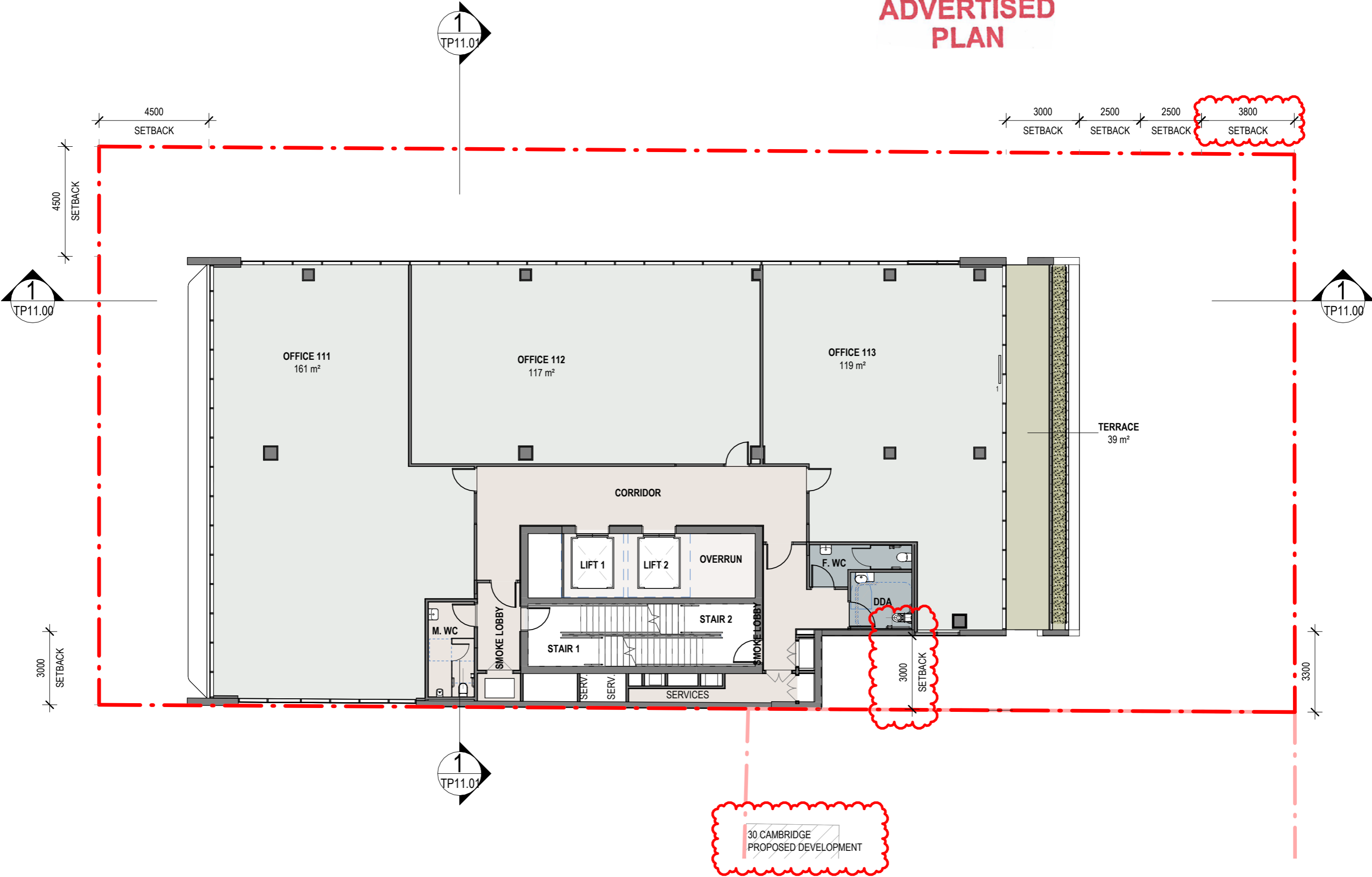
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# ADVERTISED PLAN

CARRINGTON ROAD

CAMBRIDGE STREET



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COMMERCIAL DEVELOPMENT

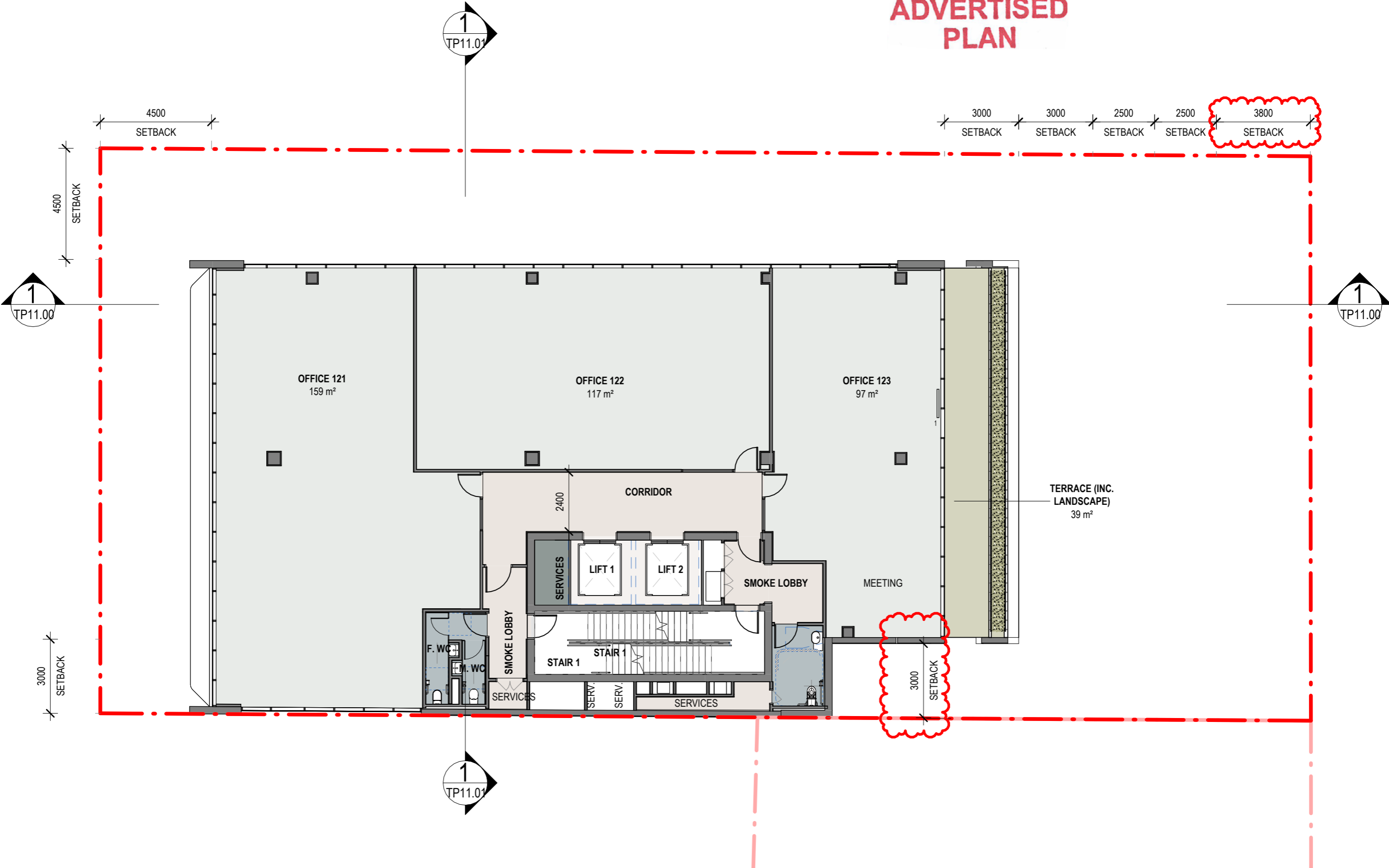
LEVEL 11 PLAN

DWG # TP03.11 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



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# ADVERTISED PLAN



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COMMERCIAL DEVELOPMENT

LEVEL 12 PLAN

DWG # TP03.12 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



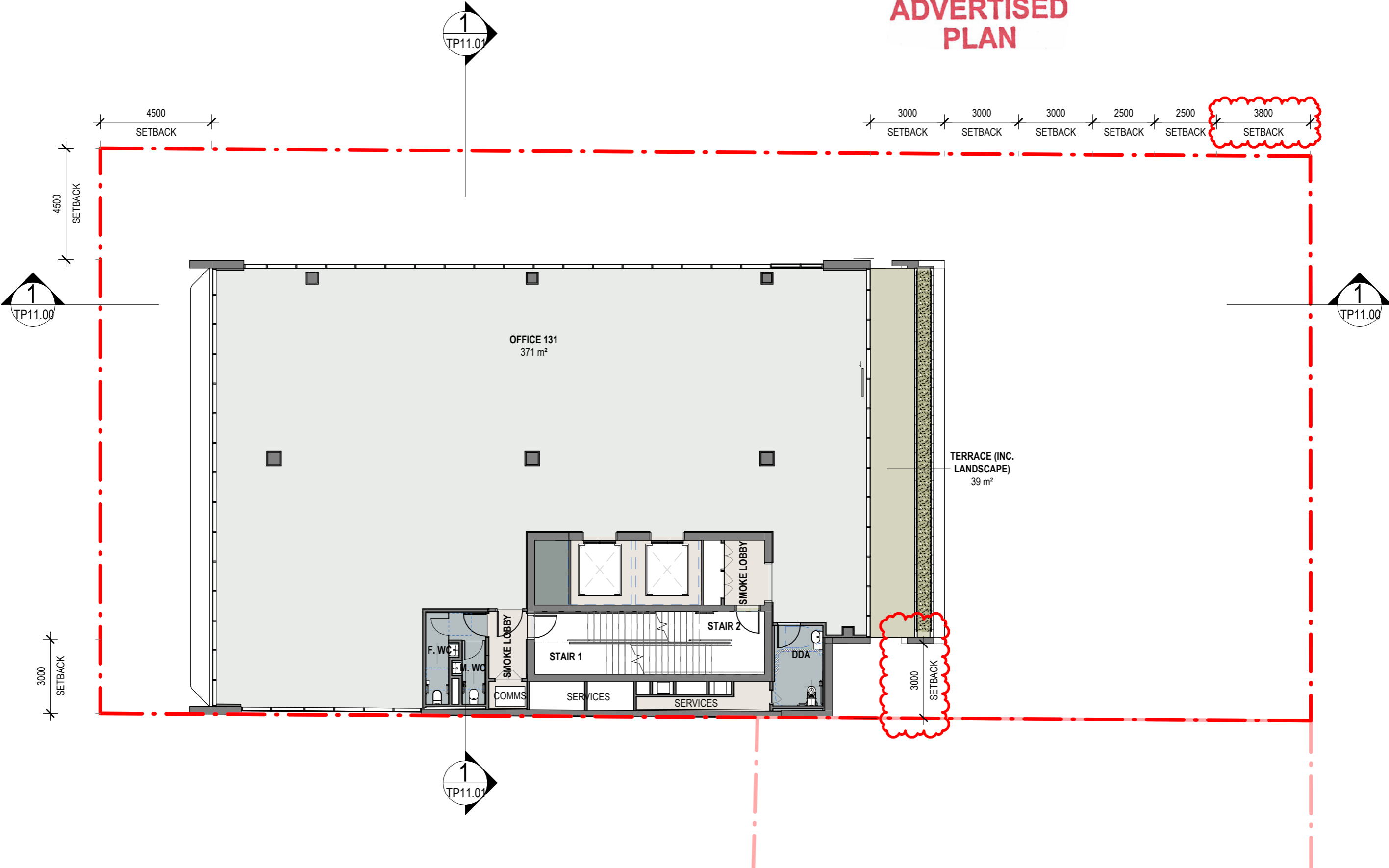
CARRINGTON ROAD

CAMBRIDGE STREET

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# ADVERTISED PLAN



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COMMERCIAL DEVELOPMENT

LEVEL 13 PLAN

DWG # TP03.13 PROJECT #123146  
REV TP3 SHEET A3  
DATE 19.12.2024  
SCALE 1 : 150



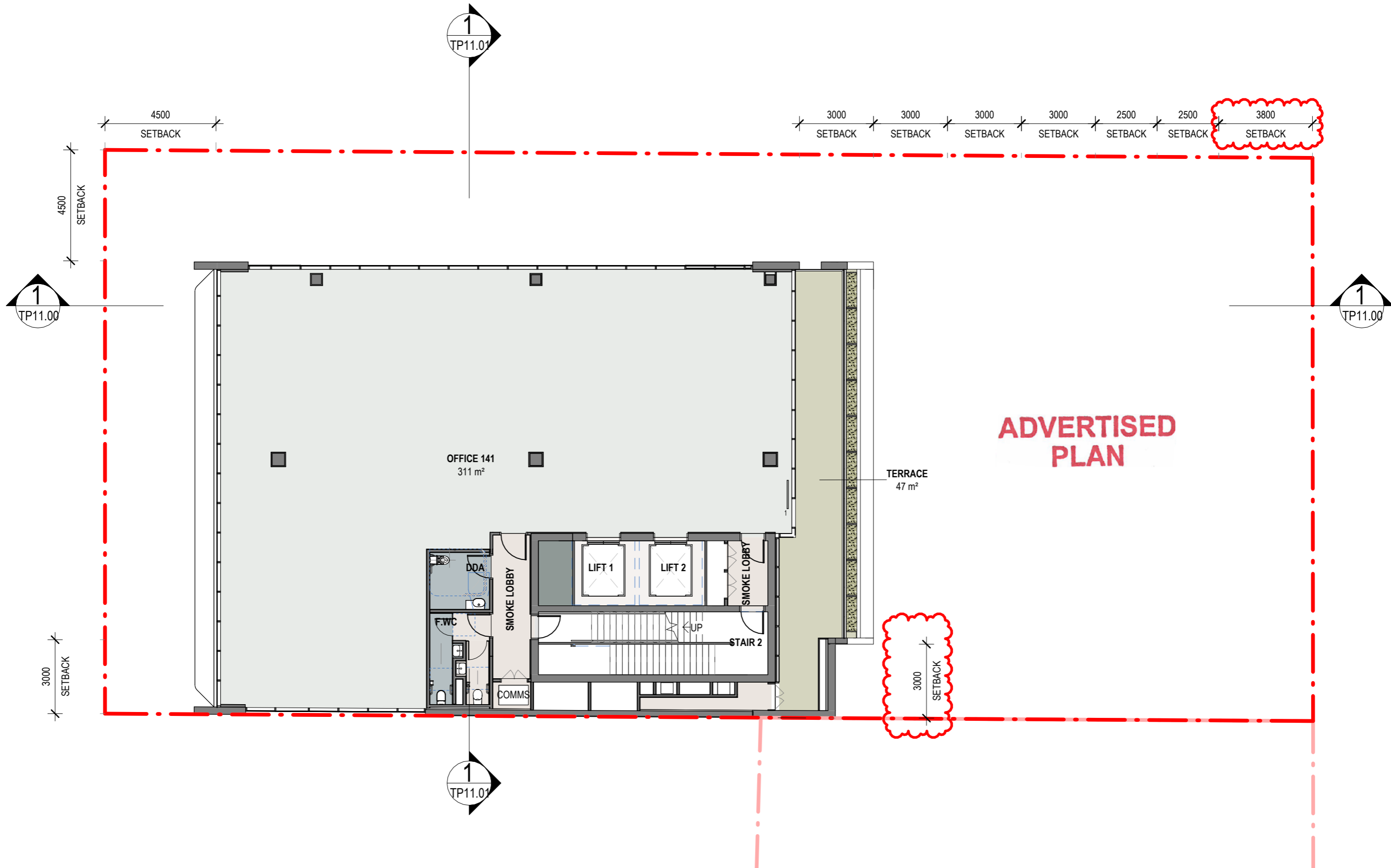
CARRINGTON ROAD

CAMBRIDGE STREET

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CARRINGTON ROAD

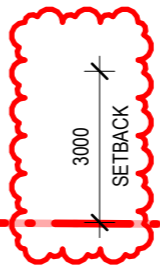
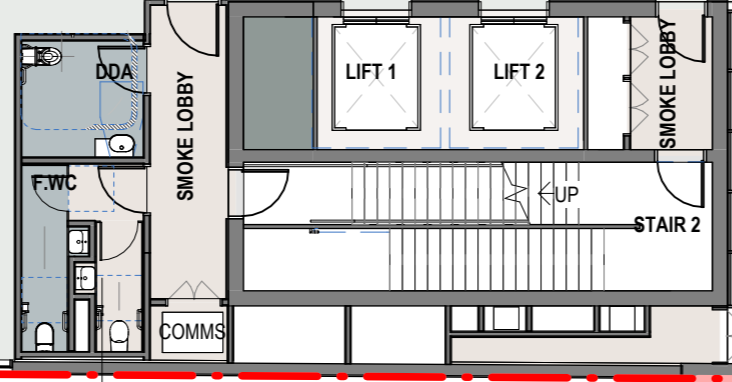
CAMBRIDGE STREET



**ADVERTISED PLAN**

OFFICE 141  
311 m<sup>2</sup>

TERRACE  
47 m<sup>2</sup>

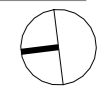


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LEVEL 14 PLAN

DWG # TP03.14 PROJECT #123146  
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 DATE 19.12.2024  
 SCALE 1 : 150

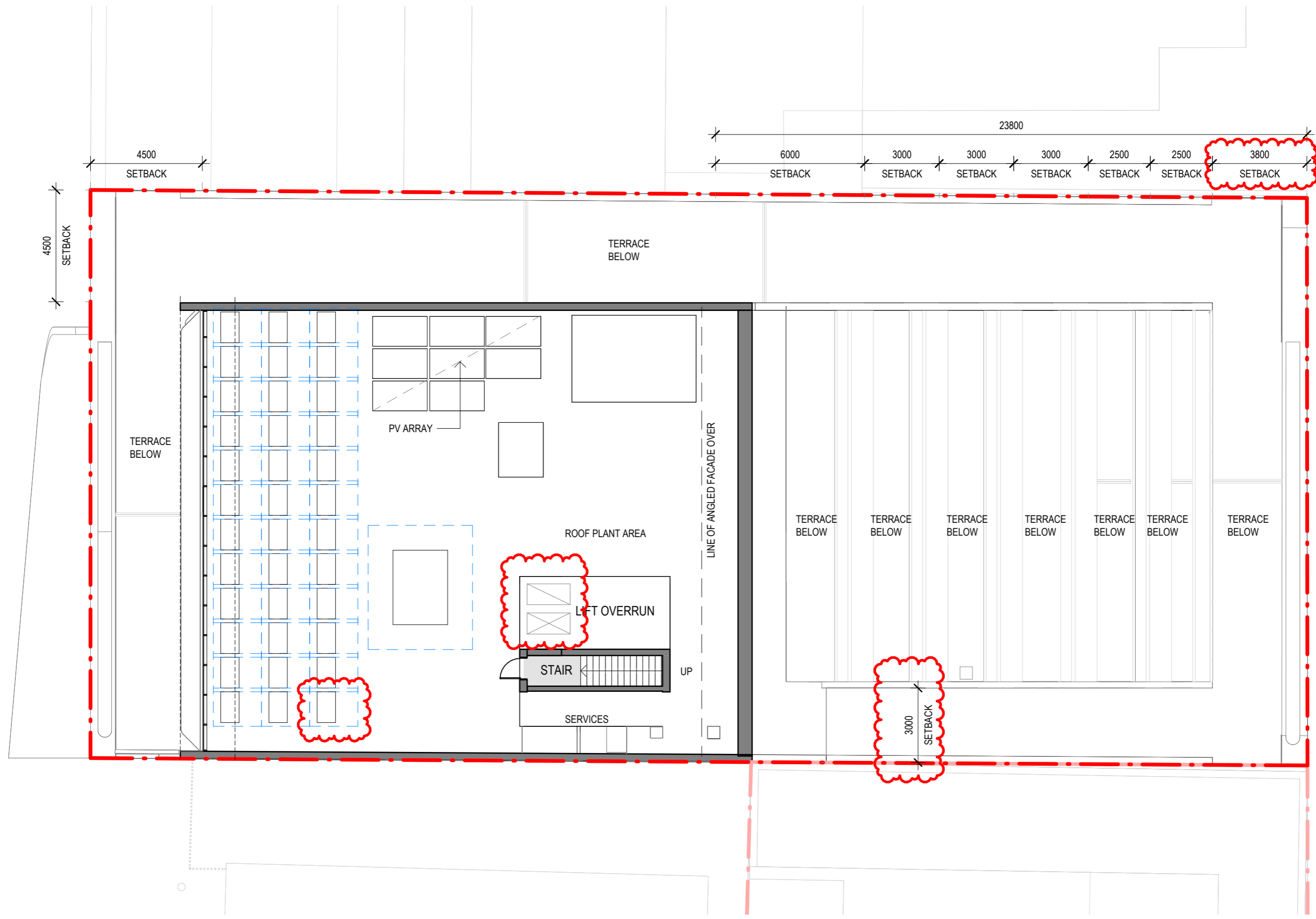


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CARRINGTON ROAD

CAMBRIDGE STREET



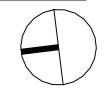
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COMMERCIAL DEVELOPMENT

ROOF PLAN

**ADVERTISED  
PLAN**

DWG # TP03.15 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 150



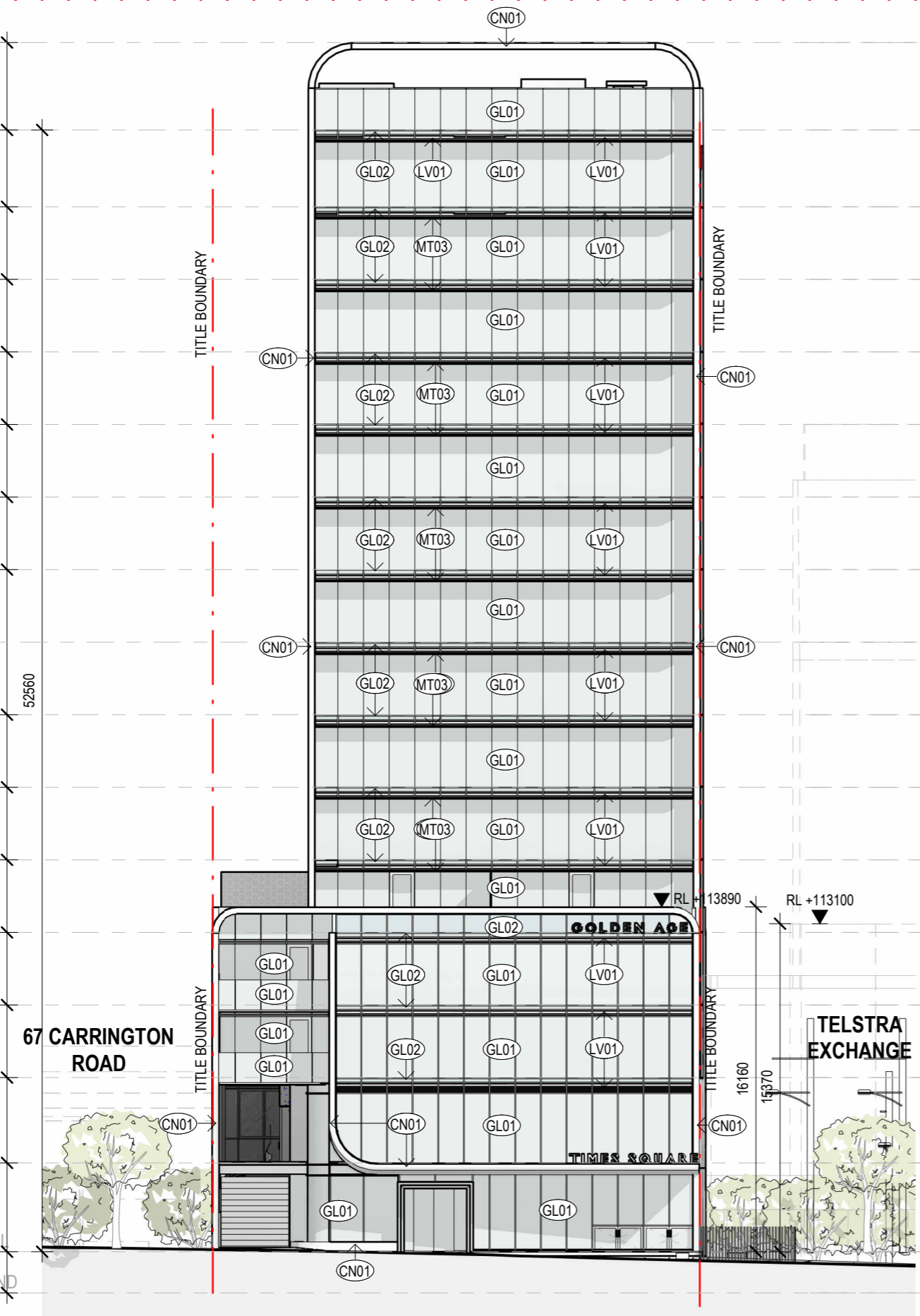
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TOP OF ROOF	RL 154386
ROOF	RL 150290
LEVEL 14	RL 146690
LEVEL 13	RL 143290
LEVEL 12	RL 139890
LEVEL 11	RL 136490
LEVEL 10	RL 133090
LEVEL 09	RL 129690
LEVEL 08	RL 126290
LEVEL 07	RL 122890
LEVEL 06	RL 119490
LEVEL 05	RL 116090
LEVEL 04	RL 112690
LEVEL 03	RL 109290
LEVEL 02	RL 105890
LEVEL 01	RL 101890
GROUND LEVEL	RL 97730
LOWER GROUND	RL 95800

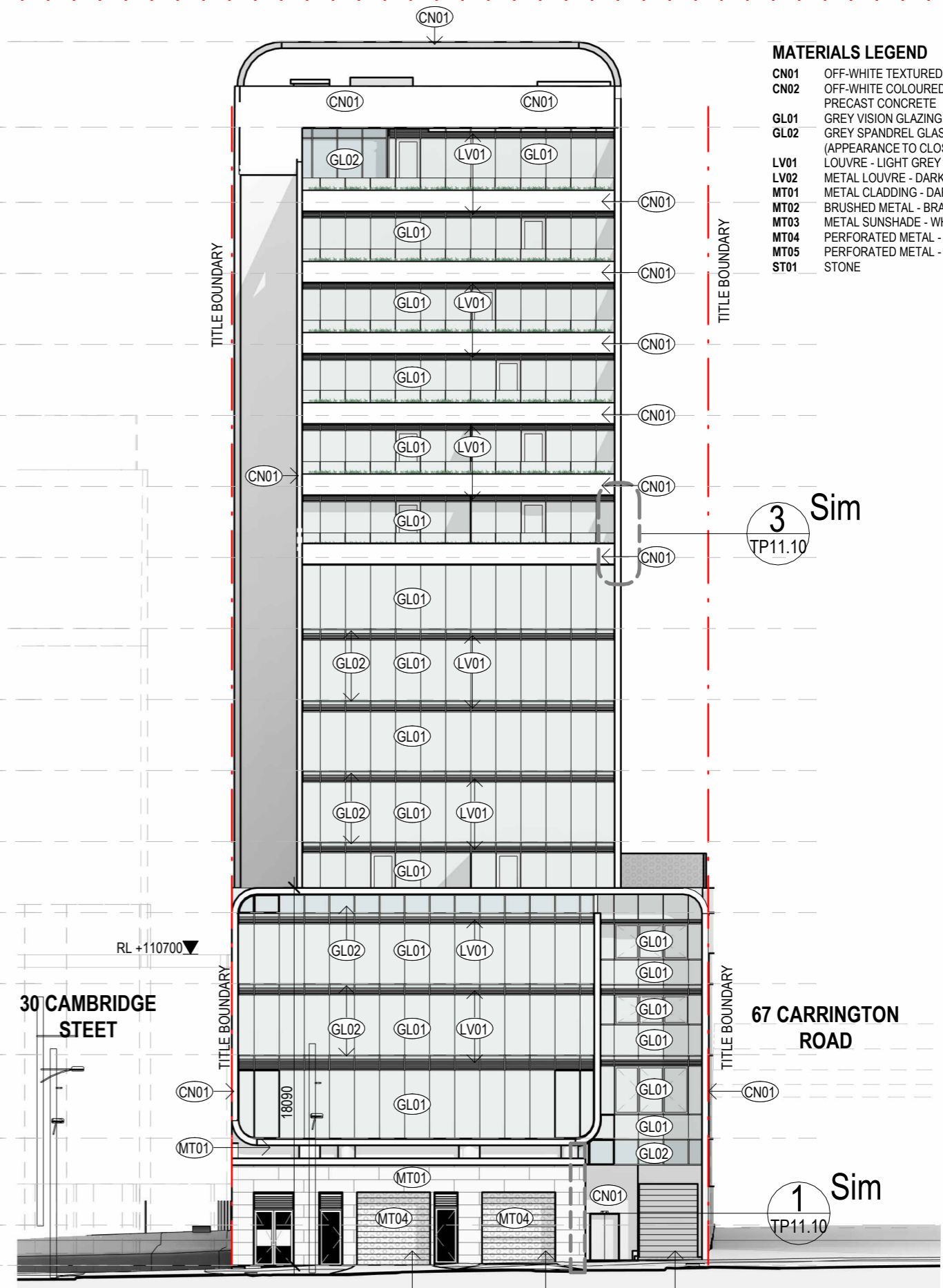
**MATERIALS LEGEND**

- CN01 OFF-WHITE TEXTURED PRECAST CONCRETE
- CN02 OFF-WHITE COLOURED RIBBED PRECAST CONCRETE
- GL01 GREY VISION GLAZING
- GL02 GREY SPANDREL GLASS PANEL (APPEARANCE TO CLOSELY MATCH GL01)
- LV01 LOUVRE - LIGHT GREY
- LV02 METAL LOUVRE - DARK GREY
- MT01 METAL CLADDING - DARK GREY
- MT02 BRUSHED METAL - BRASS OR SIMILAR
- MT03 METAL SUNSHADE - WHITE
- MT04 PERFORATED METAL - DARK GREY
- MT05 PERFORATED METAL - LIGHT COLOUR
- ST01 STONE



ELEVATION - NORTH - TP

1:250



ELEVATION - SOUTH - TP

1:250

**GRAY  
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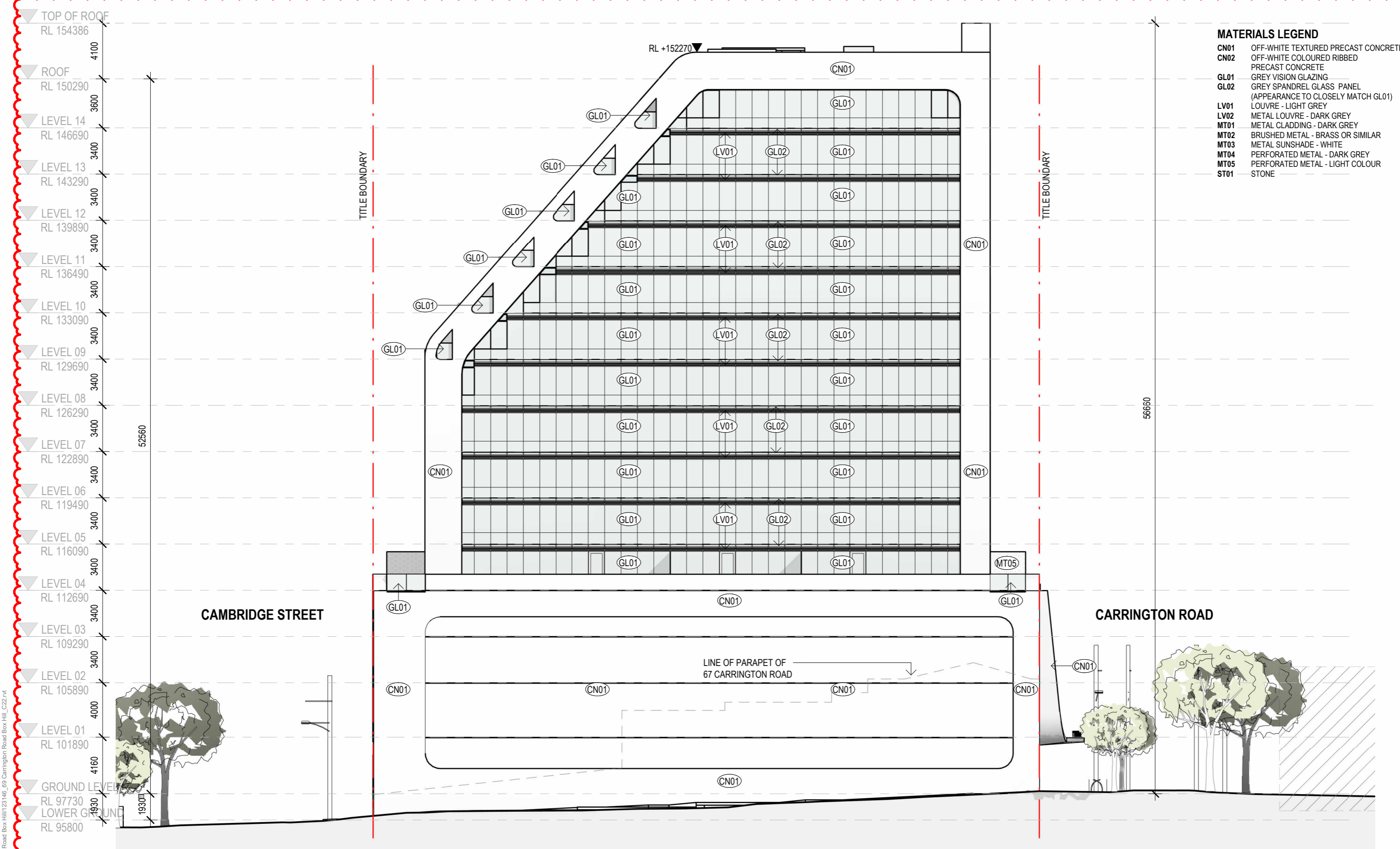
COMMERCIAL DEVELOPMENT

**ADVERTISED  
PLAN**

NORTH & SOUTH ELEVATIONS

DWG # TP10.00 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 250





**MATERIALS LEGEND**

CN01	OFF-WHITE TEXTURED PRECAST CONCRETE
CN02	OFF-WHITE COLOURED RIBBED PRECAST CONCRETE
GL01	GREY VISION GLAZING
GL02	GREY SPANDREL GLASS PANEL (APPEARANCE TO CLOSELY MATCH GL01)
LV01	LOUVRE - LIGHT GREY
LV02	METAL LOUVRE - DARK GREY
MT01	METAL CLADDING - DARK GREY
MT02	BRUSHED METAL - BRASS OR SIMILAR
MT03	METAL SUNSHADE - WHITE
MT04	PERFORATED METAL - DARK GREY
MT05	PERFORATED METAL - LIGHT COLOUR
ST01	STONE

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PUKSAND**

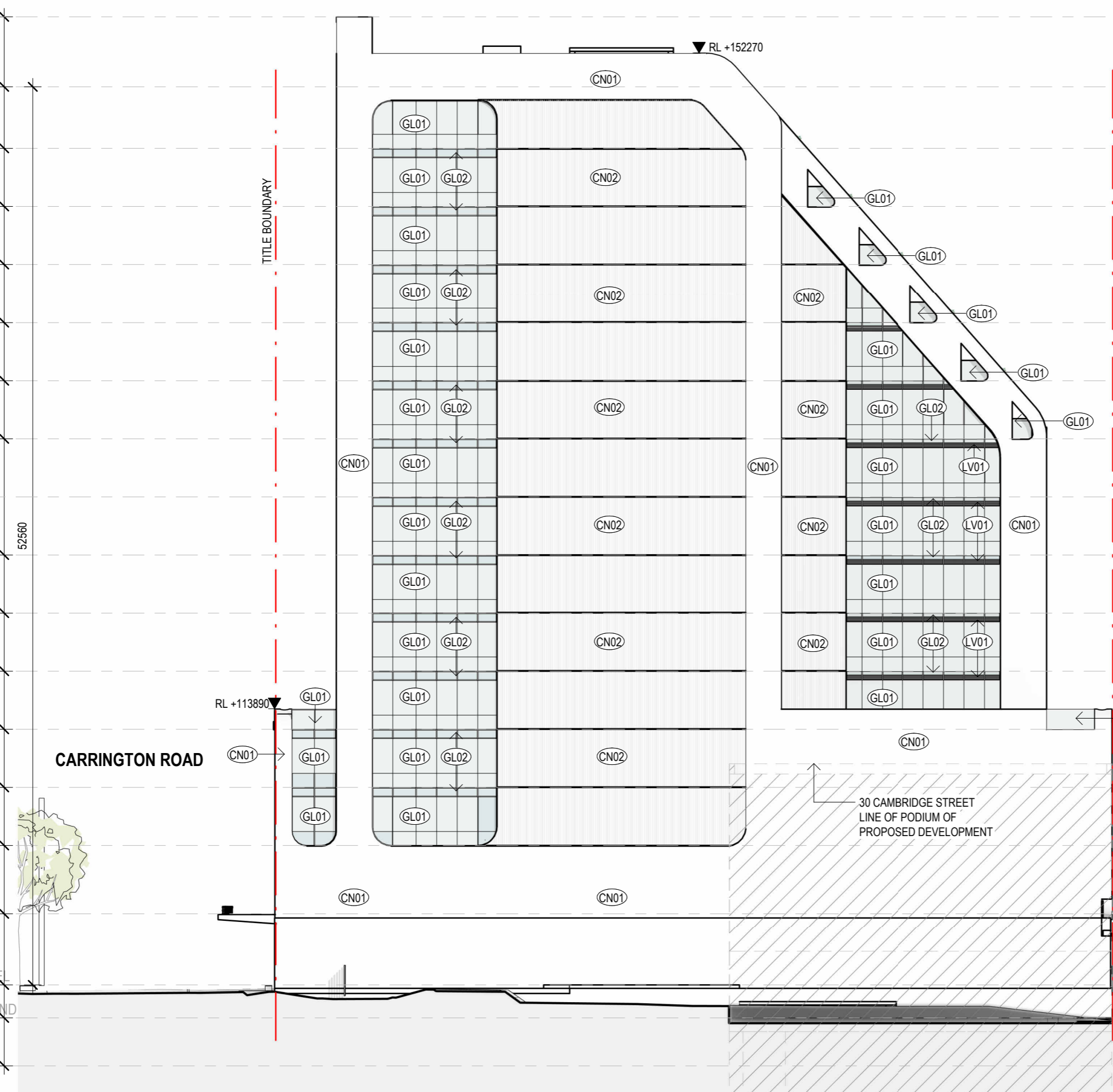
COMMERCIAL DEVELOPMENT

EAST ELEVATION

**ADVERTISED  
PLAN**

DWG # TP10.01 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 250

▼ TOP OF ROOF  
 RL 154386  
 4100  
 ▼ ROOF  
 RL 150290  
 3600  
 ▼ LEVEL 14  
 RL 146690  
 3400  
 ▼ LEVEL 13  
 RL 143290  
 3400  
 ▼ LEVEL 12  
 RL 139890  
 3400  
 ▼ LEVEL 11  
 RL 136490  
 3400  
 ▼ LEVEL 10  
 RL 133090  
 3400  
 ▼ LEVEL 09  
 RL 129690  
 3400  
 ▼ LEVEL 08  
 RL 126290  
 6800  
 ▼ LEVEL 07  
 RL 122890  
 3400  
 ▼ LEVEL 06  
 RL 119490  
 3400  
 ▼ LEVEL 05  
 RL 116090  
 3400  
 ▼ LEVEL 04  
 RL 112690  
 3400  
 ▼ LEVEL 03  
 RL 109290  
 3400  
 ▼ LEVEL 02  
 RL 105890  
 4000  
 ▼ LEVEL 01  
 RL 101890  
 4160  
 ▼ GROUND LEVEL  
 RL 97730  
 ▼ LOWER GROUND  
 RL 95800  
 ▼ BASEMENT  
 RL 92990  
 2810



**MATERIALS LEGEND**

CN01	OFF-WHITE TEXTURED PRECAST CONCRETE
CN02	OFF-WHITE COLOURED RIBBED PRECAST CONCRETE
GL01	GREY VISION GLAZING
GL02	GREY SPANDREL GLASS PANEL (APPEARANCE TO CLOSELY MATCH GL01)
LV01	LOUVRE - LIGHT GREY
LV02	METAL LOUVRE - DARK GREY
MT01	METAL CLADDING - DARK GREY
MT02	BRUSHED METAL - BRASS OR SIMILAR
MT03	METAL SUNSHADE - WHITE
MT04	PERFORATED METAL - DARK GREY
MT05	PERFORATED METAL - LIGHT COLOUR
ST01	STONE

CARRINGTON ROAD

CAMBRIDGE STREET

30 CAMBRIDGE STREET  
 LINE OF PODIUM OF  
 PROPOSED DEVELOPMENT

COMMERCIAL DEVELOPMENT

WEST ELEVATION

**GRAY  
 PUKSAND**

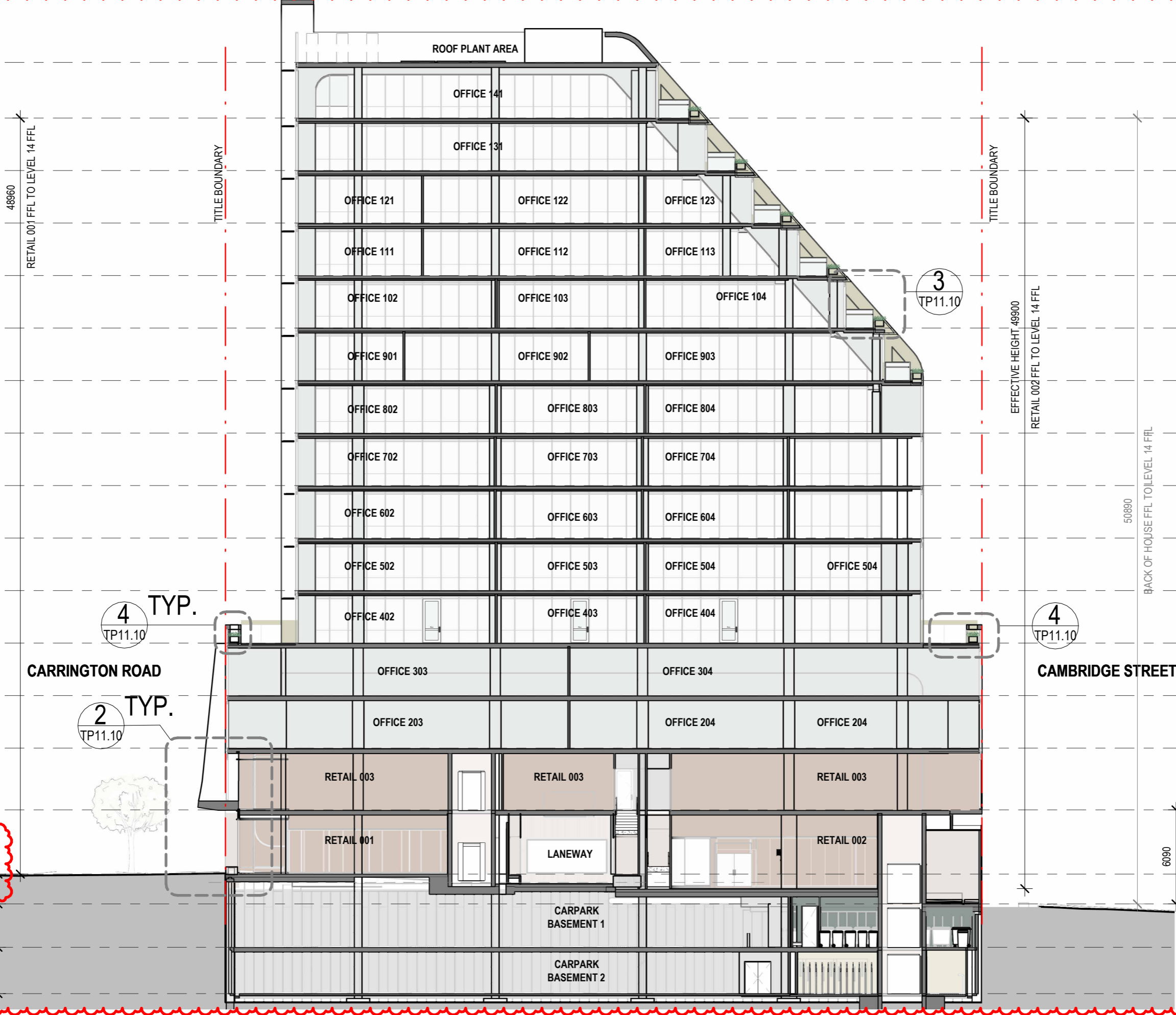
**ADVERTISED  
 PLAN**

DWG # TP10.02 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 250

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- ▼ TOP OF ROOF  
RL 154386
- ▼ ROOF  
RL 150290
- ▼ LEVEL 14  
RL 146690
- ▼ LEVEL 13  
RL 143290
- ▼ LEVEL 12  
RL 139890
- ▼ LEVEL 11  
RL 136490
- ▼ LEVEL 10  
RL 133090
- ▼ LEVEL 09  
RL 129690
- ▼ LEVEL 08  
RL 126290
- ▼ LEVEL 07  
RL 122890
- ▼ LEVEL 06  
RL 119490
- ▼ LEVEL 05  
RL 116090
- ▼ LEVEL 04  
RL 112690
- ▼ LEVEL 03  
RL 109290
- ▼ LEVEL 02  
RL 105890
- ▼ LEVEL 01  
RL 101890
- ▼ GROUND LEVEL  
RL 97730
- ▼ LOWER GROUND  
RL 95800
- ▼ BASEMENT 1  
RL 92990
- ▼ BASEMENT 2  
RL 89990



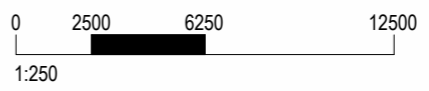
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**GRAY  
PUKSAND**

COMMERCIAL DEVELOPMENT

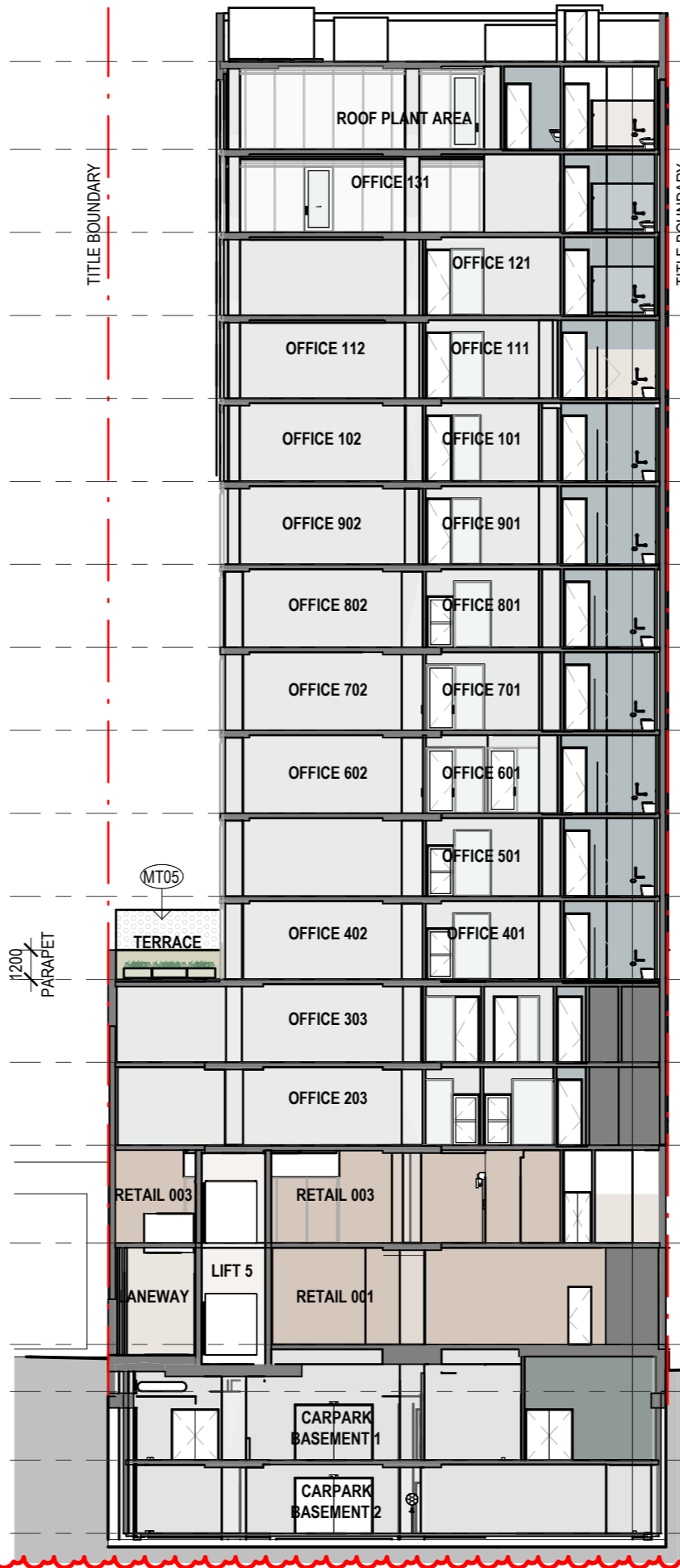
SECTION A

**ADVERTISED  
PLAN**



DWG # TP11.00 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 250

▼ TOP OF ROOF	RL 154386	4100
▼ ROOF	RL 150290	3600
▼ LEVEL 14	RL 146690	3400
▼ LEVEL 13	RL 143290	3400
▼ LEVEL 12	RL 139890	3400
▼ LEVEL 11	RL 136490	3400
▼ LEVEL 10	RL 133090	3400
▼ LEVEL 09	RL 129690	3400
▼ LEVEL 08	RL 126290	6800
▼ LEVEL 07	RL 122890	48960
▼ LEVEL 06	RL 119490	3400
▼ LEVEL 05	RL 116090	3400
▼ LEVEL 04	RL 112690	3400
▼ LEVEL 03	RL 109290	3400
▼ LEVEL 02	RL 105890	3400
▼ LEVEL 01	RL 101890	4000
▼ GROUND LEVEL	RL 97730	4160
▼ LOWER GROUND	RL 95800	1930
▼ BASEMENT 1	RL 92990	2810
▼ BASEMENT 2	RL 89990	3000



**ADVERTISED  
PLAN**

COMMERCIAL DEVELOPMENT

SECTION B

**GRAY  
PUKSAND**

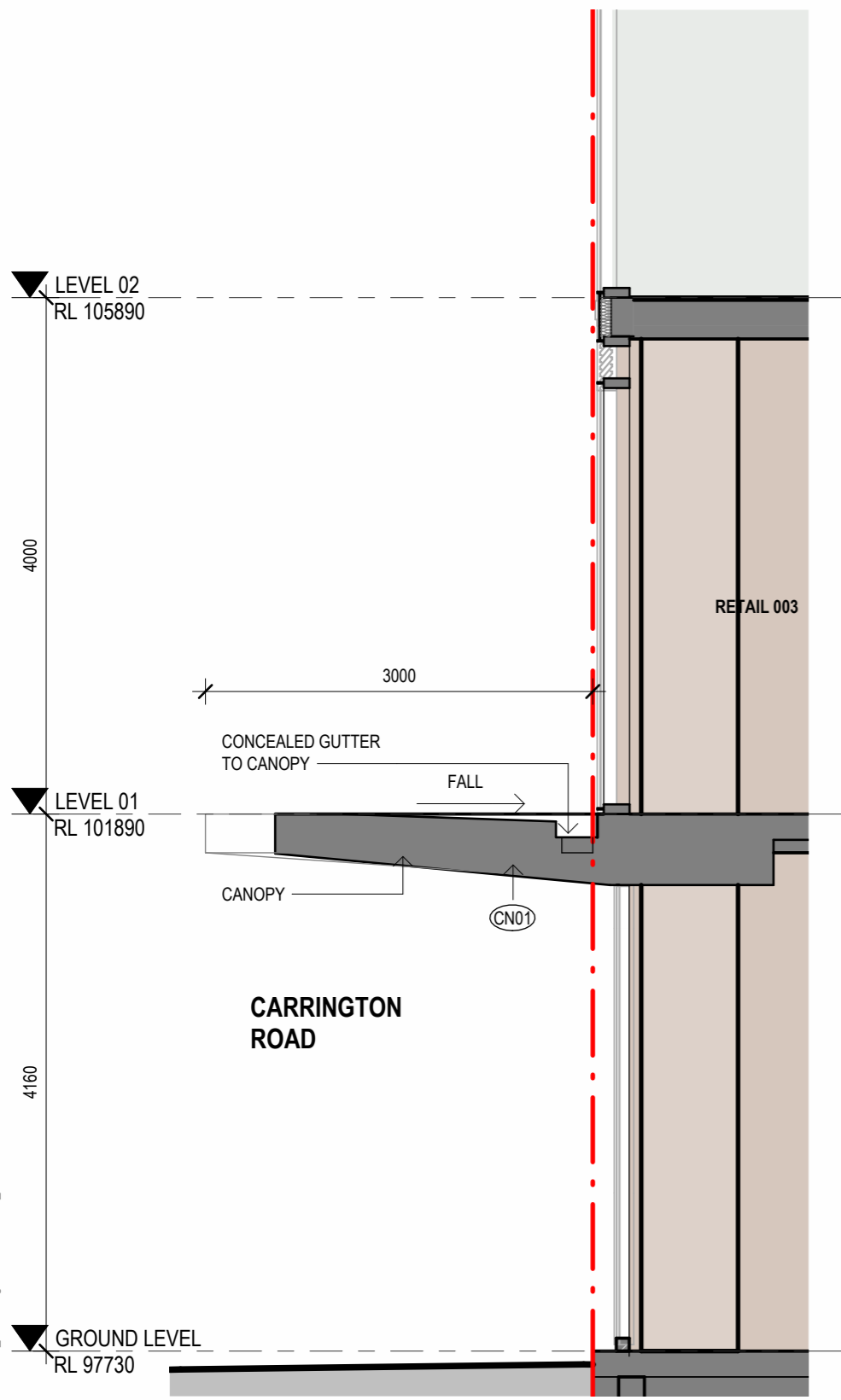


DWG # TP11.01 PROJECT #123146  
 REV TP3 SHEET A3  
 DATE 19.12.2024  
 SCALE 1 : 250

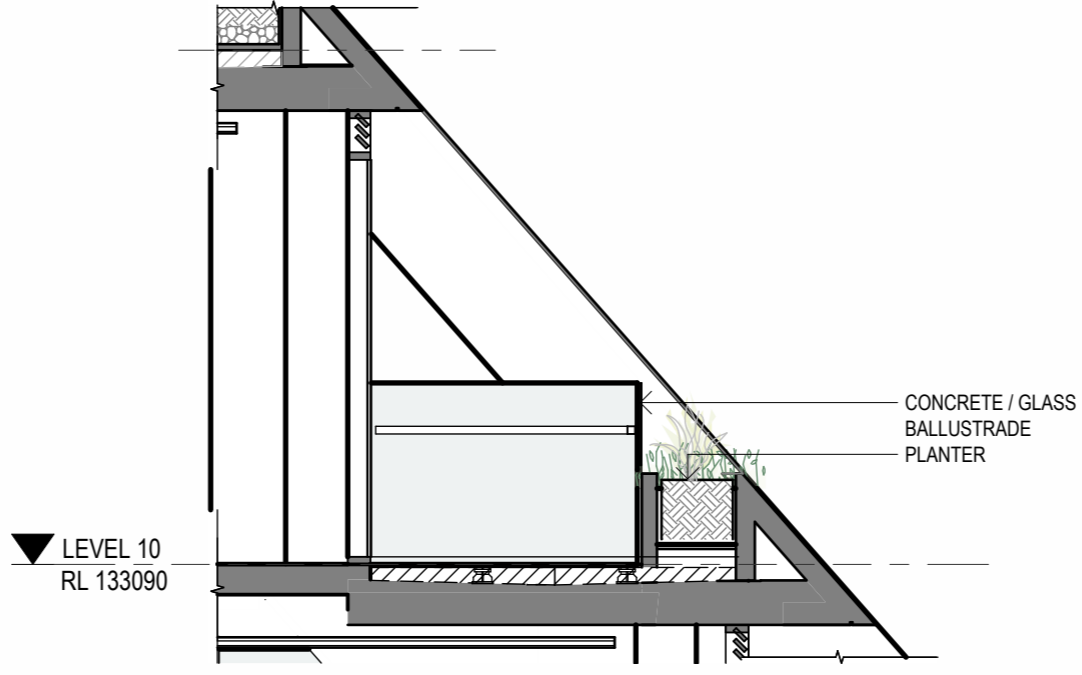
Autodesk Docs://123146 - 69 Carrington Road Box Hill/123146\_69 Carrington Road Box Hill\_C22.rvt



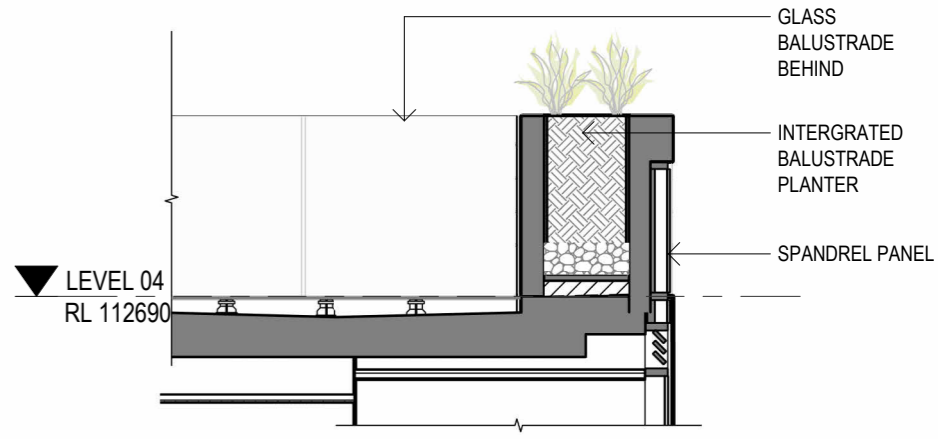
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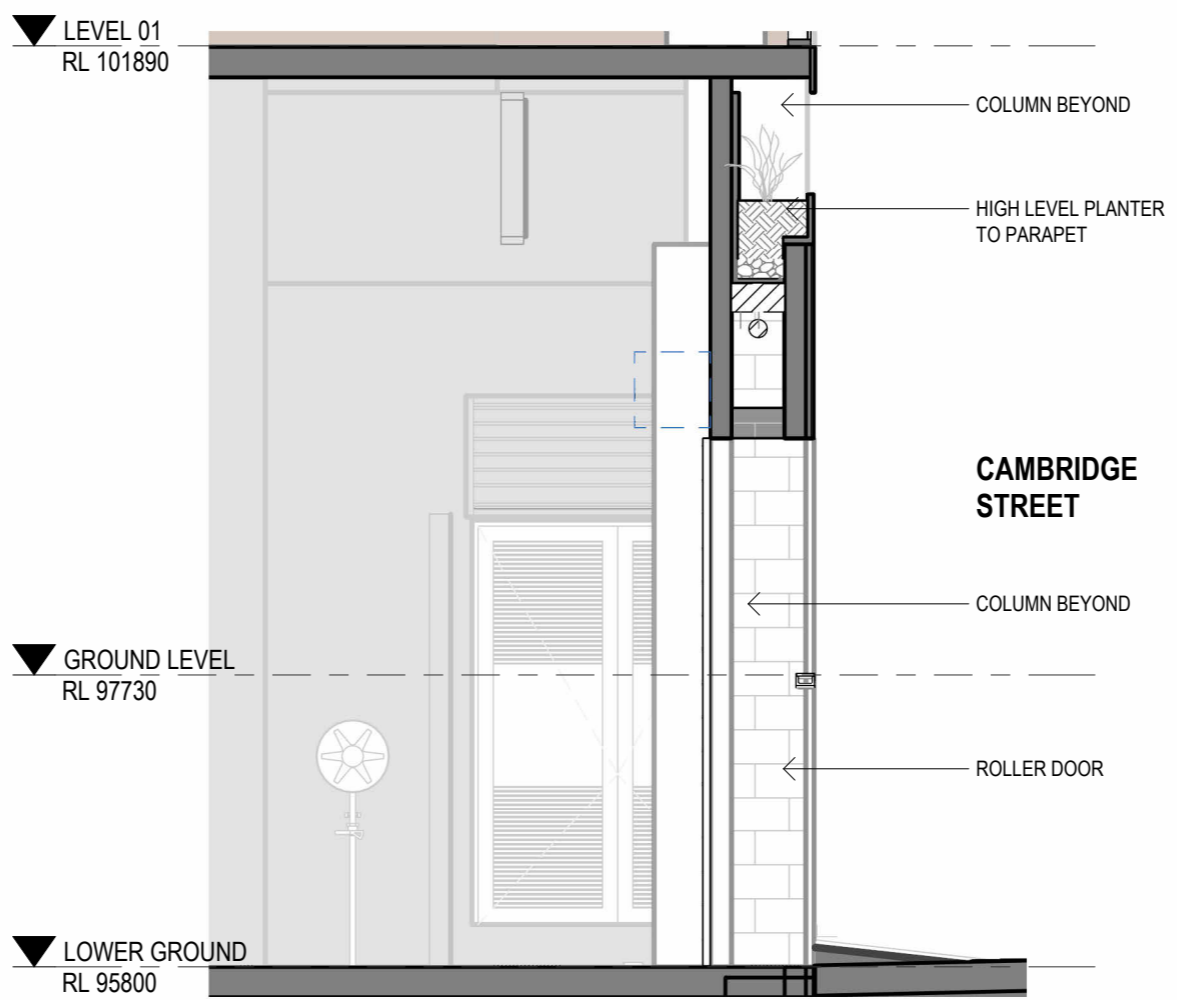
**2** ENTRY CANOPY SECTION  
TP11.00 1:50



**3** TYPICAL TERRACE BALCONY PLANTER  
TP10.00 1:50

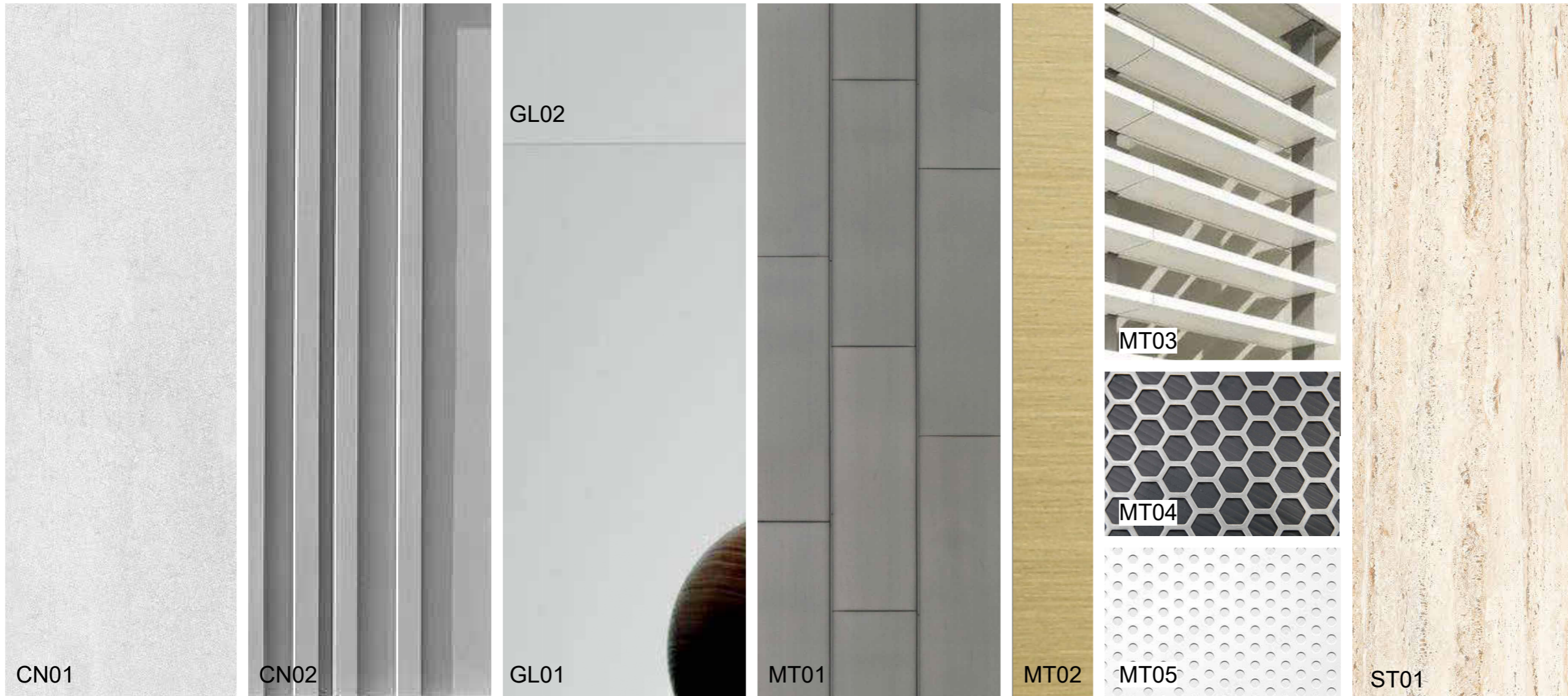


**4** PODIUM PLANTER DETAIL  
TP11.00 1:50



**1** PARAPET PLANTER SECTION  
TP03.02 1:50

**ADVERTISED PLAN**

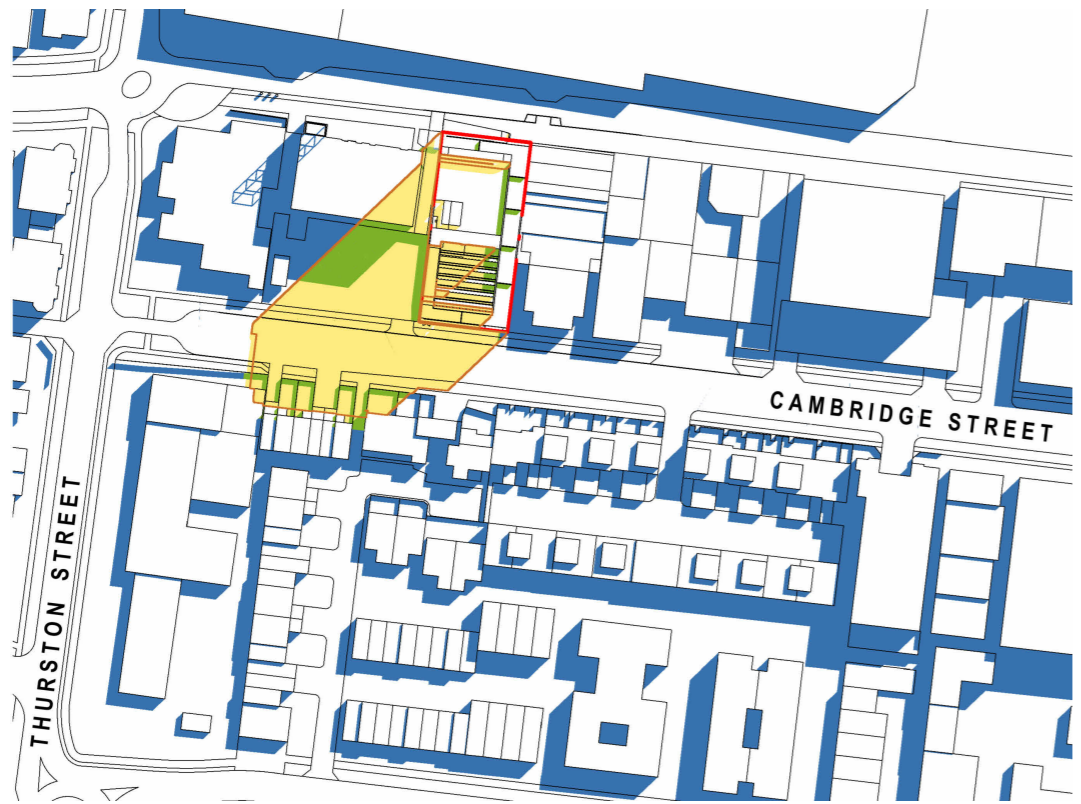


**CN01** OFF-WHITE TEXTURED PRECAST  
**CN02** OFF-WHITE COLOURED RIBBED PRECAST CONCRETE  
**GL01** GREY VISION GLAZING  
**GL02** GREY SPANDREL GLASS PANEL (APPEARANCE TO CLOSELY MATCH GL01)  
**LV01** LOUVRE - LIGHT GREY  
**LV02** METAL LOUVRE - DARK GREY (TO MATCH MT01)

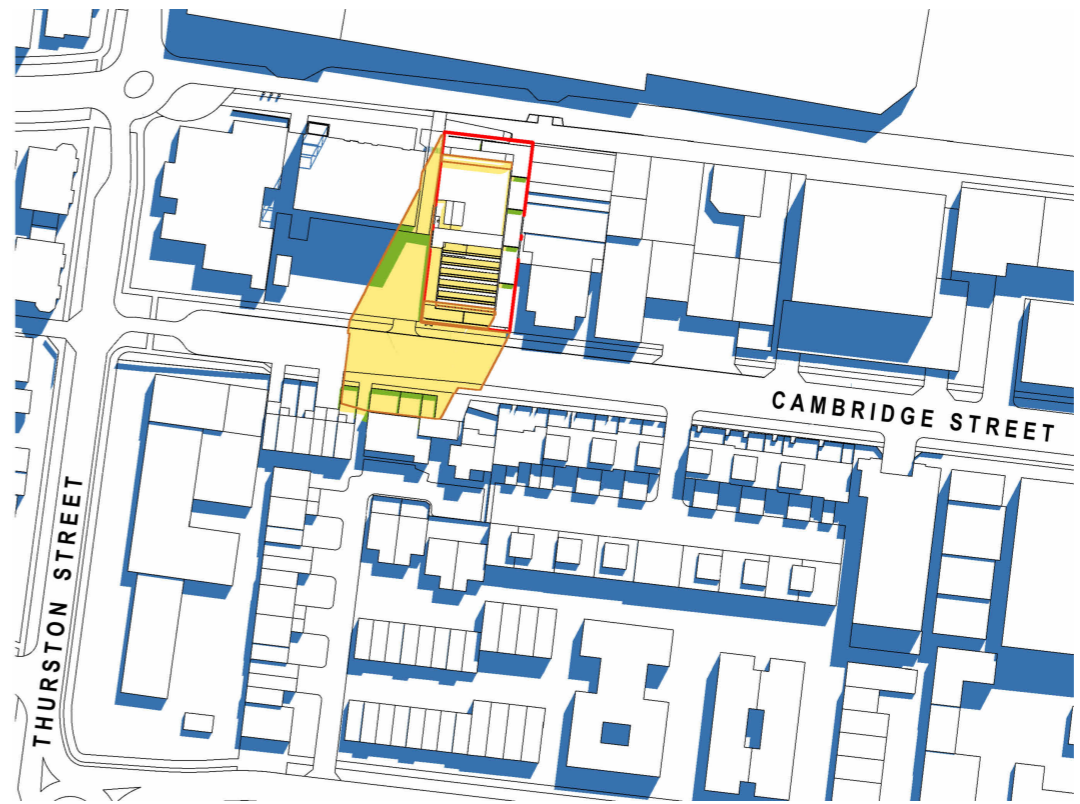
**MT01** METAL CLADDING - DARK GREY  
**MT02** BRUSHED METAL - BRONZE OR SIMILAR  
**MT03** METAL SUNSHADE - WHITE  
**MT04** PERFORATED METAL - DARK GREY  
**MT05** PERFORATED METAL - LIGHT COLOUR  
**ST01** STONE

## ADVERTISED PLAN

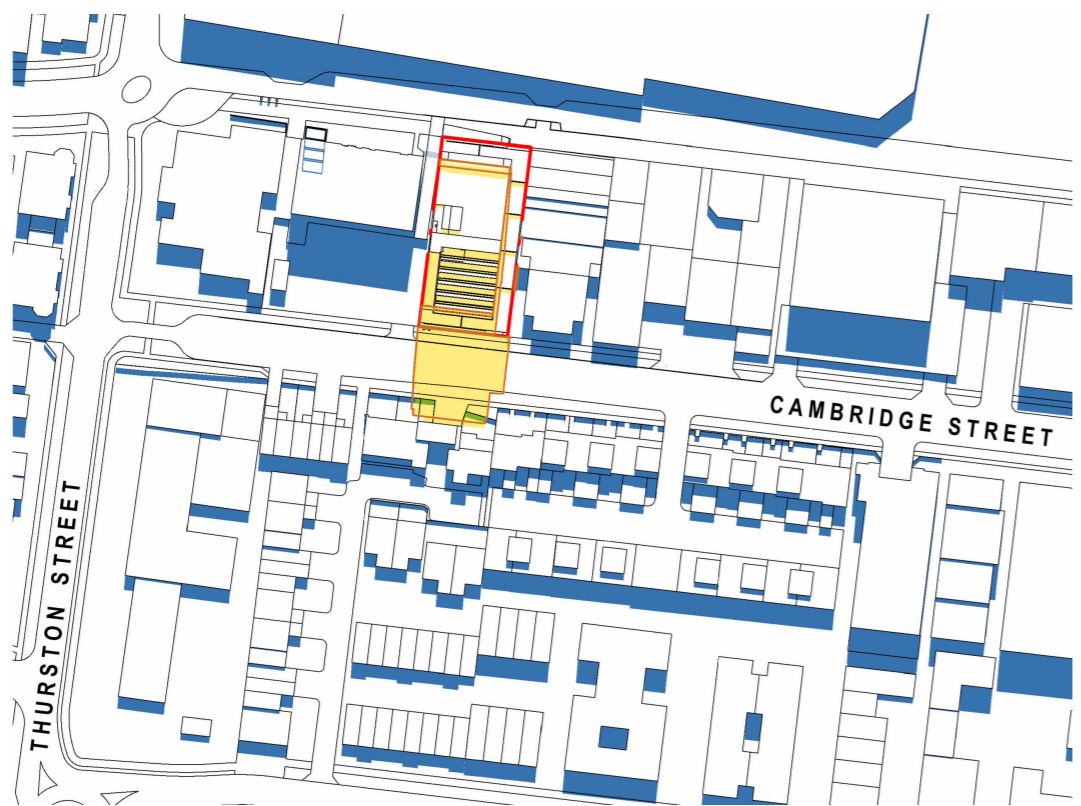




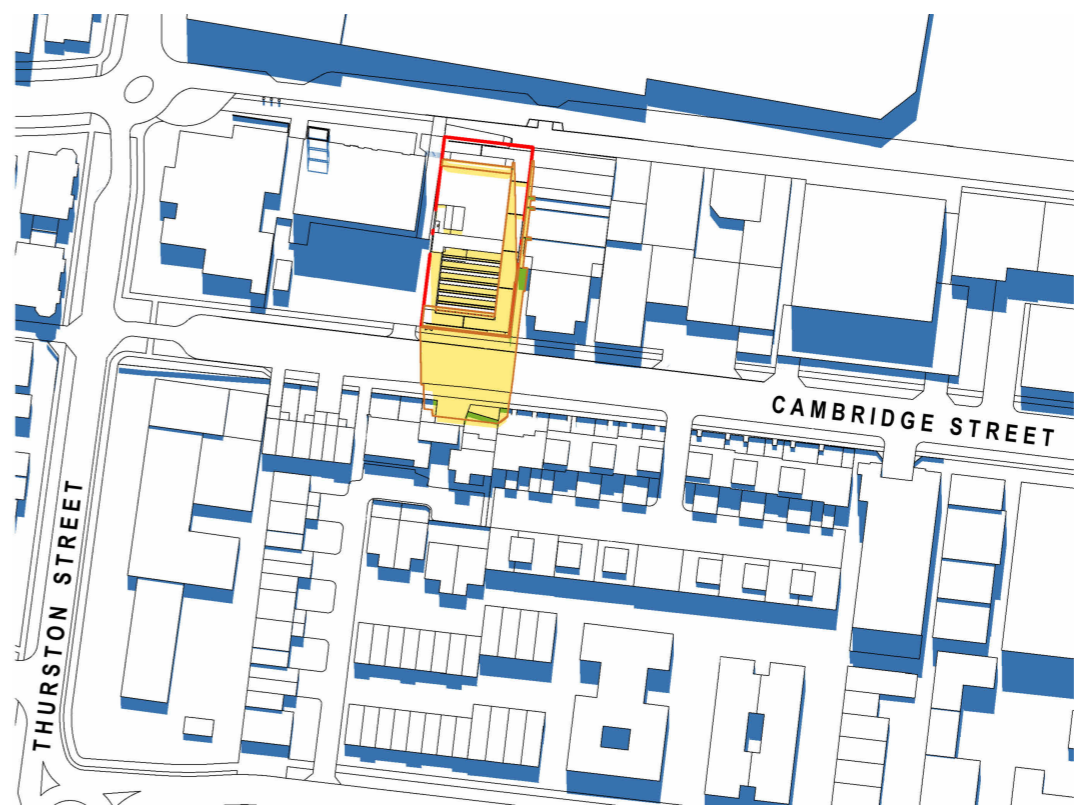
22ND SEPTEMBER - 10AM



22ND SEPTEMBER - 11AM



22ND SEPTEMBER - 12PM



22ND SEPTEMBER - 12.15PM

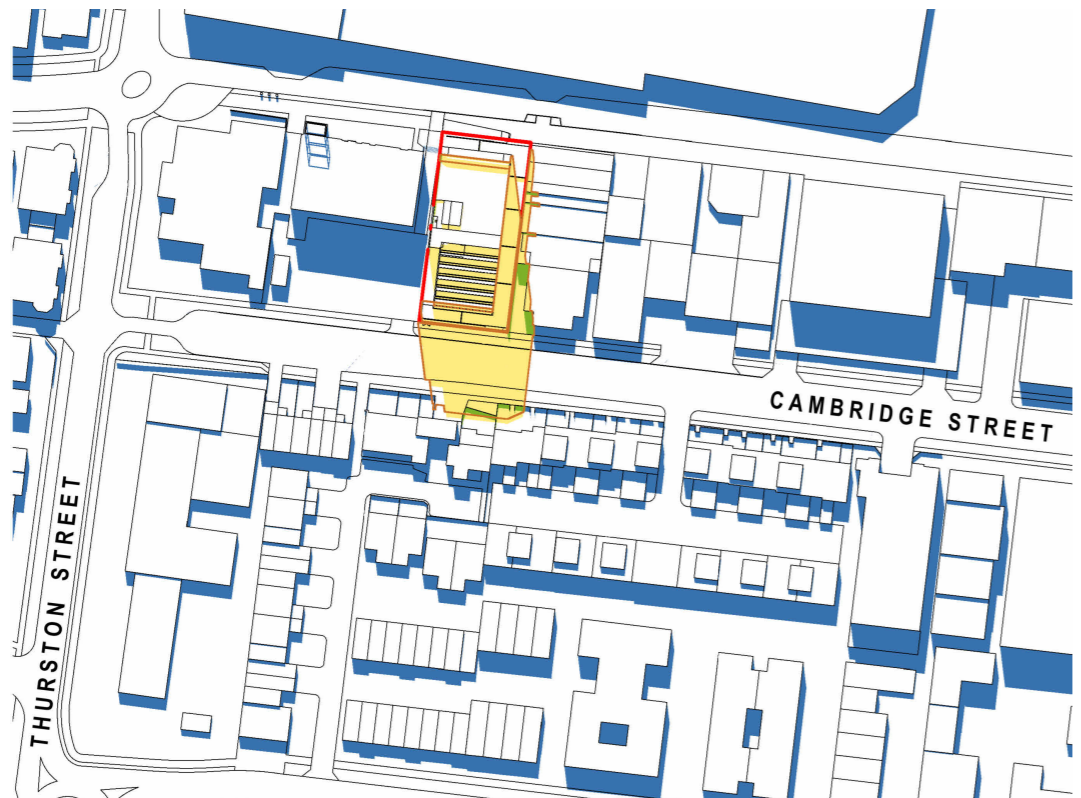
**SHADOW STUDY LEGEND**

- EXISTING
- PROPOSED (OPTION 1)
- OVERLAPPING
- PREVIOUSLY PROPOSED DESIGN SCHEME (TP2 REVISION)

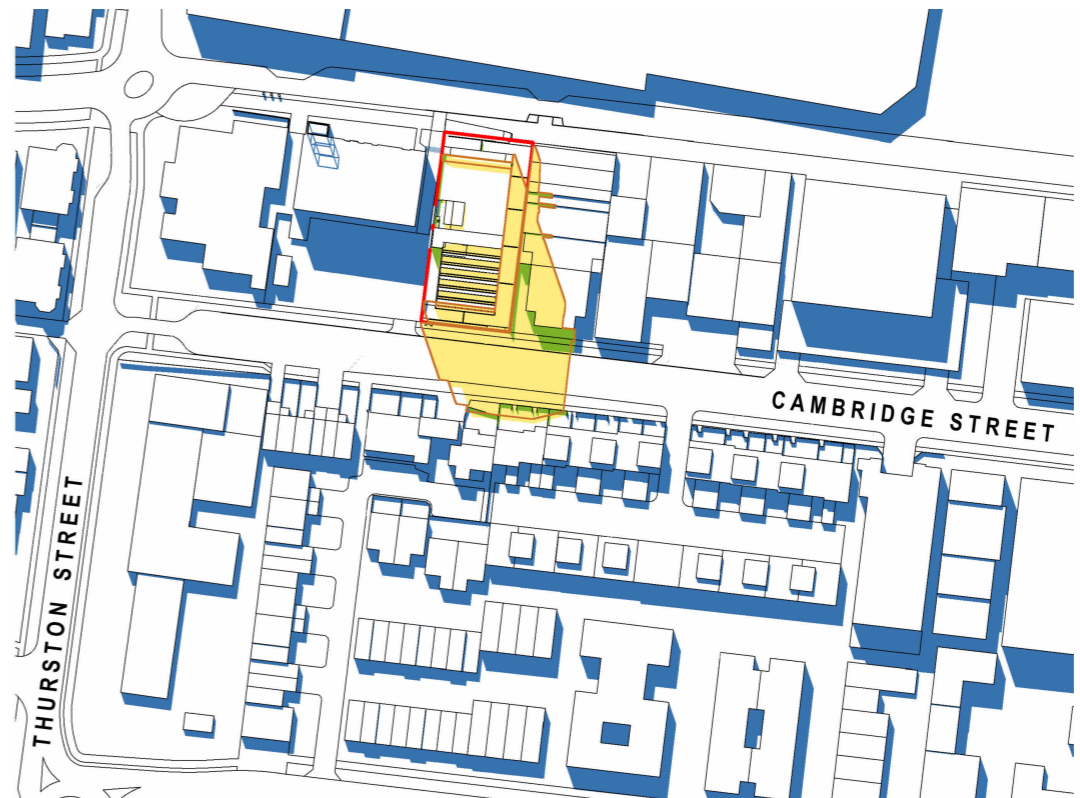
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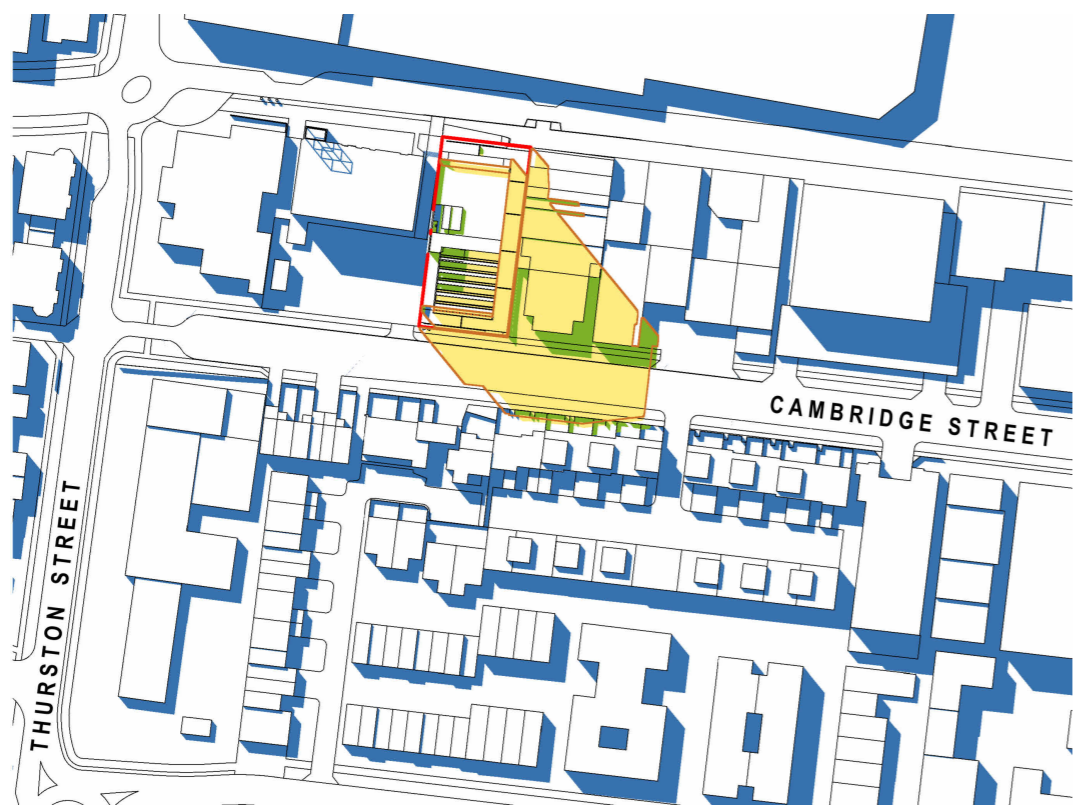




22ND SEPTEMBER - 12.30PM



22ND SEPTEMBER - 1PM



22ND SEPTEMBER - 2PM



22ND SEPTEMBER - 3PM

**SHADOW STUDY LEGEND**

- EXISTING
- PROPOSED (OPTION 1)
- OVERLAPPING
- PREVIOUSLY PROPOSED DESIGN SCHEME (TP2 REVISION)



Autodesk Docs://123146 - 69 Carrington Road Box Hill/123146\_69 Carrington Road Box Hill\_C02.rvt



**ADVERTISED  
PLAN**